

7639 VAN NUYS BLVD, VAN NUYS, CA 91405

PROJECT DATA

PROPOSED:	36 UNITS, 4 STORIES APARTMENT BUILDING OVER GROUND / SUBTERRANEAN PARKING + ROOF DECK
LEGAL DESCRIPTION:	Thomas Brothers Grid PAGE 532 - GRID A3 Tract TR 7080 Map Reference M B 88-94/95 Block None Arb (Lot Cut Reference) Lot 8 Map Sheet 188B149
APN:	2210-031-012
ZONE:	C2-1VL

AREA AND BUILDING CALCULATIONS

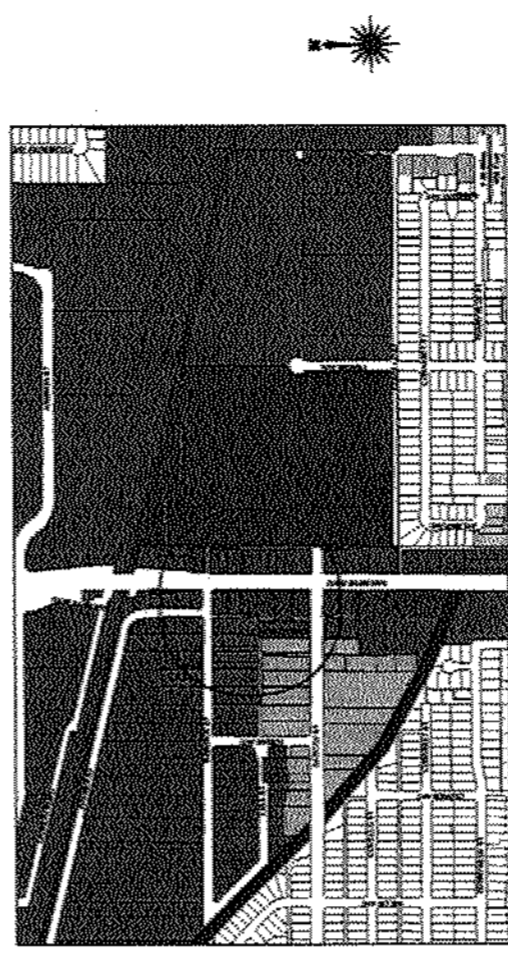
TYPE OF CONSTRUCTION:	BASEMENT AND GROUND FLOOR - TYPE "A", SECOND-THIRD-FOURTH-FIFTH FLOOR TYPE "B-B FULLY SPRINKLERED THROUGHOUT (NFPA-13) TO ALLOW ROOF DECK
OCCUPANCY GROUP:	R-2 / 5-2 PARKING
BUILDING CODE:	2013 LABC WITH 2014 LA AMENDMENTS
LOT AREA:	13,793.30 SQ.FT.
ALLOWABLE UNITS:	13,793.30 SQ.FT. + 920 (ALLEY) = 14,713.3/400 SQ.FT. = 36.78
PROPOSED UNITS:	36 UNITS, 32 UNITS MARKET RATE, 4 UNITS (11%) VERY LOW INCOME
REQUESTED INCENTIVE:	1- INCREASE IN HEIGHT FROM 45 FEET TO 56 FEET PER 12.22.A.25.45 2- INCREASE IN FAR FROM 1.5:1 TO 3:1 PER 12.22.A.25.44
STORIES:	5 STORIES
BUILDING SETBACKS:	SIDE YARDS: 5'-4.3"=8' FRONT YARD : NOT REQUIRED REAR YARD : 15'-4.2"=17' CENTER OF ALLEY
ALLOWABLE BUILDING HEIGHT:	45'
PROPOSED BUILDING HEIGHT:	56', 11 FEET HEIGHT INCREASE DUE TO AFFORDABLE HOUSING INCENTIVE

INDEX

ARCHITECTURAL	
SHEET	TITLE
A-0	COVER SHEET
A-1	SITE PLAN
A-1.1	SURVEY
A-2	BASEMENT PARKING PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	THIRD FLOOR PLAN
A-6	ROOF PLAN
A-7	ELEVATIONS
A-8	ELEVATIONS
L-1	LANDSCAPING PLAN
L-2	IRRIGATION PLAN

BUILDING AREA PER ZONING CODE: EARL: PROPOSED: 31,358 SQFT FAR: 31,358 / 13,340 = 2.35	
---	--

ALLOWABLE FLOOR AREA CALCULATION (LAMC)



VICINITY MAP

SCHOOL FEE

STORY	USE	AREA (SQ.FT.)
FIRST	DWELLING UNITS	319
SECOND	DWELLING UNITS	6,320
THIRD	DWELLING UNITS	6,320
TOTAL		13,959 SQ.FT.

OPEN SPACE CALCULATION

NO. OF HABITABLE ROOMS	QUANT.	OPEN SPACE
1	5	5 X 100 = 500
2	28	28 X 135 = 3,780
3	3	3 X 100 = 300
TOTAL	36	4,580 SQ.FT.

PARKING CALCULATION

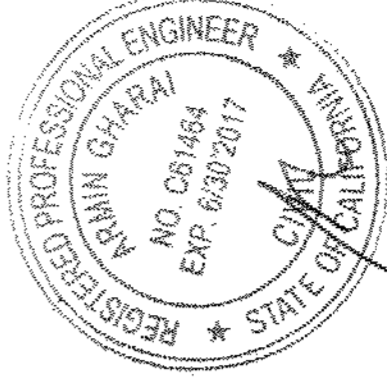
NO. OF AUTO VEHICLES	REQUIRED PER LAMC	TOTAL
1	1.5	12
2	2	56
3	3	36
TOTAL		104

AREA SUMMARY (LABC)

STORY	USE	AREA OUTSIDE WALLS (SQ.FT.)	AREA INTERIOR WALLS (SQ.FT.)	AREA STAIRWAYS (SQ.FT.)	ZONING (SQ.FT.)	A-B-C	A-B-D
BASEMENT	R-2 PARKING	6,139	6,139	0	6,139	6,139	6,139
FIRST	R-2 RESIDENTIAL	319	319	0	319	319	319
SECOND	R-2 RESIDENTIAL	6,320	6,320	0	6,320	6,320	6,320
THIRD	R-2 RESIDENTIAL	6,320	6,320	0	6,320	6,320	6,320
FOURTH	R-2 RESIDENTIAL	6,320	6,320	0	6,320	6,320	6,320
FIFTH	R-2 RESIDENTIAL	6,320	6,320	0	6,320	6,320	6,320
TOTAL		31,358	31,358	0	31,358	31,358	31,358
ALLOWABLE						32,731	31,359

BUILDING AREA:
BUILDING AREA:
ALLOWABLE AREA:

ATTN. OWNERS/CONTRACTORS:
It is the responsibility of the contractor to submit all plans and specifications prior to starting the construction work. Contractor shall verify all dimensions and emissions details, specifications and clarifications. The architect/engineer shall not be responsible for any shortcoming on the part of the contractor or any error/omission. Each contractor shall visit the site and verify all dimensions, grades and conditions of the site before commencing work and report all discrepancies and modified field conditions to the architect/engineer in writing. Contractor may proceed only if approved by the City. Final bids shall be based on approved plans only. If no general contractors retained for the job, knowledgeable project manager, job supervisor to act as his agent and assume all responsibilities.



DIR 2016-2920

	ENGINEERING INC. 10545 LORAIN BLVD, SUITE 300 VAN NUYS, CALIFORNIA 91412 Phone: (818) 758-0018 Fax: (818) 758-2847	OWNER COHEN BROTHERS, LLC 7639 N VAN NUYS BLVD, VAN NUYS, CA 91405	PROJECT VAN NUYS, CA 91405	DRAWING TITLE SITE PLAN
DATE: MAY 2015 SCALE: 1/8"=1'-0" DRAWING NO. APPROVED: [Signature] JOB NO.: 15-034 SHEETS: A-0 OF 2				

ATTACHMENT A
 Permit # _____
 CITY OF LOS ANGELES
 Health Water Pollution Control Requirements for Construction Activities
 Multiple Water Quality Protection Requirements for All construction
 Projects/Certification Statement

The following rules shall be either incorporated or attached to the approved construction plans and represent the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means construction, clearing, grading or excavation that results in soil disturbance. Construction includes temporary structures. It does not include routine maintenance to existing on-grade and grade, hydraulic capacity, or original purpose of facility, emergency construction activities required to immediately protect public health and safety, interior remodeling with no visible exposure of construction material or construction work in stone masonry, mechanical permit work, or original type work. (39) PCC

Permit Part 7 Supplement

- Excavated areas and pollutants must be retained on site and may not be transported from the site via sheet piling, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from the site by wind or water.
- Fuels, oils, lubricants and other toxic materials must be stored in accordance with their labeling and are not to be transported from the site. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed in a proper manner. Spills may not be washed into the drainage system.
- Non-toxic water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or water concrete may not be washed into public way or any drainage system. Precipitates shall be made to retain concrete waste on-site until they can be appropriately disposed of or recycled.
- Trash and construction-related liquid wastes must be deposited into a covered receptacle to prevent contamination of air-water and disposal by wind.
- Sediments and other materials may be washed from the site by vehicle traffic. The construction entrance shall be established to inhibit sediments from being deposited into public ways. Accidental deposit must be swept up immediately and may not be washed down by rain or by other means.

At the project owner or authorized agent of the owner, I have read and understood the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print name: _____
 (Owner or authorized agent of the owner)
 Signature: _____
 (Owner or authorized agent of the owner)

LEGEND:

- CONCRETE WALL
- BLOCK WALL
- STONE WALL
- STUCCO WALL
- CHAIN LINK FENCE
- WOODEN FENCE
- CENTER LINE
- LOT LINE
- CONCRETE
- TRIE
- BEGIN OF CURVE
- END OF CURVE
- EDGE OF CUTTER
- EDGE OF PAVEMENT
- FLOWLINE
- NATURAL GRADE
- POINT ON CURVE
- TOP OF WALL
- TOP OF SLOPE
- MAIL BOX
- WATER METER
- ELECTRICAL BOX
- ELECTRICAL METER
- GAS METER
- PULL BOX
- CLEANOUT
- BOLLARD
- MEASURED DISTANCE
- COMPUTED DISTANCE
- RECORDED DISTANCE

NOTES:

A. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SURVEY.

B. IN PROVIDING THIS SURVEY NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.

C. NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO THE SURVEYOR. ALL DOCUMENTS OF RECORD REVIEWED ARE NOTED HEREON. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL OF LAND.

D. THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH OR RESEARCH OF RECORDS TO DETERMINE THE FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

LEGAL DESCRIPTION:

LOT 8 OF TRACT NO. 7990, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 88, PAGES 94 AND 95, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

A.P.N. 210-081-012.

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING SOUTH OF THE WESTERLY LINE OF VAN NUYS BOULEVARD, FORMERLY SHERMAN WAY, AS SHOWN ON THE MAP OF TRACT NO. 7990, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 88, PAGES 94 AND 95, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BENCHMARK:

BENCHMARK DETESTABLE, DATUM NAD 83, YEAR OF ADJUSTMENT 2006. BENCHMARK IS LOCATED AT THE INTERSECTION OF VAN NUYS BOULEVARD AND FOUND WHERE SPAN CLERK SATECOTY ST, 1.3 FT. W/O R/W VAN NUYS BLVD.

DATE OF SURVEY:

APRIL 20, 2016.

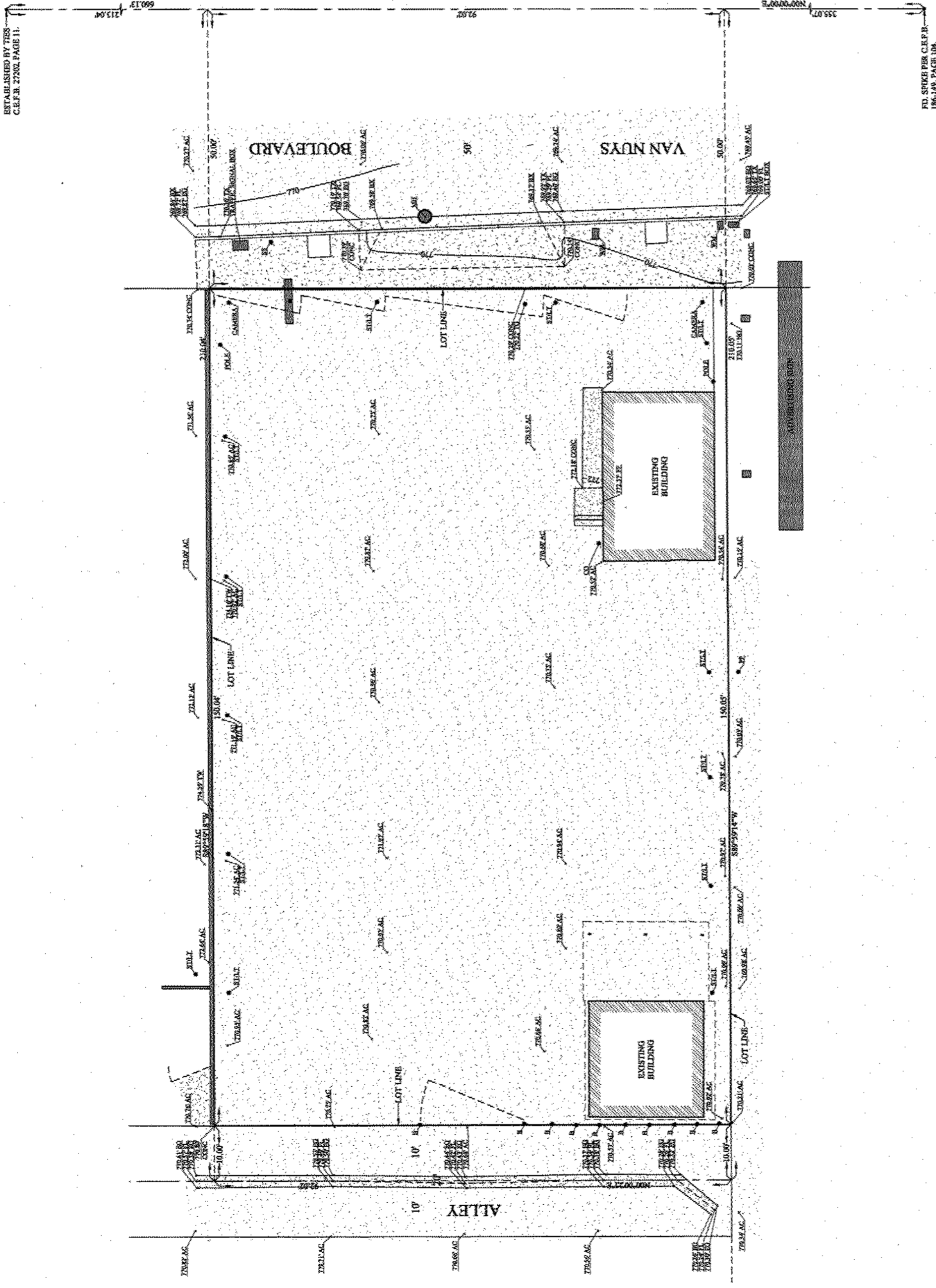
SITE ADDRESS:

7691 VAN NUYS BOULEVARD,
LOS ANGELES, CA 91405.

COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND WITHOUT WET SEAL ARE NOT VALID.



PREPARED UNDER THE DIRECTION OF:
KAREN KORGANYAN PLS 8310



ESTABLISHED BY THIS CE.P.R. 27502, PAGE 11.

FD. SPICE PER C.E.P.R. 106-149, PAGE 10A.



PLAN SCALE 1" = 10'



ENGINEERING INC.
 7639 VAN NUYS BLVD., SUITE 100
 VAN NUYS, CALIFORNIA 91405
 PHONE: (818) 709-1000
 FAX: (818) 709-1001
 WWW: WWW.GAENGINEERING.COM

REVISION	BY

OWNER

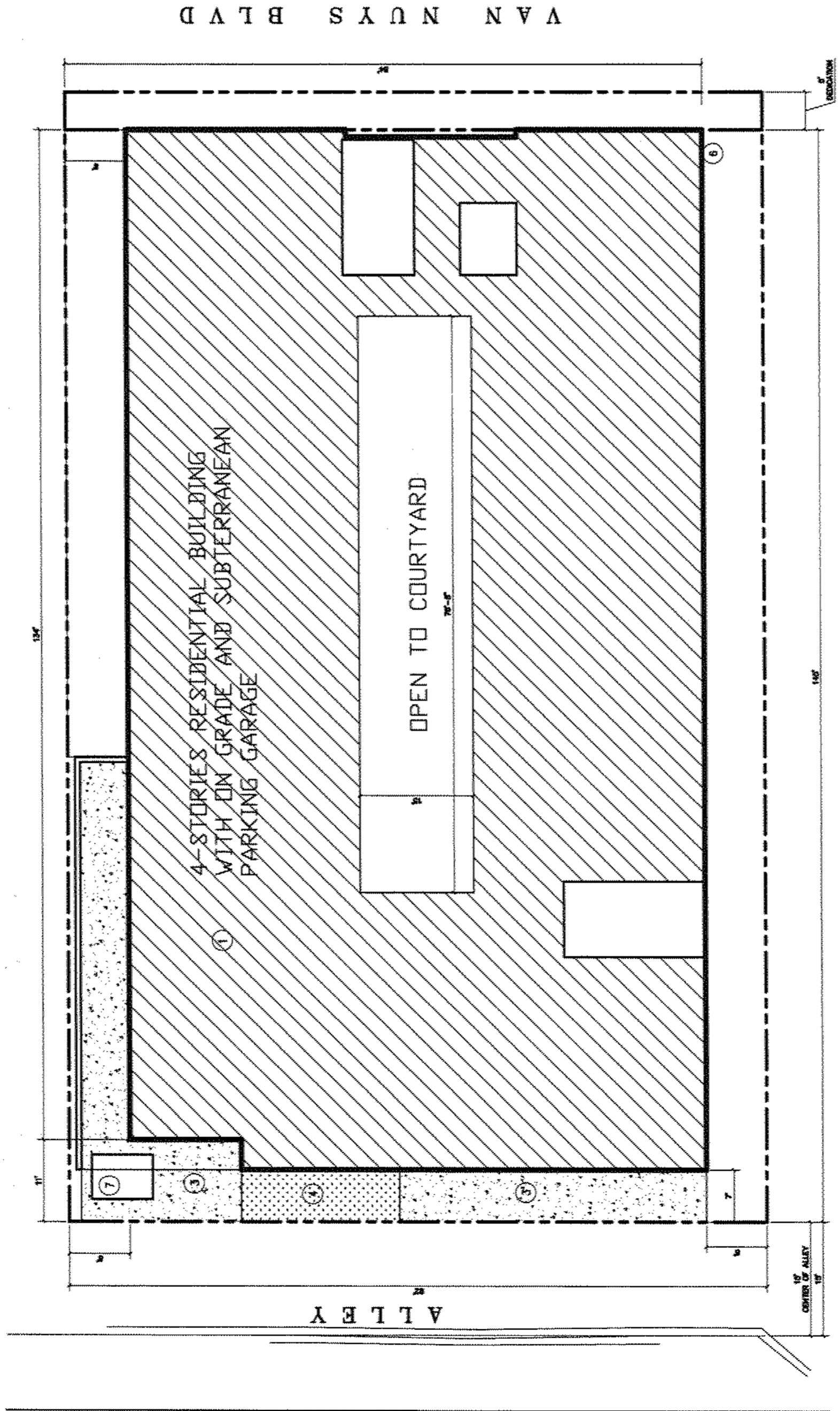
PROJECT
 7639 VAN NUYS BLVD,
 VAN NUYS, CA 91405

DRAWING TITLE
 SITE PLAN

DATE	MAY 2019
SCALE	1/8"=1'-0"
DRAWN	WA
APPROVED	AK
JOB	19-00A
SHEET	A-1
OF SHEETS	10

KEY NOTES

- ① 4-STORIES RESIDENTIAL BUILDING WITH ON GRADE AND SUBTERRANEAN PARKING
- ② WALKWAY
- ③ DRIVEWAY
- ④ LANDSCAPING
- ⑤ BALCONY
- ⑥ IRRIGATION CONTROLLER
- ⑦ ELECTRICAL TRANSFORMER LOCATION



SITE PLAN

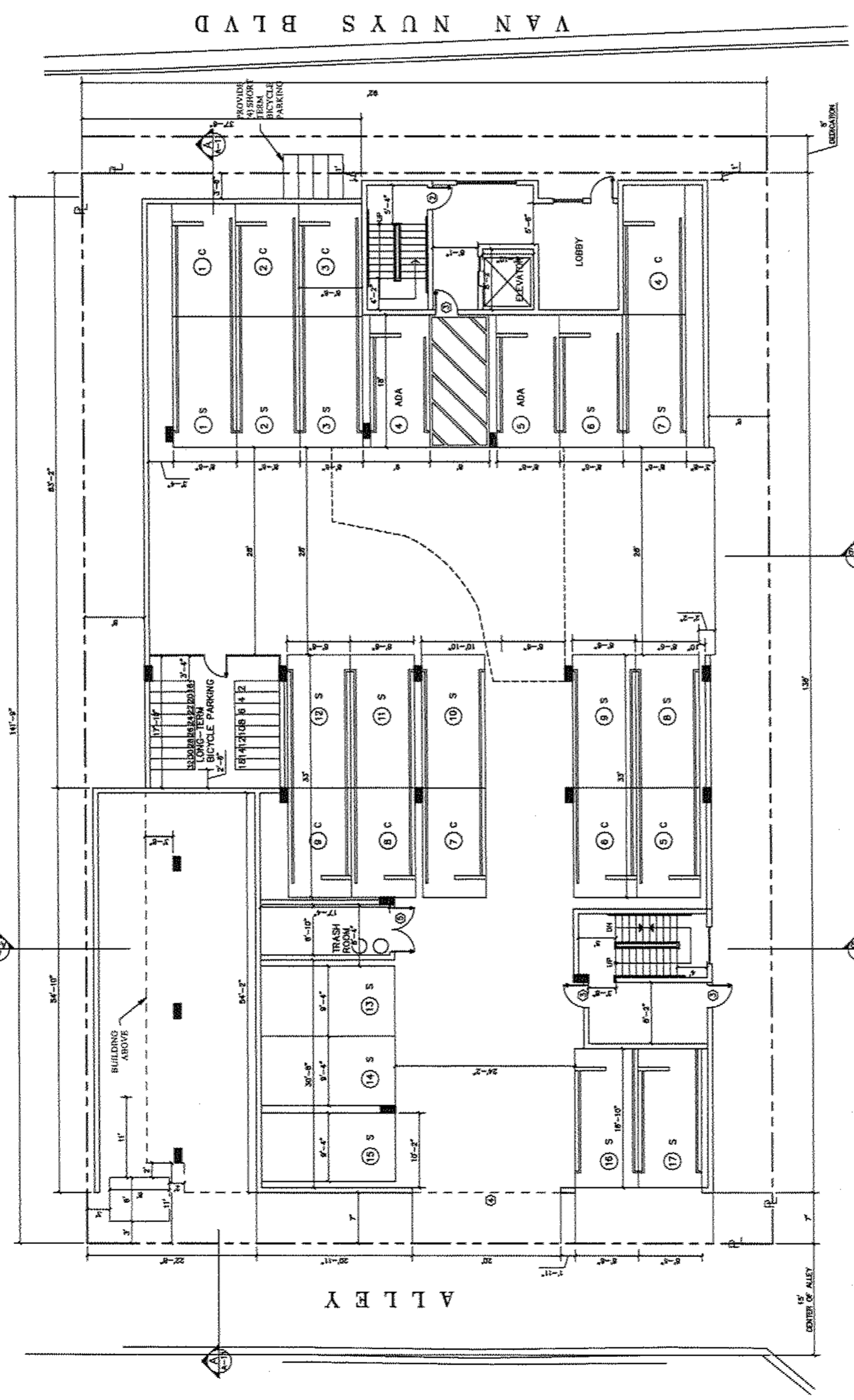
SCALE 1/8" = 1'-0"

LEGEND

- 8" SHOTCRETE
- 8" BLOCK WALL
- 2 HR RATED STC 50 WALL
- 2A10BC FIRE EXTINGUISHER W/ SEM-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- DISABLE PATH OF TRAVEL
- FACE
- EXIT SIGN
- F.D.C.
- BICYCLE PARKING, REFER TO SHEET N-3
- VENTILATION DUCT LOCATION
- ELEVATOR CAB TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4.24" X 84" WITH NOT LESS THAN 5'-0" RADIUS CORNER.
- E.V. CAPABLE ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE. REFER TO SHEET N-1(08)
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT ALL EV CHARGING STATIONS DESIGNED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2
- E.V.S.E. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- A LABEL 'EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND EV CHARGING SPACE (4.106.4.2)
- STANDARD PARKING
- COMPACT PARKING
- DISABLED PARKING
- CLASS 'T' TYPE STANDPIPE


NOTES

1. "TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL. (3201.3.3202.3.4.3306).
2. "DOUBLE STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21A5, CHART NoS"
3. NO GUEST PARKING IS PROVIDED NOR REQUIRED.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR FINAL INSPECTION APPROVAL." (STATE ASSEMBLY BILL No 1881).
5. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 708.14.1-EXCEPTION 3.
6. MECHANICAL VENTILATION WILL BE PROVIDED.



GROUND FLOOR PLAN

SCALE 1/8" = 1'-0"

 <p>ENGINEERING INC 1425 VAN NUYS BLVD, SUITE 200 VAN NUYS, CALIFORNIA 91411 Phone: (818) 708-5018 Fax: (818) 708-5033 Cell: (818) 708-5034</p>	OWNER	PROJECT	DRAWING TITLE	DATE: MAY 2018	SCALE: 1/8"=1'-0"	DRAWN: VS	APPROVED: JS	JOB: 18-034	SHEET: A-2	OF: 02 SHEETS
	COHEN BROTHERS, LLC 7639 N VAN NUYS BLVD, VAN NUYS, CA 91405	7639 VAN NUYS BLVD, VAN NUYS, CA 91405	GROUND FLOOR PARKING							



ENGINEERING INC.
15421 NORTH BUCKLEUP BLVD
VAN NUYS, CALIFORNIA 91411
Phone: (818) 796-2078
Fax: (818) 796-2077
www.gai-engineering.com

REVISION	BY

OWNER
COHEN BROTHERS, LLC
7639 N VAN NUYS BLVD,
VAN NUYS, CA 91405

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

DRAWING TITLE
SUBTERRANEAN PARKING

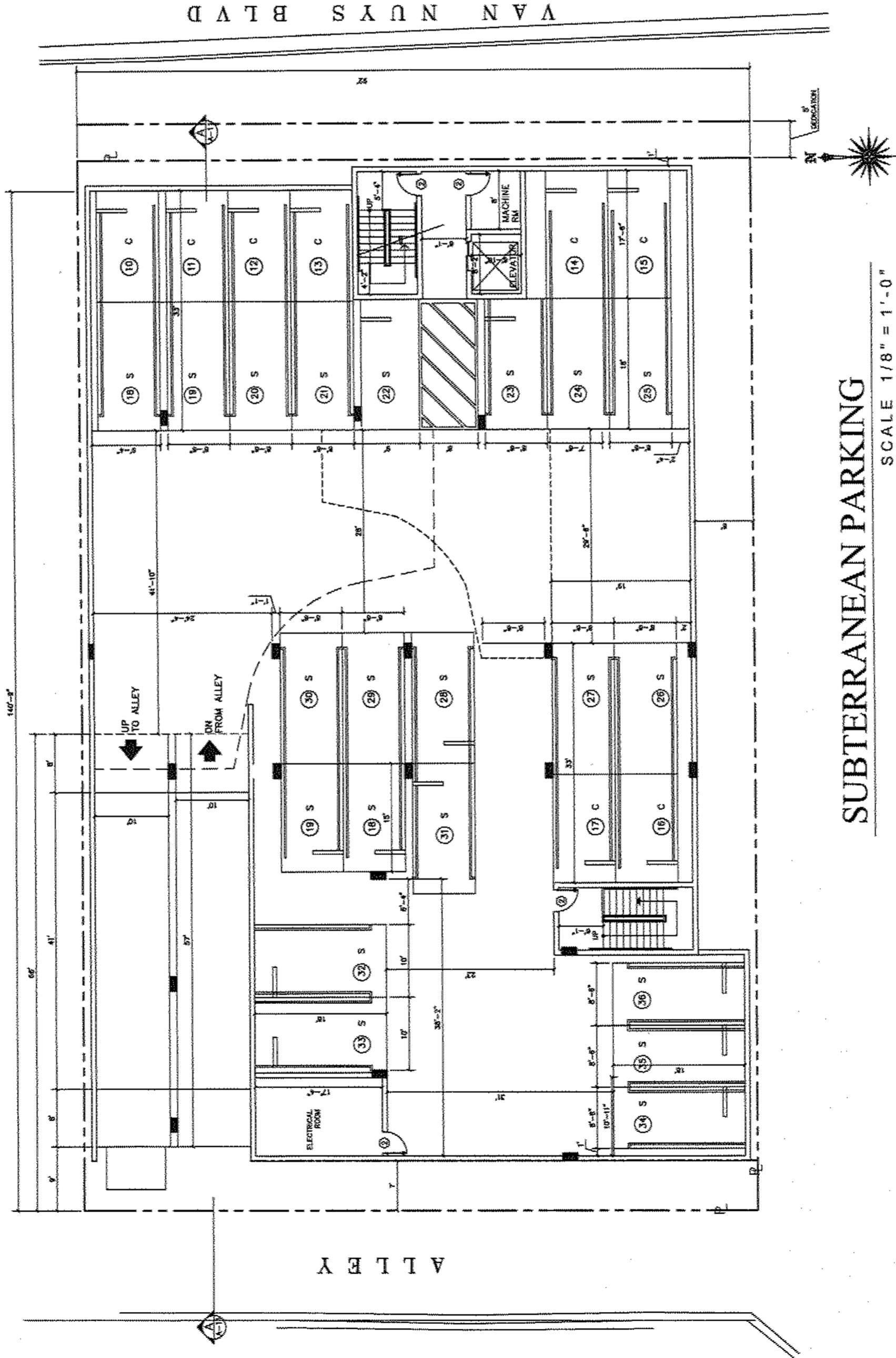
DATE	MAY 2018
SCALE	1/8"=1'-0"
DRAWN BY	JA
APPROVED BY	JA
JOB NO.	18-004
SHEET	A-3

LEGEND

- 6" BLOCK WALL
- 2 HR RATED STC 50 WALL
- 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- DISABLED PATH OF TRAVEL
- FACE
- EXIT SIGN
- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3202.4.24" X 64" WITH NOT LESS THAN 5'-RICH RADIUS CORNER.
- 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- CLASS 1 TYPE STANDPIPE

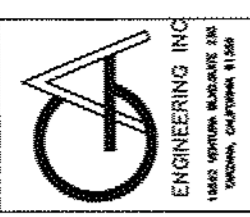
NOTES

1. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL (3201.3.3202.3.4.3306).
2. "DOUBLE STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21A5, CHART No5"
3. NO GUEST PARKING IS PROVIDED NOR REQUIRED.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR FINAL INSPECTION APPROVAL." (STATE ASSEMBLY BILL No 1881).
5. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 708.14.1-EXCEPTION 3.
6. MECHANICAL VENTILATION WILL BE PROVIDED.



SUBTERRANEAN PARKING

SCALE 1/8" = 1'-0"



ENGINEERING INC.
1445 LINDEN BLVD., SUITE 110
SAN JOSE, CALIFORNIA 95128
Phone: (415) 251-0118
Fax: (415) 251-0119
E-mail: info@enginc.com

OWNER
COHEN BROTHERS, LLC
7639 N VAN NUYS BLVD,
VAN NUYS, CA 91405

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

DRAWING TITLE
SECOND FLOOR PLAN

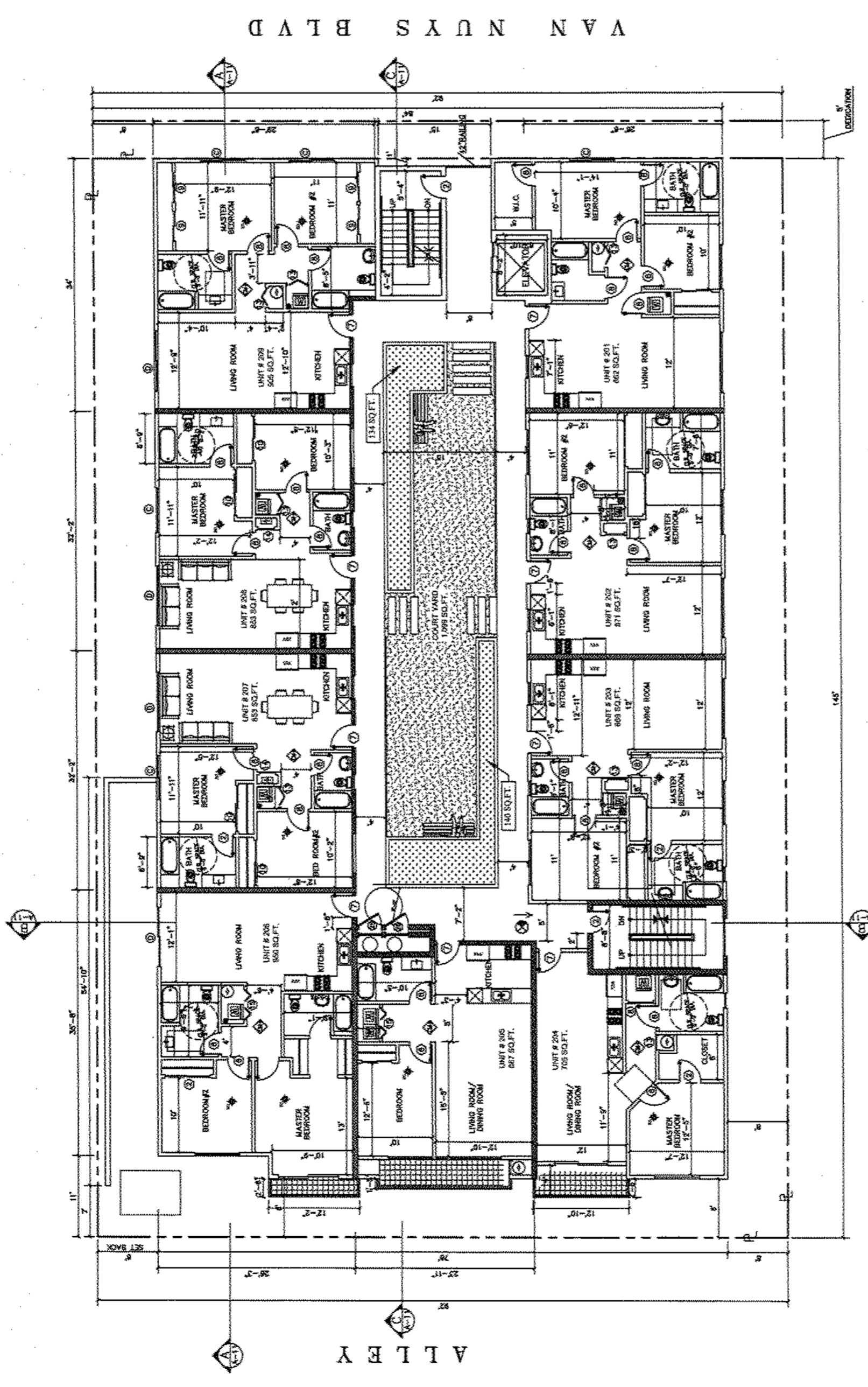
DATE:	MAY 2018
SCALE:	1/8" = 1'-0"
DRAWN:	W
APPROVED:	AS
JOB #:	18-034
SHEET:	A-4
OF	5

LEGEND


	1 HR RATED WALL
	1 HR RATED STC 50 WALL
	2 HR RATED STC 50 WALL
	EWT SIGN
	ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 708.14.1 WITH NOT LESS THAN 5-INCH RADIUS CORNER.
	2A10BC FIRE EXTINGUISHER W/ SEM- RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
	CLASS 1 TYPE STANDPIPE
	BALCONY W/ CROSSFLO PRODUCTS CORP. DEA-O-TEX COATING (C19042360) OR EQUAL, ICC-ESR-1757 TYPE
	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
	CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
	MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE. ENERGY STAR W/ HUMIDISTAT
	GROUND- FAULT CIRCUIT-INTERUPTER
	WATER HEATER
	TANKLESS WATER HEATER
	4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
	TERRACE DRAIN

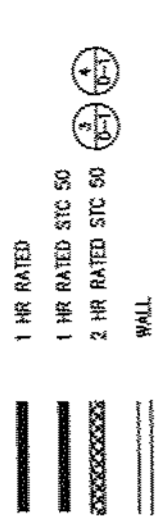
NOTES

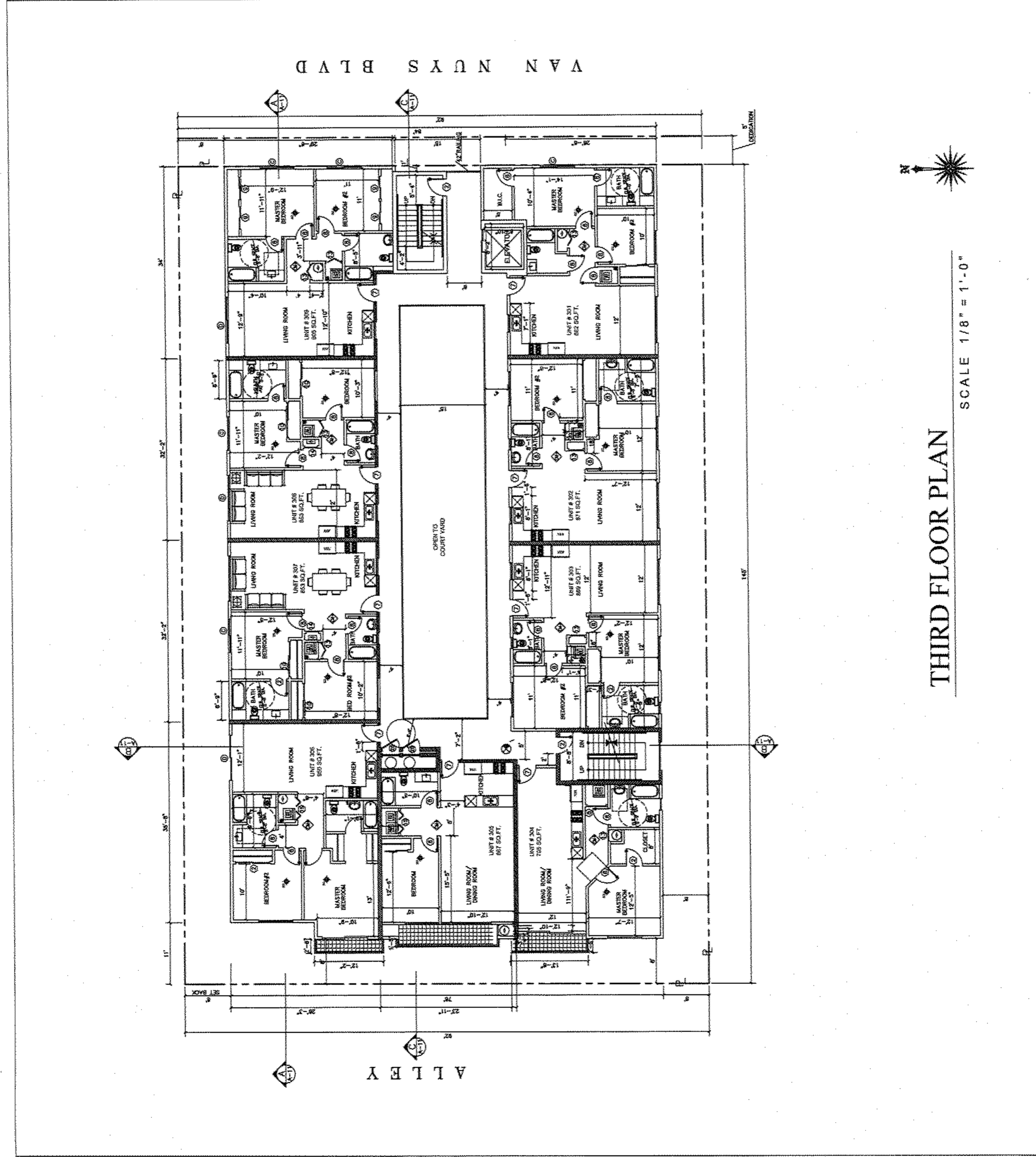
5. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 708.14.1-EXCEPTION 3.



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

 ENGINEERING INC. 10001 VENTURA AVENUE, SUITE 200 VAN NUYS, CALIFORNIA 91411 Phone: (818) 709-0078 Fax: (818) 709-2887 A. Engineering, Inc. is an Equal Opportunity Employer. Minorities and women are encouraged to apply.	OWNER COHEN BROTHERS, LLC 7639 N VAN NUYS BLVD. VAN NUYS, CA 91405	PROJECT 7639 VAN NUYS BLVD. VAN NUYS, CA 91405	DRAWING TITLE THIRD FLOOR PLAN	DATE: MAY 2018 SCALE: 1/8" = 1'-0" DRAWN: W APPROVED: AS JOB #: 16-034 SHEET:
	DATE: MAY 2018 SCALE: 1/8" = 1'-0" DRAWN: W APPROVED: AS JOB #: 16-034 SHEET:	OWNER COHEN BROTHERS, LLC 7639 N VAN NUYS BLVD. VAN NUYS, CA 91405	PROJECT 7639 VAN NUYS BLVD. VAN NUYS, CA 91405	DRAWING TITLE THIRD FLOOR PLAN

LEGEND  1 HR RATED 1 HR RATED STC 50 2 HR RATED STC 50 WALL EXIT SIGN ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5'-INCH RADIUS CORNER. 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP. CLASS "I" TYPE STANDPIPE. BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1CB02360) OR EQUAL, ICC-ESR-1757 TYPE. HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT GROUND-FAULT CIRCUIT-INTERUPTER WATER HEATER TANKLESS WATER HEATER 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER TERRACE DRAIN	NOTES
	NOTES



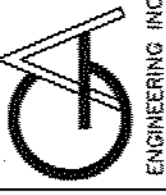
THIRD FLOOR PLAN
 SCALE 1/8" = 1'-0"

DATE	MMY 2018
SCALE	1/8" = 1'-0"
DRAWN	VA
APPROVED	AK
JOB #	18-034
SHEET	A-6
OF	6

DRAWING TITLE
FOURTH FLOOR PLAN

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

OWNER
COHEN BROTHERS, LLC
7639 N VAN NUYS BLVD,
VAN NUYS, CA 91405

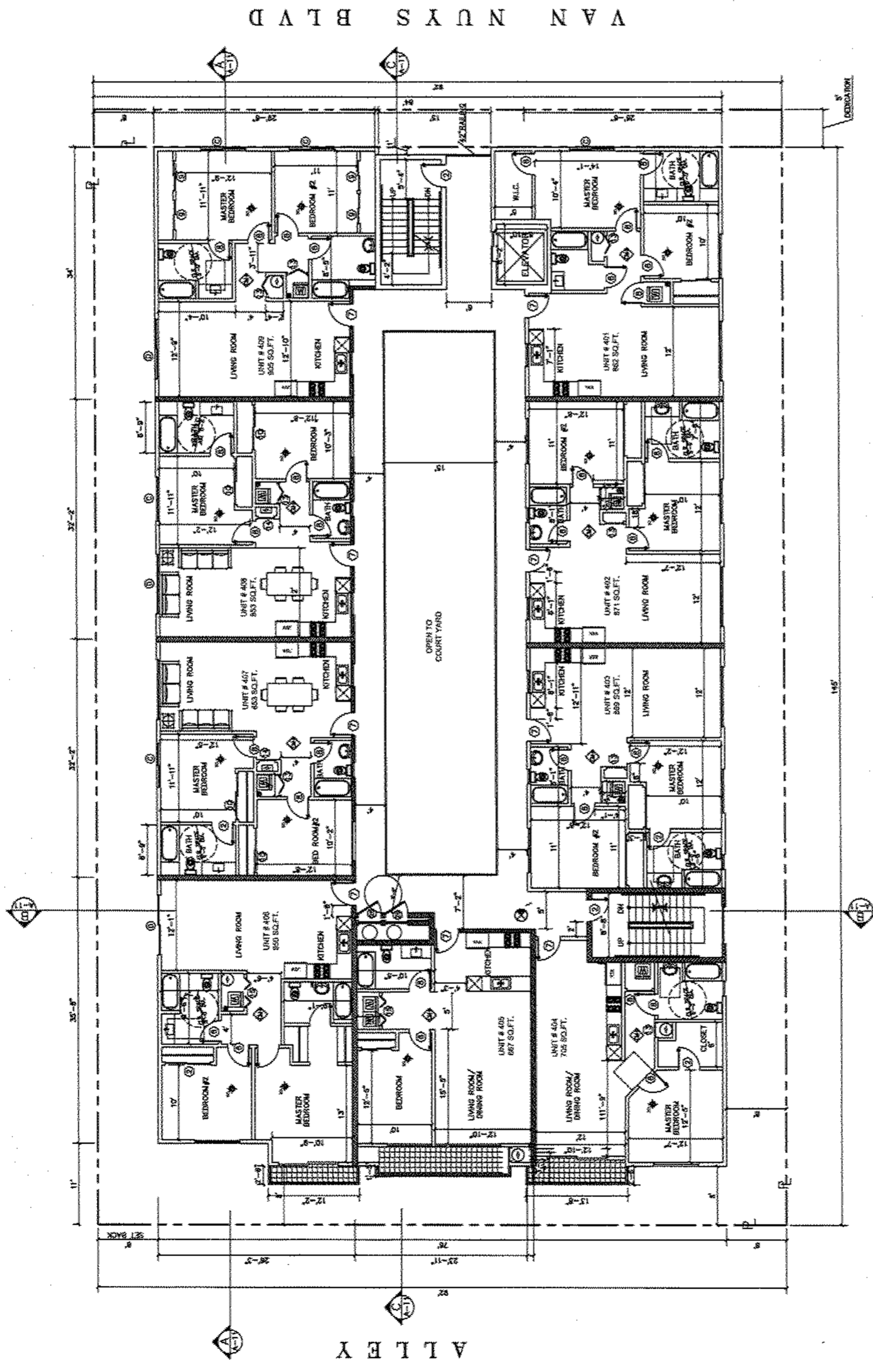


NOTES

- 1 HR RATED
- 1 HR RATED STC 50
- 2 HR RATED STC 50
- WALL
- EXIT SIGN
- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER.
- 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- CLASS 1" TYPE STANDPIPE
- BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1C802360) OR EQUAL, ICC-ESR-1757 TYPE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND-FAULT CIRCUIT-INTERUPTER
- WATER HEATER
- TANKLESS WATER HEATER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- TERRACE DRAIN

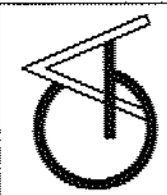
LEGEND

- 1 HR RATED
- 1 HR RATED STC 50
- 2 HR RATED STC 50
- WALL
- EXIT SIGN
- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 84" WITH NOT LESS THAN 5-INCH RADIUS CORNER.
- 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- CLASS 1" TYPE STANDPIPE
- BALCONY W/ CROSSFIELD PRODUCTS CORP. DEX-O-TEX COATING (1C802360) OR EQUAL, ICC-ESR-1757 TYPE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ HUMIDISTAT
- GROUND-FAULT CIRCUIT-INTERUPTER
- WATER HEATER
- TANKLESS WATER HEATER
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- TERRACE DRAIN



FOURTH FLOOR PLAN

SCALE 1/8" = 1'-0"



ENGINEERING INC
 1555 NORTH BALDWIN DR
 SUITE 100
 SAN ANTONIO, TEXAS 78201
 Phone: (214) 744-2011
 Fax: (214) 744-2017
 E-Mail: info@enginc.com

OWNER
 COHEN BROTHERS, LLC
 7639 N VAN NUYS BLVD,
 VAN NUYS, CA 91405

PROJECT
 7639 VAN NUYS BLVD,
 VAN NUYS, CA 91405

DRAWING TITLE
 FIFTH FLOOR PLAN

DATE: MAY 2019
 SCALE: 1/8" = 1'-0"
 DRAWN: VA
 APPROVED: JF
 JOB: 19-034
 SHEET:
 OF

A-7
 SHEETS

LEGEND

- 1 HR. RATED
- 1 HR. RATED STC 50
- 2 HR. RATED STC 50
- WALL

EXIT SIGN
 ELEVATOR CAR TO ACCOMMODATE
 AMBULANCE STRETCHER PER SECTION
 3002.4, 24" X 84" WITH NOT LESS THAN
 5-INCH RADIUS CORNER.

2A10BC FIRE EXTINGUISHER
 W/ SEMI-RECESSED CABINET.
 INSTALL MAX. 48" AFF. TO THE TOP

CLASS "T" TYPE STANDPIPE

BALCONY W/ CROSSFIELD PRODUCTS
 CORP. DEX-O-TEX COATING
 (1C90#2360) OR
 EQUAL, ICC-ESR-1757 TYPE

HARD WIRED SMOKE DETECTOR W/
 BATTERY BACK-UP

CARBON MONOXIDE & HARD WIRED
 SMOKE DETECTOR W/ BATTERY BACK-UP

MECHANICAL VENT, 7 1/2 AIR CHANGE PER
 HOUR, DIRECTLY TO THE OUTSIDE
 ENERGY STAR W/ HUMIDISTAT

GROUND-FAULT CIRCUIT-INTERUPTER

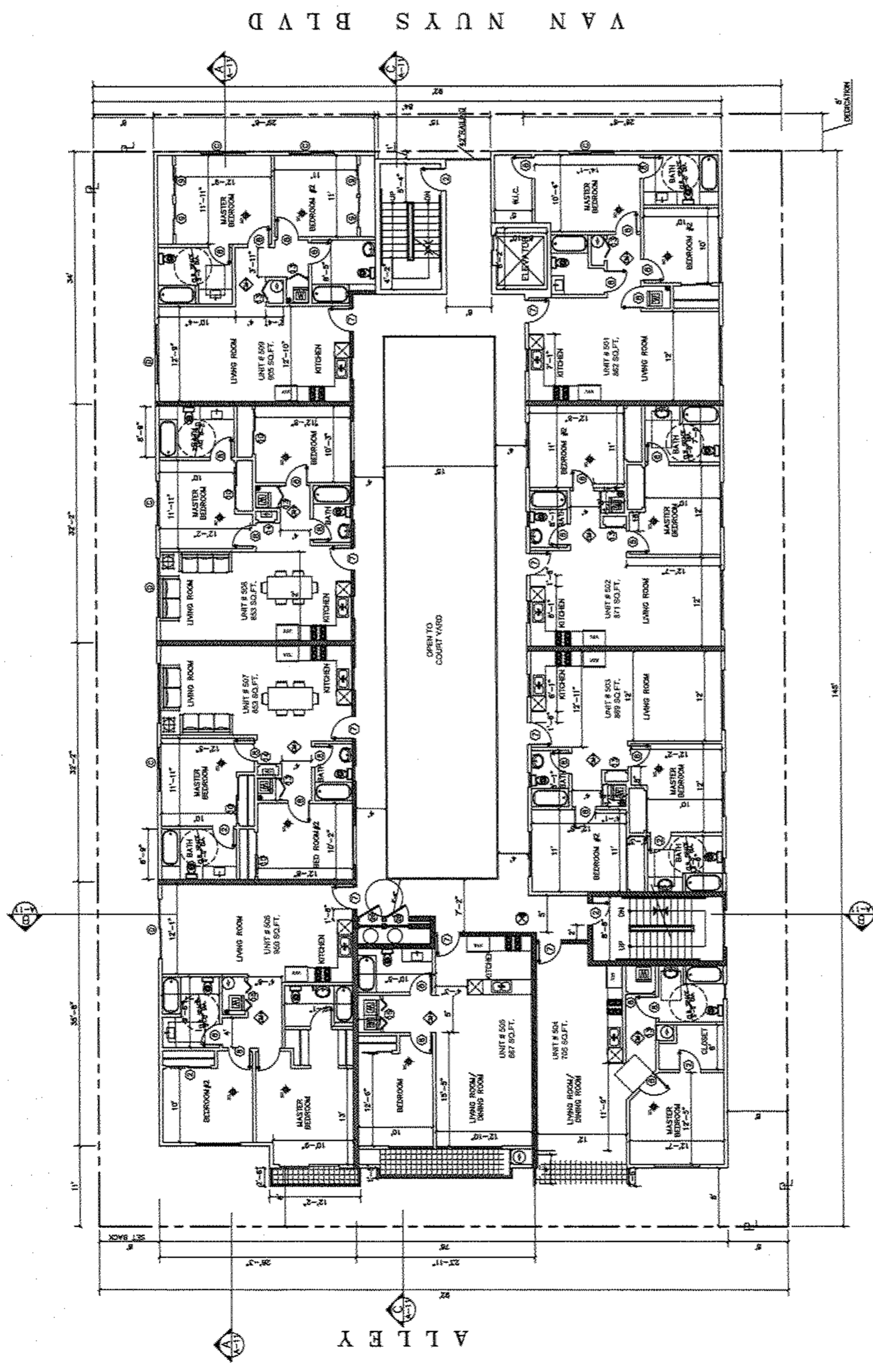
WATER HEATER

TANKLESS WATER HEATER

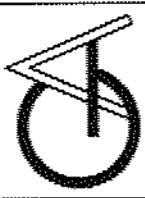
4" MIN. METAL DRYER VENT, DIRECTLY TO
 OUTSIDE MAXIMUM 14' LENGTH W/TWO
 ELBOWS FROM DRYER

TERRACE DRAIN

NOTES



FIFTH FLOOR PLAN
 SCALE 1/8" = 1'-0"



ENGINEERING INC.
 1000 VENTURA SQUARE, SUITE 200
 SAN ANTONIO, TEXAS 78204
 Phone: (512) 784-2014
 Fax: (512) 784-2007
 Email: info@enginc.com
 www.enginc.com

REVISION	BY	DATE

OWNER
 COHEN BROTHERS, LLC
 7639 N VAN NUYS BLVD,
 VAN NUYS, CA 91405

PROJECT
 7639 VAN NUYS BLVD,
 VAN NUYS, CA 91405

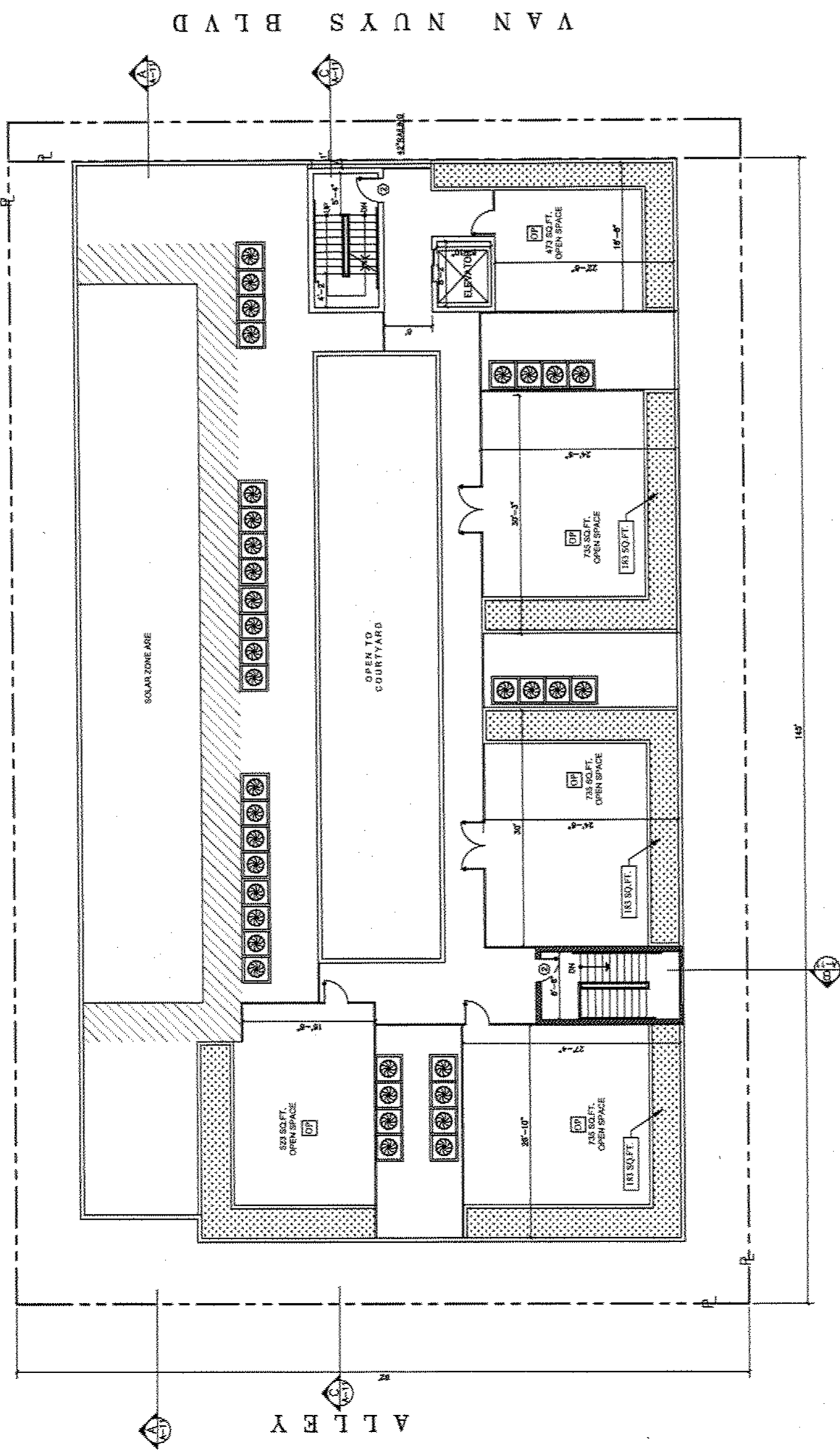
DRAWING TITLE
 ROOF PLAN

DATE:	MAY 2018
SCALE:	1/8" = 1'-0"
DRAWN:	VA
APPROVED:	AJ
SHEET:	18-024
A-8	
OF SHEETS	

ROOF NOTES

- 1 HR RATED
- 2 HR RATED
- WALL
- 2A10BC FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET. INSTALL MAX. 48" AFF. TO THE TOP
- DISABLE PATH OF TRAVEL
- EXIT SIGN
- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER PER SECTION 3002.4, 24" X 94" WITH NOT LESS THAN 5'-INCH RADIUS CORNER.
- AC UNIT
- SOLAR ZONE
 ROOF AREA = 8,005 SQ.FT.
 9,009 X 158" = 1,350 SQ.FT.
 2,134' / 4' = 533.50 SQ.FT.
 TO ARRANGE 4 SOLAR ZONES WITH 533.75 SQ.FT. EACH
- NUMBER OF SOLAR ZONE
- REPRESENTS AREA NEXT TO SOLAR PANEL SHALL BE FREE OF OBSTRUCTION AND TO BE SETBACK AT LEAST 10' UNLESS OTHERWISE NOTED. NO OBSTRUCTION, BUT NOT LIMITED TO VENTS, CHIMNEYS, AND EQUIPMENT.
- OPEN SPACE ROOF DECK USE, PROVIDES FOLLOW:
 1. 473 SQ.FT.
 2. 735 SQ.FT.
 3. 735 SQ.FT.
 4. 735 SQ.FT.
 5. 683 SQ.FT.
- LANDSCAPING

NOTES



ROOF PLAN
 SCALE 1/8" = 1'-0"



NO.	BY	DATE	DESCRIPTION

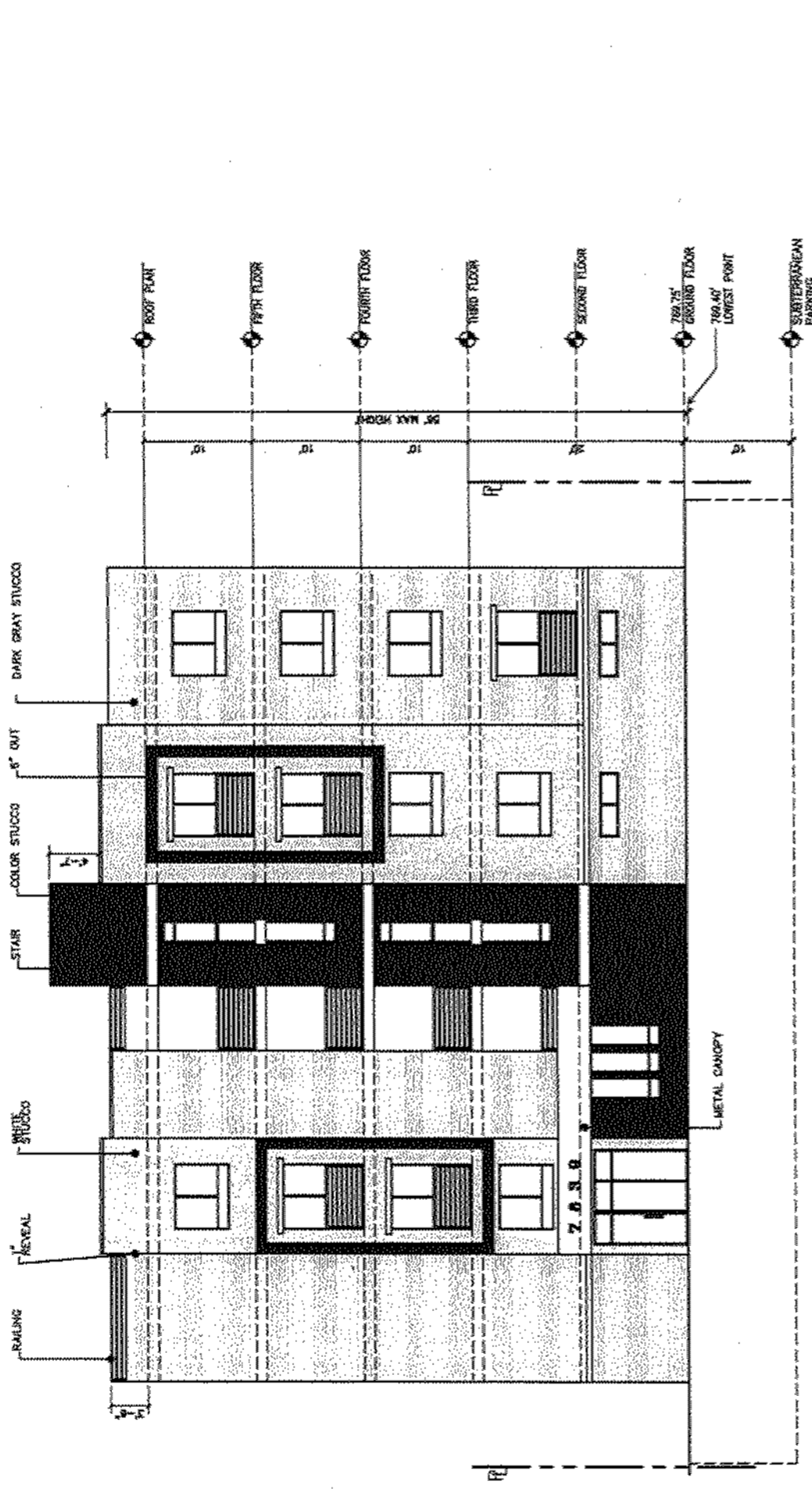
OWNER
COHEN BROTHERS, LLC
7639 N VAN NUYS BLVD,
VAN NUYS, CA 91405

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

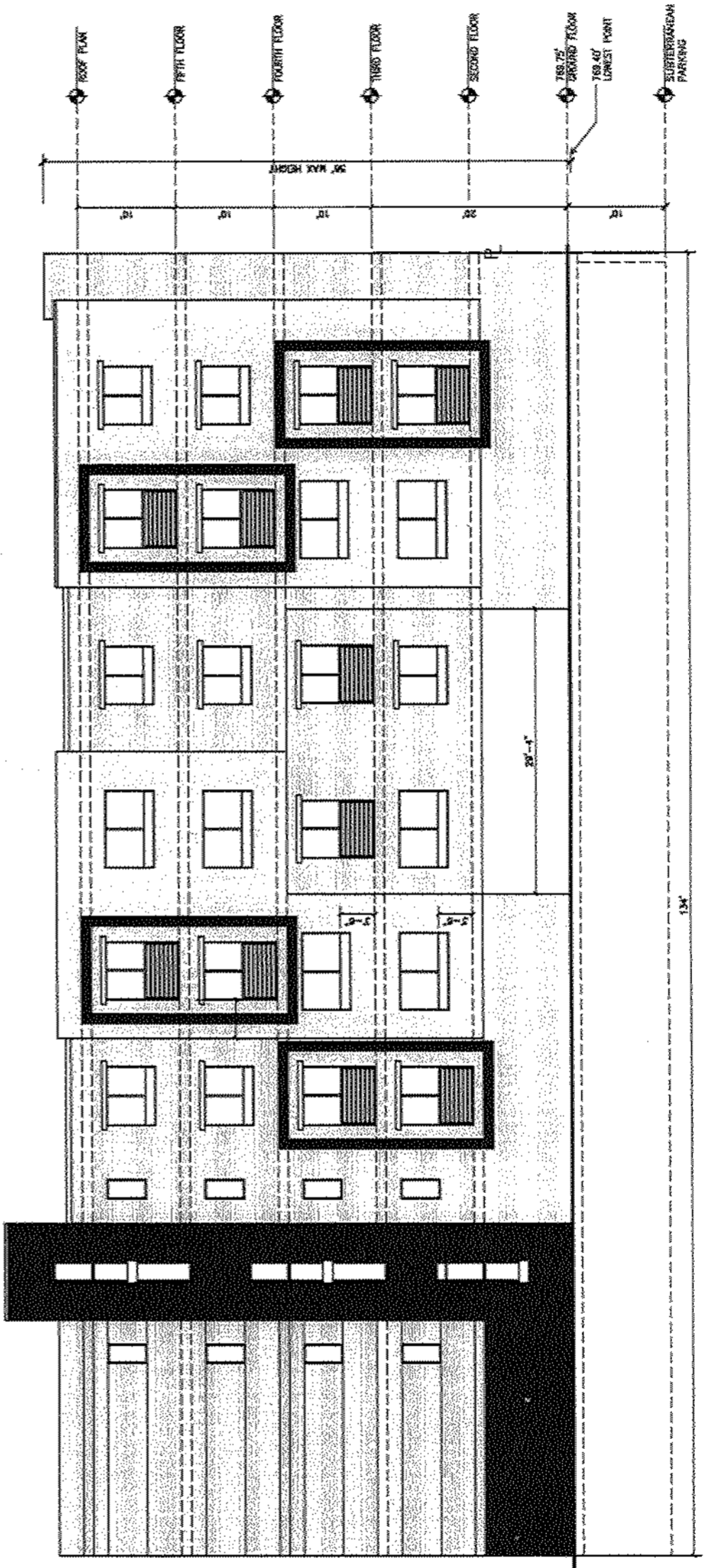
DRAWING TITLE
ELEVATIONS

DATE: MAY 2014
SCALE: 1/8" = 1'-0"
DRAWN: SK
APPROVED: AG
JOB #: 14-024
SHEET: A-9

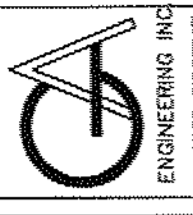
OF SHEETS



EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



ENGINEERING INC.
18001 WILSON BLVD SUITE 300
THERMIDORE, CALIFORNIA 91291

Phone: (916) 796-4411
Fax: (916) 796-3334
Fax: (916) 796-3847

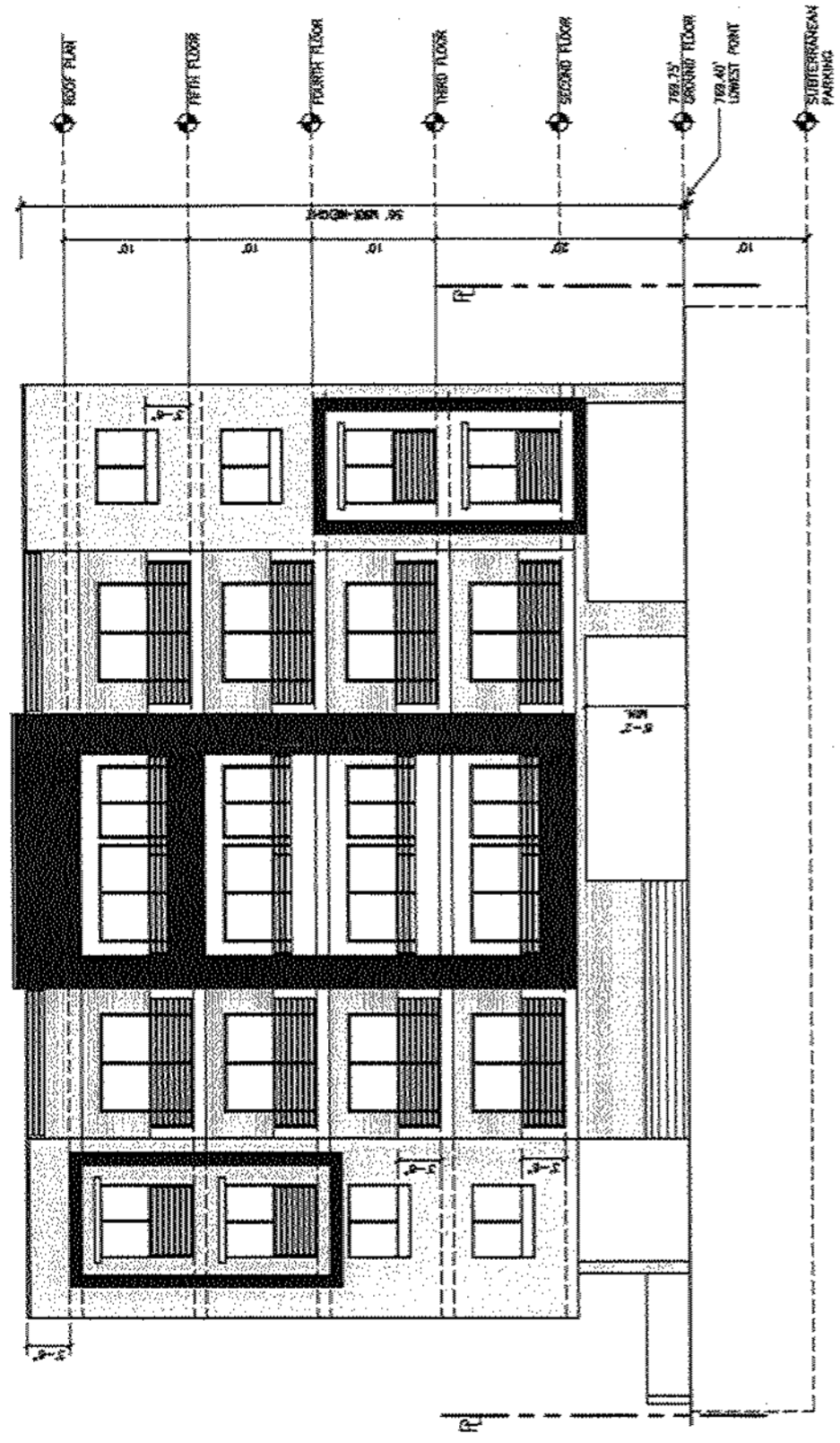
REVISION	BY

OWNER
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

PROJECT

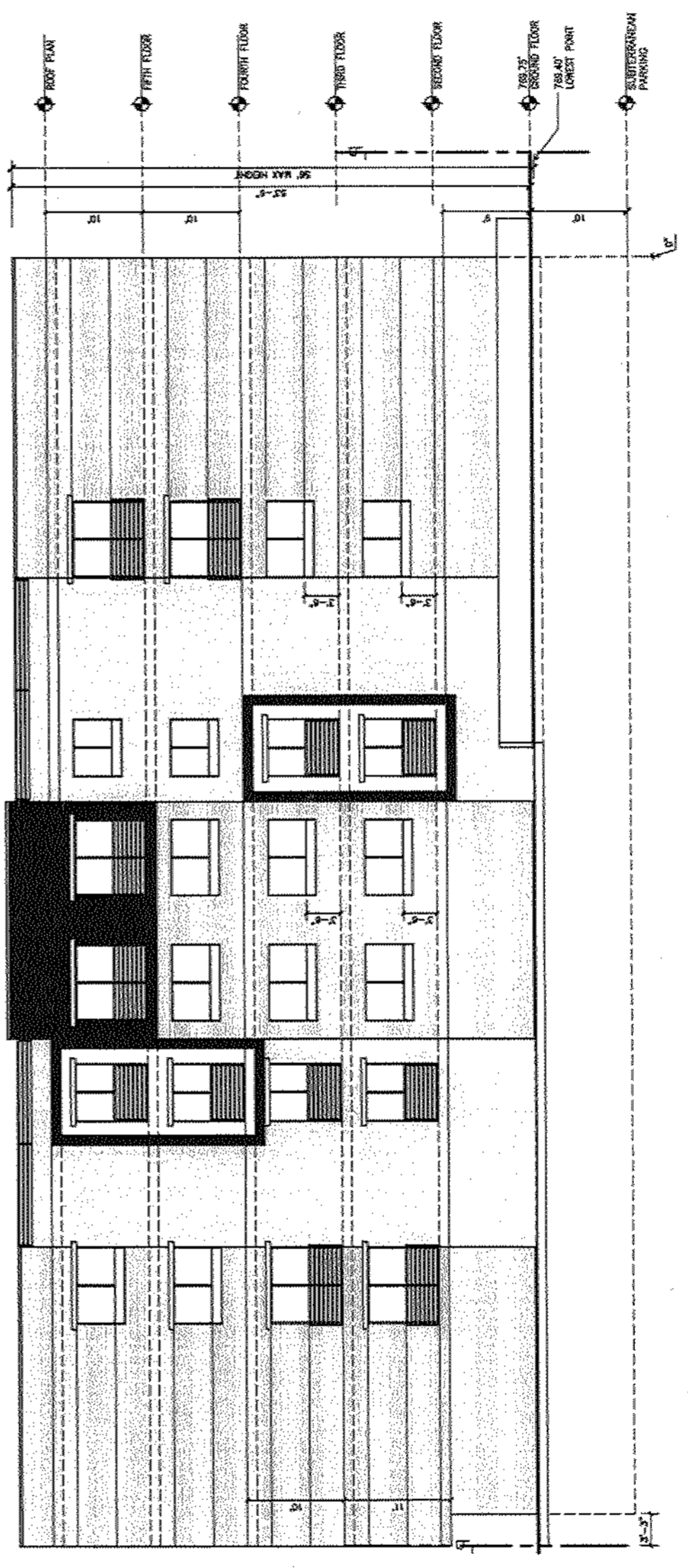
DRAWING TITLE
ELEVATIONS

DATE:	09/20/13
SCALE:	1/8" = 1'-0"
DRAWN:	UA
APPROVED:	AS
SHEET:	13-03A
A-10	
OF SHEETS	



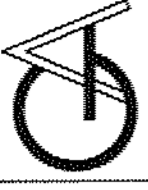
WEST ELEVATION

SCALE 1/8" = 1'-0"



NORTH ELEVATION

SCALE 1/8" = 1'-0"



ENGINEERING INC
1645 HOPKIN BLVD, SUITE 200
SAN JOSE, CALIFORNIA 95131

Phone: (415) 251-0018
Fax: (415) 251-0019
E-mail: info@enginc.com
www.enginc.com

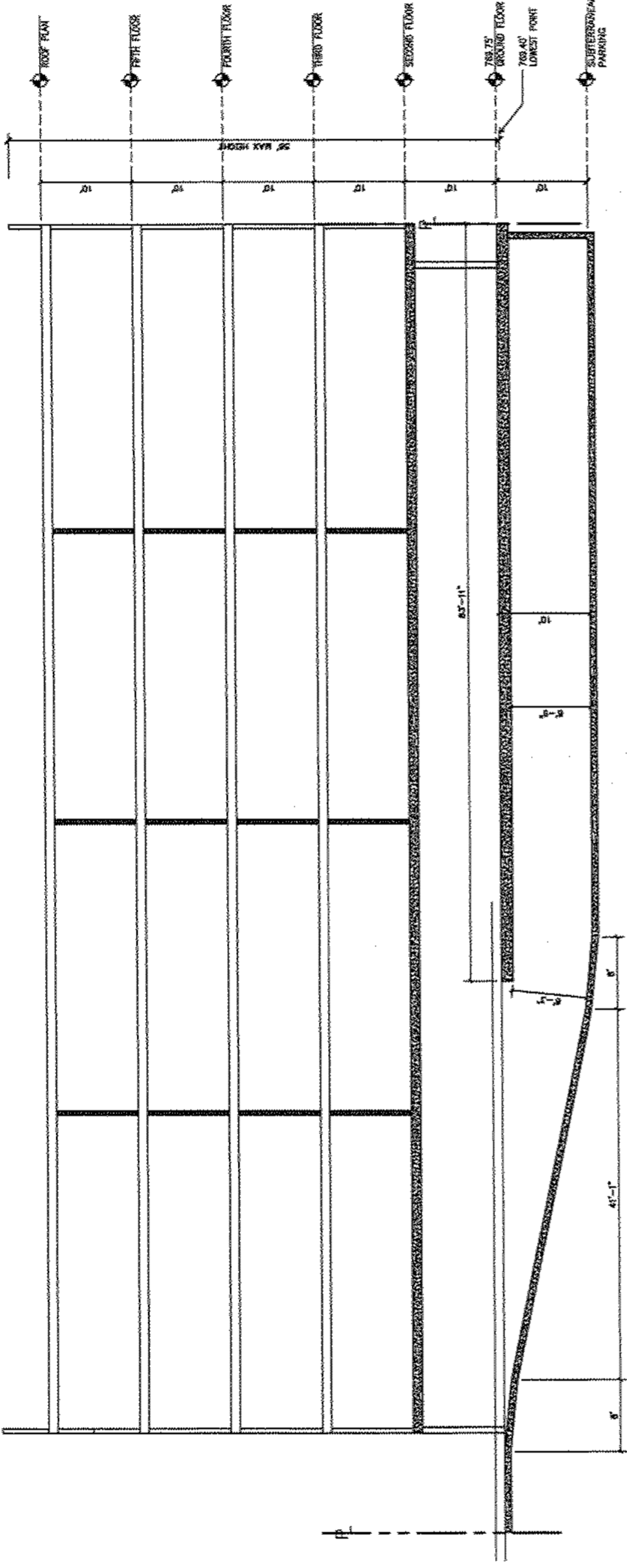
NO.	BY	DATE

OWNER
COHEN BROTHERS, LLC
7639 N VAN NUYS BLVD,
VAN NUYS, CA 91405

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

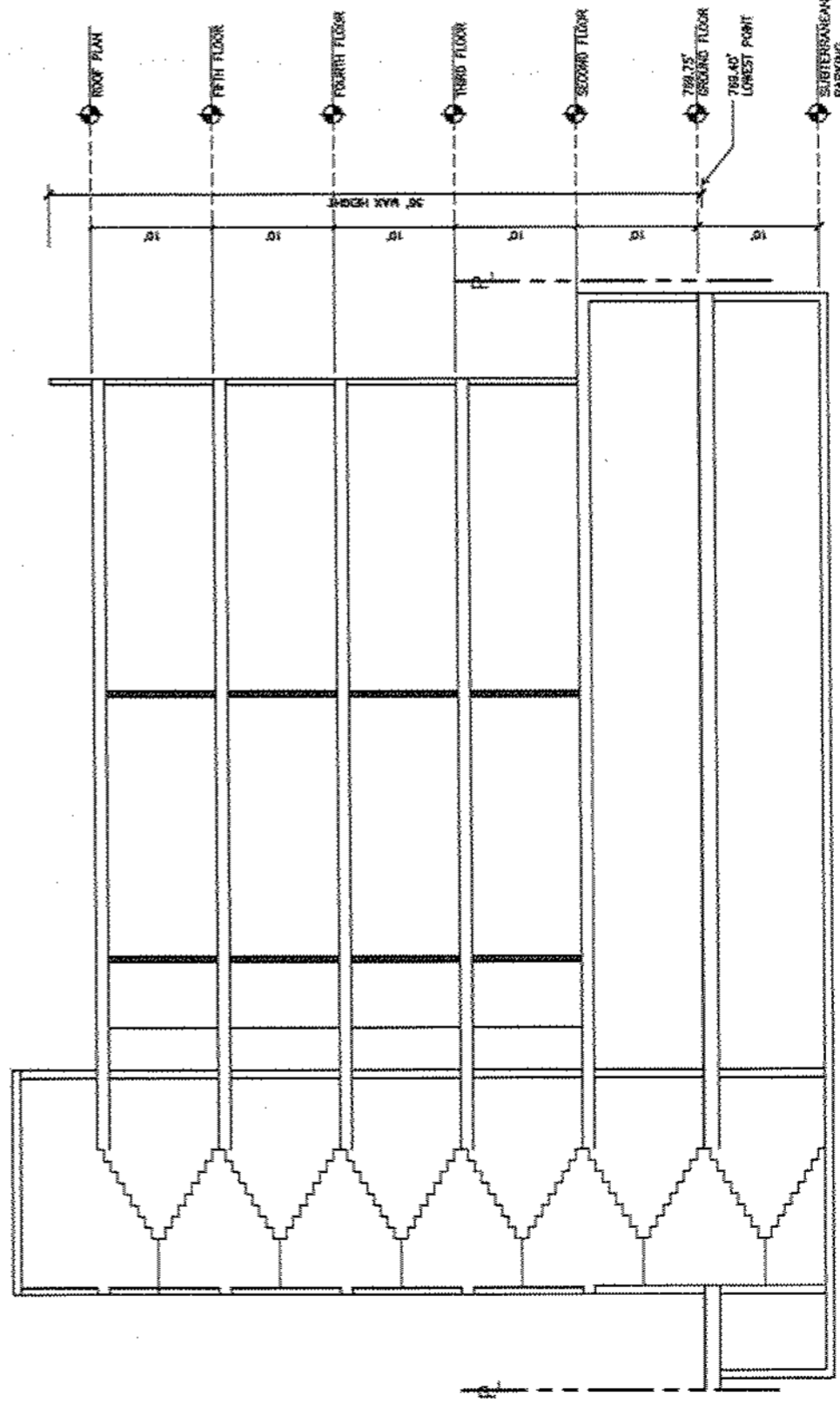
DRAWING TITLE
ROOF PLAN

DATE: MAY 2016
SCALE: 1/8" = 1'-0"
DRAWN: VA
APPROVED: JA
JOB #: 16-034
SHEET: A-11
OF SHEETS



SECTION A-A

SCALE 1/8" = 1'-0"

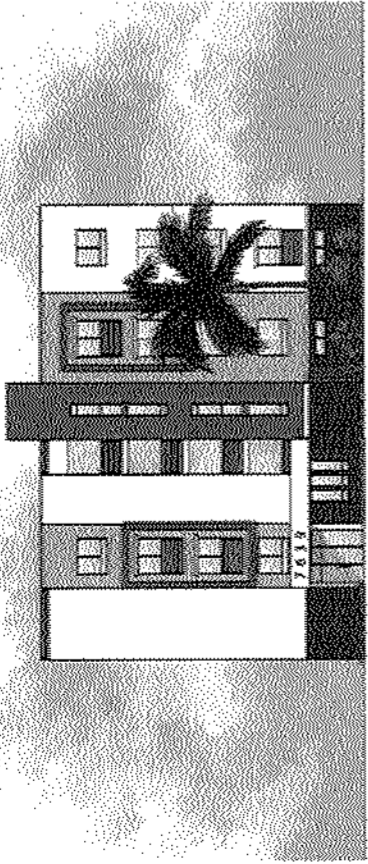


SECTION B-B

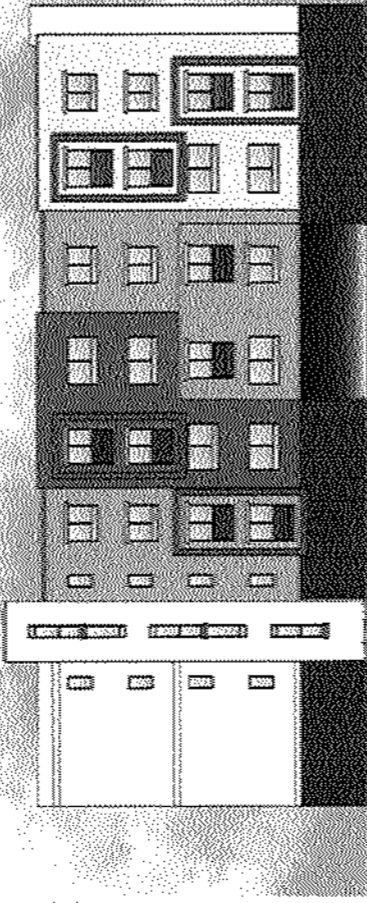
SCALE 1/8" = 1'-0"

GA ENGINEERING INC.

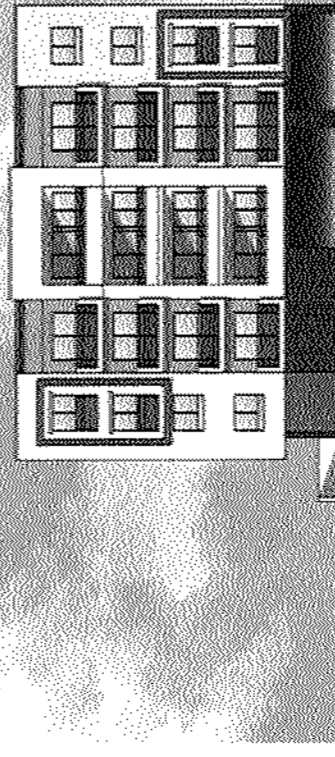
19532 Ventura Blvd. Suite 203, Tarzana, CA 91356
818.758.0018 • gaengineeringinc@gmail.com



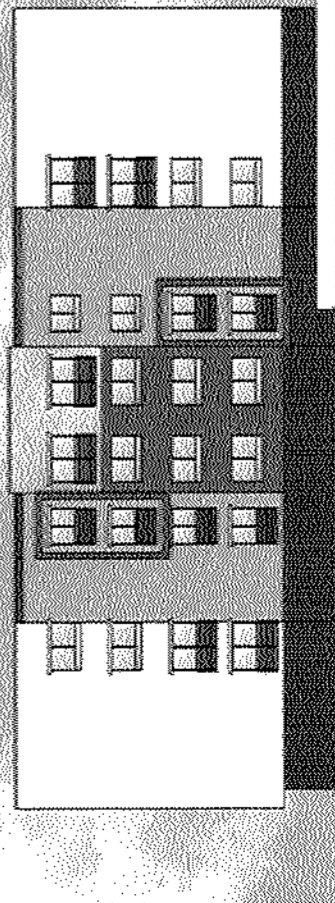
EAST ELEVATION



SOUTH ELEVATION



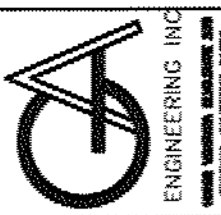
WEST ELEVATION



NORTH ELEVATION



7639 VAN NUYS BLVD, VAN NUYS, CA 91405



10. I hereby certify that I am a duly Licensed Professional Engineer in the State of California, License No. 44887, and that I am the author of the design and drawings herein. I am not providing any services to the client in violation of the California Engineering Board's rules and regulations. I am not providing any services to the client in violation of the California Engineering Board's rules and regulations. I am not providing any services to the client in violation of the California Engineering Board's rules and regulations.

REVISION	BY

OWNER

PROJECT
7639 VAN NUYS BLVD,
VAN NUYS, CA 91405

DRAWING TITLE
LANDSCAPING PLAN

DATE: MAY 2018
SCALE: 1/8"=1'-0"
DRAWN: VS
APPROVED: AS
JOB: 18-034
SHEET: 1-1
OF 1 SHEETS

LEGAL DESCRIPTION

PROPOSED: 36 UNITS, 4 STORES APARTMENT BUILDING OVER GROUND / SUBTERRANEAN PARKING + ROOF DECK

LEGAL DESCRIPTION
Thomas Brothers Grid PAGE 532 - GRID A3
Tract TR 7080 Map Reference M B 88-94/95
Block None Lot 8
Arb (Lot Out Reference) None
Map Sheet 186B149

APN: 2210-031-012
ZONE: C2-1N1

OPEN SPACE CALCULATION

NO. OF BEDROOMS	NO. OF HABITABLE ROOMS	QUANT.	OPEN SPACE
1	2	8	8 X 100 = 800
2	3	28	28 X 125 = 3,500
TOTAL			36
TOTAL			4,300 SQ.FT.

PROVIDED

AREA DESCRIPTION	OPEN SPACE
COURTYARD	1,099
ROOF DECK	7394-7394-7394+7394+3333+ 3,199
TOTAL	4,300 SQ.FT.

LANDSCAPING CALCULATION

REQUIRED LANDSCAPING: 1,099 SQ.FT. (COURTYARD) + 3,199 SQ.FT. (ROOF DECK)
25% REQUIRED: 4,249 X 25% = 1,062 SQ.FT.
TOTAL LANDSCAPING: 1,121 SQ.FT.
LOT SIZE: 13,383.3 SQ.FT.

REQUIRED

PROJECT SITE	PROVIDED
13,383.30 SQ.FT.	MEDIUM TREES: 30x6-6 40' ON CENTER MAX. TREE GROUPINGS 5' O.C.: 72x14 50' ON CENTER MAX. 72x4-4 POINTS PROVIDED: 15

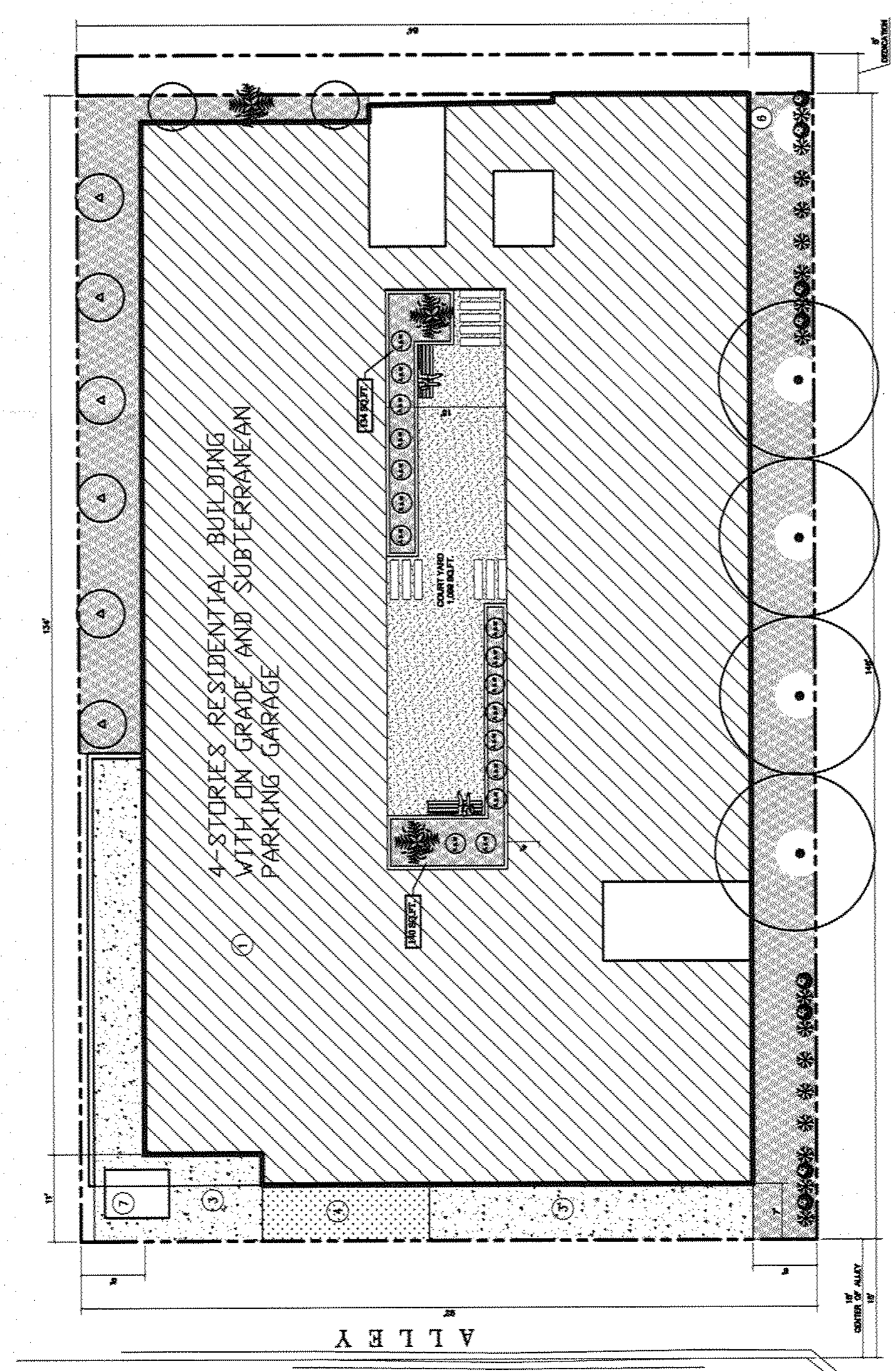
PLANTING LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
①	Psychotria K 'Desert Massam'	Palo Verde	3	24"BOX	THORNTLESS
②	Laurus nobilis	Sweet Bay	7	15GAL	PLANT 5' O.C.

REQUIRED AND PROVIDED SPECIFICATIONS

SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
③	Actinella 'Mouratave'	Yellow Yarrow	22	10GAL	PLANT 26" O.C.
④	Agave attenuata	Uy of the Hills	33	10GAL	THORNTLESS
⑤	Agave attenuata	Fossil Agave	4	50GAL	WHITE FLOWERS
⑥	Crucifera ovata	Jack Plant	6	150GAL	WHITE FLOWERS
⑦	Cycas revoluta	Sago Palm	5	150GAL	THORNTLESS
⑧	Echinocactus grusonii	Golden Barrel Cactus	14	50GAL	THORNTLESS
⑨	Hebe x exoniensis	Red Yucca	34	15GAL	UPRIGHT FORM
⑩	Illex cornuta 'Sky Pencil'	Sky pencil	2	150GAL	UPRIGHT FORM
⑪	Penstemon 'Hydram' 'Shirazdon'	Shirazdon	18	15GAL	UPRIGHT FORM
⑫	Senecio tuberosus var. 'monstruosus'	Blue shrub	300	150GAL	UPRIGHT FORM
⑬	Mulch	Blue shrub	300	FLATS	UPRIGHT FORM

NOTES:
1. USE SHREDED CEDAR BARK TO SPREAD BETWEEN PLANTS. ALL TREES TO BE PLANTED WITH COMMERCIAL ROOT BARRIERS. USE CLASS I OR CLASS II COMPOST AS A SOIL AMENDMENT IN ALL LANDSCAPED AREAS.



LANDSCAPING PLAN

SCALE 1/8" = 1'-0"



ENGINEERING INC.
 10100 VAN NUYS BLVD., SUITE 100
 VAN NUYS, CALIFORNIA 91411
 TEL: (818) 705-1111
 FAX: (818) 705-1112
 WWW: WWW.ENGINEERINGINC.COM

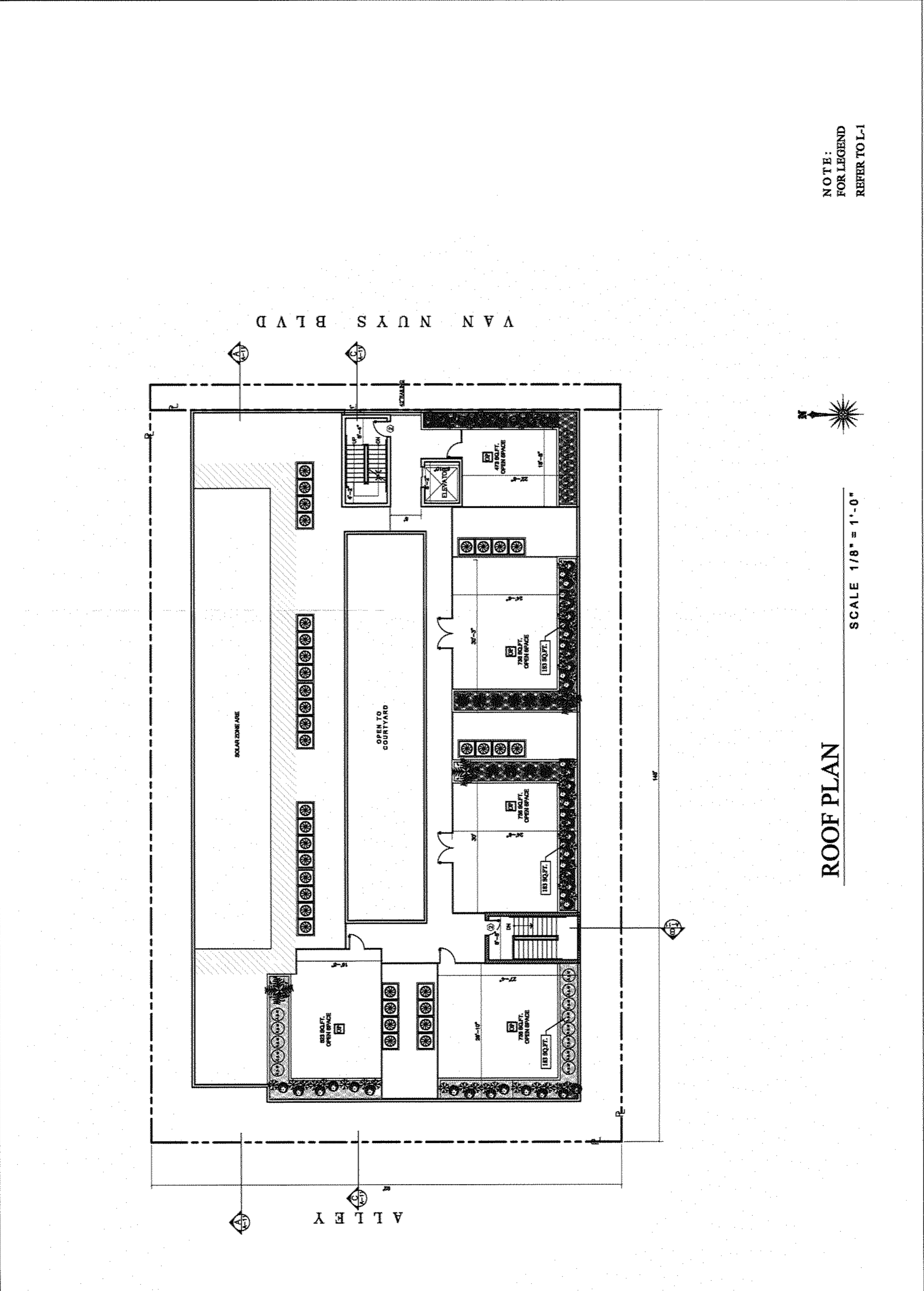
OWNER
 COHEN BROTHERS, LLC
 7639 N VAN NUYS BLVD,
 VAN NUYS, CA 91405

PROJECT
 7639 VAN NUYS BLVD,
 VAN NUYS, CA 91405

DRAWING TITLE
 LANDSCAPING PLAN
 ROOF DECK



DATE: MAY 2018
 SCALE: 1/8" = 1'-0"
 DRAWN: [Signature]
 APPROVED: [Signature]
 JOB: 18-004
 SHEET: L-2
 OF SHEETS



NOTE:
 FOR LEGEND
 REFER TO L-1

SCALE 1/8" = 1'-0"

ROOF PLAN