#### SHEETINDEX

#### SHEET INDEX **GENERAL INFORMATION:** A-1.0 - Building Data - General & Building Notes - General & Building Notes - Handicapped Notes - Handicapped Notes - Handicapped Notes - Title 24 - Green Building Notes - Density Bonus SITE: A-2.0 - Survey - Site Plan - Site Drainage Plan **FLOOR PLANS:** - Basement Garage - 1st Floor Plan A-3.1.1 - 1st Floor Slab Depression A-3.1.2 - 1st Floor Reflected Ceiling Plan - 2nd Floor Plan A-3.2.1 - 2nd Floor Reflected Ceiling Plan - 3rd Floor Plan - 3rd Floor Reflected Ceiling Plan - Roof Plan - Bathroom Plans - Stair No.1 and 2 Plans and Section - Townhouse Stair and Exterior Stair Plan and Section - Bike Room Plan & Detail **ELEVATIONS:** A-4.0 - West Elevation A-4.1 - South Elevation - North Elevation - East Elevation **SECTIONS:** - Section A - Section B - Section C **SCHEDULES:** - Doors and Windows Schedule **DETAILS:** - Wall Details - Wall Details - Wall Details - Flashing Details - Flashing Details - Stair Details - Handicapped Details - Handicapped Details - Handicapped Details - Door & Jamb Details A-7.10 - Parking Details AREA CALCULATION: - Floor Area Ratio - Floor Area Gross - School Fee Calculation - Open Space Calculation - Hardscape Area Calculation - Height on Survey - Grade plane calculation **LIFE SAFETY PLAN:** LSP-1.0 - Basement Garage Exit Access & Egress per Occ. Load LSP-1.1 - 1st Floor Exit Access & Egress per Occ. Load LSP-1.2 - 2nd & 3rd Floor Exit Access & Egress per Occ. Load LSP-1.3 - Roof Exit Access & Egress per Occ. Load

#### SHEET INDEX

#### **TABLE 601**

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

DIJUDING ELEMENT	TYPE I	TYPE V
BUILDING ELEMENT	Α	A <sup>d</sup>
PRIMARY STRUCTURAL FRAME (SEE SECTION 202)	3 <sup>a</sup>	1
BEARING WALLS EXTERIOR <sup>f,g</sup> INTERIOR	3 3°	1
NON BEARING WALLS AND PARTITIONS EXTERIOR	SEE TAB	LE 602
NON BEARING WALLS AND PARTITIONS INTERIOR <sup>e</sup>	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	2	1
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS (SEE SECTION 202)	1 1/2 <sup>b</sup>	1 b,c

#### **TABLE 803.9**

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY\*

	S	PRINKLERED	
GROUP	VERTICAL EXITS & EXIT PASSAGEWAYS a,b	EXIT ACCESS CORRIDORS & OTHER EXITWAYS	ROOMS AND ENCLOSED SPACES C
R-2	С	С	С
S	С	С	С

a. Class C interior finish materials shall be permitted for wainscotting or paneling of not more than 1,000 s/f of applied surface area in grade lobby where applied directly to a noncombustible base or over furring strips applied to a noncombustible base and fireblocked as required by Section 803.11.1

b. In other than Group I-2 occupancies in buildings less than three stories above grade plane of other than Group I-3, Class B interior finish for nonsprinklered buildings and Class C interior finish for sprinklered buildings shall be permitted in interior exit stairways and

c. Requirements for rooms and enclosed spaces shall be based upon spaces enclosed by partitions. Where a fire-resistance rating is required for structural elements, the enclosing partitions shall extend from the floor to the ceiling. Partitions that do not comply with this shall be considered enclosing spaces and the rooms or spaces on both sides shall be considered one. In determining the applicable requirements for rooms and enclosed spaces, the specific occupancy thereof shall be the governing factor regardless of the group classification of the building or structure. I. Applies when protected by a sprinkler system installed in

# SEPARATE PERMIT

accordance with Section 903.3.1.1 or 903.3.3.1.2

Grading Work
Fire Sprinkler Systems
Separate Structure
Electrical
Mechanical
Plumbing
Shoring
Demolition

#### **BUILDING DATA**

#### **PROJECT ADDRESS** 6200 N. KESTER AVE VAN NUYS, CA 91411

LEGAL DESCRIPTION = 13 ARB (Lot Cut Reference) 1 BLOCK NO. = 62 TRACT NO. = TR 1200

**ZONING**: (Q) R3-1

BUILDING HEIGHT: 30'-0" PER Q CONDITION  $\overline{30' + 10'}$  DENSITY BONUS = 40'

#### FIRE DISTRICT

# LAND AREA

**BEFORE DEDICATION** 9,005.80+7,502.40 = **16,508.20 S/F** 10' DEDICATION @ KESTER AVE & 2' DEDICATION @ DELANO ST. AFTER DEDICATION =14,805.80 S/F

**FAR** 

 $150-(15+15) \times 110-(5+5) = 12,000 \text{ S/F} \times 3 = 36,000 \text{ S/F}$ 

**DENSITY** 

16,508.20/1,000 PER Q CONDITION = 16 UNIT AFFORDABLE HOUSING INCENTIVE 16 UNIT x 35% =(DENSITY BONUS) 6 UNIT **22 UNIT TOTAL UNIT - ALLOWED PROVIDED UNIT:** 

20 UNIT NON-RESTRICTED UNIT 2 UNIT RESTRICTED UNIT (VERY LOW INCOME) 16 UNIT x 11%\* = **22 UNIT** TOTAL UNIT - PROVIDED

#### 7.1 MENU OF DENSITY BONUS INCENTIVES:

1. FRONT YARD = 15 X 20% REDUCTION = 12 FT. 2. INCREASE HT. OF BLDG. 11 FT. OR 1 STORY

#### 8. NO. OF PROVIDED UNITS

FLOOR	2-BDRM
1ST	7
2ND	8
3RD	7
TOTAL	22

#### 9. REQUIRED PARKING:

UNIT TYPE:  2 & 3 BEDROOM	22.2	
2 & 3 BEDROOM	20 0	
	22 x 2	44
TOTAL PARKING REQUIRED	=	44

#### 10. PROVIDED PARKING: (ASSIGNED)

P-1	STANDARD	COMPACT					
STANDARD	STANDARD 24 8						
H/C	1						
TOTAL	25	8	=	33			
44 - 33			=	11*			
*REQUIRED AUTOMOBILE PARKING WITH PER SECTION 12.21A.4  PROVIDED PARKING PER GREEN I		ACEMENT					
Electric Vehicle Charging Statio	n ( 1st Floor G	arage)		2			

#### 11. BICYCLE PARKING

	TOTAL LONG TERM	ć
EQUIRED AUTOMOBILE PARKING ICYCLE REPLACEMENT	11 x 4 =	2
ONG TERM	1 PER UNIT =	2
er Ordinance <u>182386</u>		

EQUIRED AUTOMOBILE PARKING 11 x 4 = ICYCLE REPLACEMENT		44
	TOTAL LONG TERM	66
SHORT TERM	1 PER 10 UNIT =	3

## **BUILDING DATA**

#### 12. FAR PROVIDED

PROVIDED		
Basement Lobby	275	S/F
1st Floor	9,779	S/F
2nd Floor	9,845	S/F
3rd Floor	9,845	S/F
TOTAL	29,744	S/F

# 13. OCCUPANCY CLASSIFICATION & SEE SHEET (A-8.1) FLOOR AREA GROSS

FLOOR			S-2		R-2	
Basement Garage	S-2		10,210	S/F		
Basement Lobby		R-2			275	S/F
1st Floor		R-2			10,502	S/F
2nd Floor		R-2			10,502	S/F
3rd Floor		R-2			10,502	S/F
TOTAL	•		10,210	S/F	31,781	S/F

#### 14. FLOOR AREA SCHOOL FFF

ARLA SCHOOL ILL
ED

250 9,759	•
•	S/F
9,819	S/F
9,819	S/F
29,647	S/F
	9,819

#### 15. OPEN SPACE SEE SHEET (A-8.3)

OLEIN PL	ACE		3L	L SHEET	(A-c
REQUIRED:	7.02				
2-BEDROOM	3-HABITABLE	21 x 125	2,6	25 S/F	
3-BEDROOM	more than 3-habitable	1 x 175	1	75 S/F	
TOTAL			2,8	00 S/F	
PROVIDED					
1st Floor	GYM	700	S/F		
1st Floor	(7 BALCONY x 50 S/F)	350	S/F		
2nd Floor	(7 BALCONY x 50 S/F)	350	S/F		

TOTAL		2,900	S/F	> 2,800 S/F
Roof	(SUNDECK)	1,100	S/F	
3rd Floor	(8 BALCONY x 50 S/F)	400	S/F	
2nd Floor	(7 BALCONY x 50 S/F)	350	S/F	
1st Floor	(7 BALCONY x 50 S/F)	350	S/F	

#### 16. BUILDING CODE

LABC	
LACITY GREEN BLDG	Ì

## 17. BUILDING CONSTRUCTION

3-STORY TYPE V-A CONSTRUCTION **OVER 1-STORY TYPE I-A CONSTRUCTION** FULLY SPRINLERED BUILDING

"THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA 13, THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION". (903.2.8)

THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATIONS APPLIANCES IN ACCORDANCE WITH NFPA 72.

#### CONSULTANTS

#### **DEVELOPER**

SEE SHEET (A-8.0)

SEE SHEET (A-8.2)

2014

#### 6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302 STEVE FRIEDMANN TEL. (818) 914 4520 **EMAIL:** -

#### **ARCHITECT**

#### DARYOUSH SAFAI, AIA Architect

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#### STRUCTURAL ENGINEER

#### **SOIL ENGINEER**

#### AGI, GEOTECHNICAL, INC.

16555 Sherman Way, Suite A Van Nuys, CA 91406 Tel. (818) 785-5244 Tel. (818) 785-5244

#### **ELECTRICAL ENGINEER**

#### MECH., PLUMB & Air Co.(MPA) ENGINEER

#### **SURVEYOR & CIVIL ENGINEER:**

#### M&G CIVIL ENGINEERING & LAND SURVEYING

347 SOUTH ROBERTSON BLVD. BEVERLY HILLS, CA 90211 TEL: (310)659-0871 FAX: (310)659-0845 EMAIL: info@mglandsur.com

#### **JAG INTERIORS INC**

23679 CALABASAS RD. #899 CALABASAS, CA 91302

### SPECIAL NOTES

ihe above drawing and specifications and ideas, designs and arrangemei HEREOF SHALL BE COPIED OR REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF

**BUILDING CODE SUPERSEDE PLANS** 

THIS PLANS ARE NOT VALID UNLESS SIGNED BY THE

ARCHITECT, OR CITY, COUNTY OFFICIALS

STRUCTURAL ENGINEER, DEPT. OF BUILDING & SAFETY

THIS PROJECT IS 100% PRIVATELY FUNDED & NO TAX CREDIT INCENTIVE

# KESTER

3-Story Building 22-UNIT APARTMENT

6200 N. KESTER AVE VAN NUYS, CA 91411

#### **INTERIOR DESIGNER**

TEL: (818)222-6133 EMAIL: jamie@jaginteriorsinc.com

#### GENERAL CONTRACTOR

#### PERMIT NUMBER & PLAN CHECKER

PERMIT APPLICATION NO. PLAN CHECK NO. BUILDING PLAN CHECK ENGINEER DAS PLAN CHECK ENGINEER FIRE DEPT. PLAN CHECK

000-000-000



Sheet Issue & Revision Log

ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

#### Developer:

# 6200 KESTER **APARTMENTS**

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

#### Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

6200 N. KESTER AVE VAN NUYS, CA 91411

#### II DARYOUSH | SAFAI

Architect

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Architect Stamp:

**Sheet Content:** 

#### BUILDING **DATA**

A-1.0

#### GENERAL NOTES - RESIDENTIAL

#### **GENERAL REQUIREMENTS:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES. CONTRACTOR & OR SUBCONTRACTOR SHALL INSPECT JOB SITE & STUDY CONSTRUCTION DOCUMENTS & SPECIFICATIONS, & REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO START OF CONSTRUCTION. DISCREPANCIES MUST BE RESOLVE BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR AND OR SUBCONTRACTORS SHALL REPORT TO ARCHITECT ANY CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH THAT PORTION OF WORK. ANY DETAIL THAT FAILS TO BE CLEAR OR IS AMBIGUOUS, MUST BE REFERRED TO THE ARCHITECT FOR INTERPRETATION OR CLARIFICATION.
- ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY CONTRACTOR OR SUBCONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTORS SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK
- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE DRAWINGS & SPECIFICATION & LOCAL CITY & BUILDING CODES OR ORDINANCES & CBC 2013 BASED ON 2012 IBC.
- PROVIDE CONSTRUCTION BARRICADES AS REQUIRED BY LOCAL CODES
- 6. TEMPORARY TOILET FACILITIES AS REQUIRED BY LOCAL CODES
- 7. ON SITE VERIFICATION OF ALL DIMENSIONS & CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS. EACH SUBCONTRACTORS SHALL REPORT TO PROJECT SUPERINTENDENT, GENERAL CONTRACTOR & ARCHITECT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK
- 8. DIMENSIONS HAVE PREFERENCE OVER SCALE.
- 9. DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING & GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE & LOCAL SAFETY CODES. ANY DEVIATION MUST BE APPROVED PRIOR TO ERECTION.
- 10. ALL ERECTION PROCEDURES SHALL CONFORM TO CAL OSHA STANDARDS, ANY DEVIATION MUST BE APPROVED BY CAL/OSHA PRIOR TO ERECTION.
- 11. THE ADEQUACY AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS.
- 12. THE ARCHITECT IS NOT RESPONSIBLE WHATSOEVER BY MAKING OBSERVATION VISITS TO THE SITE 13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING
- LAGGING, SHORING & PROTECTION OF ADJACENT PROPERTY, STRUCTURES AND STREETS. 14. SHOP DRAWINGS REQUIRED BY THE SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT & OR
- STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. 15. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DRAWINGS INDICATING GENERAL & TYPICAL DETAILS OF CONSTRUCTION SHALL
- BE USED SUBJECT TO REVIEW & APPROVAL OF THE ARCHITECT. 16. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR SIZE & LOCATION OF DUCTS, PIPES & ALL PIPE SLEEVES, ELECTRICAL CONDUITS & OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR
- OTHERWISE INCORPORATED IN STRUCTURAL WORK 17. PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED, FOR HEATERS, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL SUSPENDED MECHANICAL EQUIPMENT TO BE SWAY OR LATERALLY BRACED.
- 18. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS THEY SHALL BE REPORTED TO THE ARCHITECT SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- 19. BRACING THE TEMPORARY SUPPORTS SHALL BE PROVIDED AS REQUIRED TO HOLD THE WORK SECURELY IN PLACE & TO SUSTAIN ALL LOADS THAT MAY OCCUR DURING ERECTION & UNTIL SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING.
- 20. ANY CHANGES IN PLANS / OR DETAILS NECESSITATES THE APPROVAL OF THE ARCHITECT, STRUCTURAL ENGINEER & OTHER CONSULTANTS OF THE PROJECT. THESE CHANGES MUST BE APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY. OTHERWISE, ARCHITECT, ENGINEERS & OTHER CONSULTANTS OF THE PROJECT ARE NOT RESPONSIBLE.
- 21. APPROVAL BY THE INSPECTOR DOES NOT CONSTITUTE ACCEPTANCE OF ANY FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS.
- 22. WHERE APPLICABLE AN ACCEPTABLE TYPE OF PEDESTRIAN PROTECTION SHALL BE IN PLACE DURING THE CONSTRUCTION AND SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO COMMENCING THE CONSTRUCTION
- 23. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK
- 24. FOR EXCAVATION, CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, OR SCAFFOLDING MORE THAN 3 STORIES OR 36 FEET HIGH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM CAL/OSHA PRIOR TO STARTING THE JOB.

#### **WORKMANSHIP RECOMMENDATIONS:**

ALL CONSTRUCTION WORK MUST COMPLY WITH THE BUILDING CODES & USE THE RECOMMENDATIONS OF THE FOLLOWING LATEST BOOKS:

- A. PLASTER & DRYWALL SYSTEMS MANUAL B. THE NRCA ROOFING AND WATERPROOFING MANUAL.
- C. SMACNA ARCHITECTURAL SHEET METAL BOOK OF SHEET METAL & AIR CONDITIONING CONTRACTORS.
- PRIOR TO START OF CONSTRUCTION, GENERAL CONTRACTOR & SUB-CONTRACTOR MUST REVIEW ALL OF THE ABOVE BOOKS AND FOLLOW ALL THEIR RECOMMENDATIONS.

#### FIRE PROTECTION:

#### **CORRIDORS AND HALLWAYS:**

- 1. CORRIDOR/HALLWAY SHALL BE SO ARRANGED THAT IT IS POSSIBLE TO GO IN EITHER DIRECTION FROM ANY POINT IN A CORRIDOR/HALLWAY TO A SEPARATE EXIT.
- CORRIDORS SHALL NOT BE INTERRUPTED BY INTERVENING ROOMS.
- 3. DEAD-END HALLWAYS, CORRIDORS, PASSAGEWAYS & EXIT BALCONIES ARE LIMITED TO 20 FT IN LENGTH.
- 4. PROVIDE ONE-HOUR FIRE-RESISTIVE CONSTRUCTION FOR THE CORRIDOR(S) (WALLS AND CEILING). DOORS OPENING INTO ONE-HOUR FIRE-RESISTIVE CORRIDOR SHALL BE PROTECTED WITH A SMOKE OR DRAFT-STOP FIRE ASSEMBLY HAVING A MIN. 20-MINUTE RATING.
- DOOR AND FRAME SHALL BEAR AN APPROVED LABEL SHOWING THE RATING FOLLOWED BY THE LETTER "S".
- WINDOWS IN ONE-HOUR CORRIDOR SHALL BE LIMITED TO FIXED GLAZING OF 45-MINUTE FIRE
- RATING & SHALL NOT EXCEED 25% OF CORRIDOR/ROOM COMMON WALL 8. ELEVATOR DOORS SHALL NOT OPEN DIRECTLY INTO ONE-HOUR CORRIDORS, ELEVATOR LOBBIES SHALL BE ONE-HOUR CONSTRUCTION WITH 20/45 MINUTE DOORS.

#### INTERIOR FINISHES AND FLAME RETARDANT:

- 3. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED A FLAME-SPREAD CLASSIFICATION OF 75 (CLASS II).
- 4. INTERIOR WALL AND CEILING FINISHES FOR ENCLOSED STAIRWAY SHALL NOT EXCEED A FLAME-SPREAD CLASSIFICATION OF 25 (CLASS 1).
- FOLDING PARTITION WALLS (CURTAINS) SHALL BE NON-COMBUSTIBLE OR MEET FLAME NT SPREAD CLASS FOR THE FOLLOWING LOCATION
- ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME-RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.) (L.A.M.C., 57.22)

#### SIGNS:

- 1. PROVIDE EXIT SIGNS & DIRECTIONAL EXIT SIGNS WITH MIN. 6" HIGH BY 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. SPACING BETWEEN SIGNS SHALL NOT EXCEED 100 FT.
- 2. PROVIDE LOW-LEVEL EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS. 3. WHENEVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL BE LIGHTED SO THAT THEY ARE CLEARLY
- VISIBLE. 5 FOOT CANDLE.

#### FIRE PROTECTION EQUIPMENT:

- 1. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FT. TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.
- PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM, OR PARKING GARAGE.
- PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 20-B, LOCATED NOT LESS THAN 10 FEET, NOR MORE THAN 30 FEET FROM ANY FLAMMABLE LIQUID STORAGE AREA OUTSIDE
- OF A HAZARDOUS MATERIAL ROOM, OR ADJACENT TO SPRAY BOOTH. 4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR.

4. PROVIDE STAIRWAY NUMBERING SYSTEM FOR BUILDINGS THREE OR MORE STORIES.

- 5. PROVIDE AUTOMATIC FIRE EXTINGUISHER SYSTEM:
- a. THROUGHOUT BUILDING b. BASEMENT c. TRASH ROOM & CHUTE
- 6. SPRINKLER SYSTEM TO BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION. 7. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON ADDRESS SIDE OF BUILDING. (L.A.M.C. 57.138) NEAR BUT NOT AT THE MAIN ENTRANCE.

#### FIRE ALARM:

- PROVIDE AN APPROVED FIRE ALARM SYSTEM. 3. PROVIDE SMOKE DETECTOR IN THE COMMON STAIRWELLS SERVING TWO OR MORE TENANTS.
- 4. PROVIDE SINGLE STATION SMOKE DETECTOR WITHIN SLEEPING AREA AND HALLWAYS OR AT THE TOP CENTER OF STAIRS LEADING THERETO \* FOR THE ABOVE REQUIREMENTS, SUBMIT COMPLETE PLANS IN TRIPLICATE (3) TO ELECTRICAL DIVISION, DEPARTMENT OF BUILDING AND SAFETY, ONE TO BE DESIGNATED AS FIRE DEPARTMENT COPY.

#### **SPECIAL HAZARDS:**

- 2. RUBBISH ROOM SHALL BE OF 1-HR. FIRE-RESISTIVE CONSTRUCTION WITH 1-HR. SELF-CLOSING DOORS
- AND BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. ROOF CONSTRUCTION SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS & RAZOR RIBBON
- SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EXIT IN THE EVENT OF A FIRE.) 4. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS & PIPING FOR
- HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE. ROOF COVERING SHALL BE FIRE RETARDANT AND COMPLY WITH TABLE 1505.1
- 6. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE DEVICE WHICH USES FUEL BURNING MATERIALS.
- 7. FIRE DAMPERS OR DOORS SHALL BE PROVIDED WHERE DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS. 8. PARKING SPACES SHALL NOT OBSTRUCT REQUIRED EXITS.
- 9. PROVIDE DRAFT STOPS IN CONCEALED SPACES. 10. CONSPICUOUSLY MARK GAS SHUT-OFF VALVE.
- 11. COMPLY WITH THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS

#### **EXIT REQUIREMENTS:**

- 1. PROVIDE TWO MEANS OF EGRESS FROM EXIT-COURT.
- 4. ALL EXITS MUST BE CONTINUOUS AND TERMINATE IN A PUBLIC WAY OR EXIT COURT LEADING TO A PUBLIC WAY OR AN APPROVED REFUGE AREA.
- 9. AN EXIT WALKWAY WITH A MIN. WIDTH OF 48" SHALL BE MAINTAINED CONTINUOUSLY TO A PUBLIC WAY. 10. EXIT PATHS OR WALKWAYS TO PUBLIC WAY SHALL BE CLEARLY DELINEATED. EXIT PATHS MAY BE
- DELINEATED BY PAINTED LINE RAILINGS, BARRIER POSTS, WALKS, OR OTHER APPROVED MEANS. 1. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING 50 OR MORE PERSONS
- AND IN ANY HAZARDOUS AREA OR GROUP HOCCUPANCY. 16. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE.
- 17. PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ROOMS, CORRIDORS OR STAIRWAYS HANDLING AN OCCUPANT CAPACITY OF 50 OR MORE PERSONS FROM ANY GROUP A, E, OR I OCCUPANCY AND 10 OR MORE IN-MOTION PICTURE THEATERS ONLY PANIC HARDWARE APPROVED AND LISTED BY THE STATE FIRE MARSHAL SHALL BE INSTALLED.
- 18. AISLES LEADING TO REQ. CORRIDORS & EXITS SHALL HAVE A MIN. WIDTH OF 44". 19. FIRE ASSEMBLIES INSTALLED ACROSS EXIT CORRIDORS OR WHICH ARE PART OF AN OCCUPANCY OR AREA
- SEPARATION WALL SHALL BE AUTOMATIC-CLOSING FIRE ASSEMBLIES WHICH WILL CLOSE AUTOMATICALLY UPON ACTIVATION OF A SMOKE DETECTOR. (MAGNETIC DEVICES) 20. MEANS OF EXIT SHALL BE ILLUMINATED AT A MIN. INTENSITY OF 1 FOOT-CANDLE AT THE FLOOR LVL. 21 LIGHTING SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM EMERGENCY LIGHTING SHALL GIVE
- A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL. 22. EXIT PATH LIGHTING SHALL BE PROVIDED FOR STAIRWAY, HALLWAY, EXIT PASSAGEWAY & EGRESS TO A PUBLIC WAY ANY TIME THE BUILDING IS OCCUPIED.

#### **BUILDING UNDER CONSTRUCTION:**

EVERY BUILDING 4 STORY OR MORE IN HEIGHT SHALL BE PROVIDED WITH ONE STAND PIPE FOR USE DURING CONSTRUCTION. SUCH STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 35 FEET (10668 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. AFTER CONSTRUCTION-ALL STAIR, EA. LEVEL AT ROOF & BASEMENT

#### **BUILDING & SAFETY**

#### PART I - GENERAL REQUIREMENTS: PART II - ZONING:

- 7. FOR HEIGHT DISTRICT 1-VL, BUILDING IS LIMITED TO 3 STORIES AND 45 FEET TALL. (12.21.1A1) 8. FOR HEIGHT DISTRICT 1-XL, BUILDING IS LIMITED TO 2 STORIES AND 30 FEET TALL. (12.21.1A1)
- 9. FOR HEIGHT DISTRICT 1 IN A COMMERCIAL OR INDUSTRIAL ZONED LOT, FLOOR AREA IS LIMITED TO 1.5 X BUILDABLE LOT AREA.
- 10. NO BUILDING OR STRUCTURE CAN EXCEED HEIGHTS AS SHOWN BELOW DUE TO CLOSE PROXIMITY TO A LOT ZONED FOR SINGLE FAMILY RESIDENTS (RW1 OR MORE RESTRICTIVE) AT WHERE THE LOT IS LOCATED ADJACENT OR ACROSS A STREET/ALLEY. A PORTION OF THE PROPOSED BUILDING WITHIN A DISTANCE FROM AN ADJACENT LOT ZONED FOR RESIDENCES SHALL BE LIMITED TO THE HEIGHT AS
- LISTED BELOW: a) 0 TO 49 FT; LIMITS TO 25 FT TALL.
- b) 50 TO 99 FT; LIMITS TO 33 FT TALL. c) 100 TO 199 FT; LIMITS TO 61 FT TALL.
- 11. BASEMENT CONTAINING A HABITABLE ROOM SHALL BE CONSIDERED A STORY FOR SIDE & REAR YARD & HEIGHT DISTRICT'S REQUIREMENTS. (12.21C1(I), 12.21.1A8)
- 15. A (10 FT./ ) PASSAGEWAY IS REQUIRED FROM THE STREET TO EACH DWELLING UNIT OR GUEST ROOM (12.21C2b) 17. A 30" MINIMUM CLEAR ACCESS AROUND MAIN BUILDING(S) AND ACCESSORY LIVING QUARTERS. (12.21C20(I))
- 19. FOR DEVELOPMENT OF OVER 5 UNITS, PROVIDE A TOTAL MIN. USABLE OPEN SPACE ON SITE OF:100 SQ. FOR EACH UNIT WITH LESS THAN 3 HABITABLE ROOM; AND 175 SQ. FOR EA. UNIT FOR OVER 3 HABITABLE ROOMS (A KITCHEN IS NOT COUNTED AS A HABITABLE ROOM FOR THE REQUIREMENT). (12.21G2) a. COMMON OPEN SPACE SHALL BE OPEN TO THE SKY AND HAVE NO STRUCTURES THAT PROJECT INTO
- THE OPEN SPACE AREA AND READILY ACCESSIBLE TO ALL RESIDENTS OF THE SITE. (12.21G2a) b. COMMON OPEN SPACE SHALL HAVE A MINIMUM OF 400 S/F WITH NO HORIZONTAL DIMENSION LESS THAN 15 FT. (12.21G2a(iii)
- C. COMMON OPEN SPACE SHALL BE LOCATED AT GRADE LEVEL FOR FIRST HABITABLE ROOM LEVEL, EXCEPT FOR DEVELOPMENTS IN R3, R4 OR R5. (12.21G2a1 (iv) d. LANDSCAPING MUST BE APPROVED BY PLANNING DEPARTMENT.
- 36. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO.5.

#### PART III - BUILDING CODE:

#### A. GENERAL REQUIREMENTS:

- 2. NOTES: - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. - SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE
- THE DRAIN INLET. SECTION 1210.2.3 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3 - WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)
- A COPY OF THE EVALUATION REPORT AND OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOBSITE.

#### E. FIRE-RESISTANCE RATED CONSTRUCTION:

- 8. PROVIDE DETAIL TO SHOW FIRE WALL COMPLIES WITH SECTION 705 INCLUDING BUT NOT LIMITED TO: a. FIRE RATING SHALL BE 2 HR PER TABLE 706.4
- b. FIRE WALLS MUST REMAIN STRUCTURALLY STABLE IN THE EVENT OF COLLAPSE OF CONSTRUCTION ON EITHER SIDE DURING A FIRE. PROVIDE A DETAIL TO SHOW THAT JOIST SUPPORTED BY THE FIRE WALL IS SPLICED AND NOT CONTINUOUS (PLYWOOD MEMBRANE MAY BE CONTINUOUS), OR PROVIDE DOUBLE FIRE WALLS OR PROVIDE JUSTIFICATION FOR ANY OTHER METHOD USED. 706.2
- c. SHALL BE NONCOMBUSTIBLE MATERIAL, EXCEPT IN TYPE V CONSTRUCTION PER 706.3 d. Shall have horizontal continuity per 706.5
- e. SHALL EXTEND VERTICALLY FROM THE FOUNDATION TO A POINT 30 INCHES ABOVE THE ROOF PER
- f. THE AREA OF EACH OPENING IN FIRE WALLS IS LIMITED TO 156 SF. TOTAL WIDTH OF THE OPENINGS IS LIMITED TO 25 PERCENT OF THE WALL LENGTH IN THE STORY UNDER CONSIDERATION. (706.8)

- g. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH FIRE ASSEMBLIES HAVING A
- FIRE-RESISTIVE RATING OF (1-1/2) (3) HOURS. (TABLE 716.5) h. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUC
- AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED IN SECTION 714 AND 717. DAMPERS ARE REQUIRED. (705.10)
- i. EXITS MUST BE PROVIDED INDEPENDENTLY FOR EACH AREA BOUNDED BY FIRE WALLS EXCEPT FOR HORIZONTAL EXITS PER SECTION 1025.
- 17. OPENINGS THROUGH A FLOOR/ CEILING ASSEMBLY SHALL BE PROTECTED BY (1)\_(2)\_HOUR SHAFT ENCLOSURE. THE SHAFT ENCLOSURE SHALL BE CONSTRUCTED OF FIRE BARRIERS AND/OR
- HORIZONTAL ASSEMBLIES. (713.1, 713.4) 18. A FLOOR OPENING CONNECTING NOT MORE THAN TWO STORIES IS PERMITTED IF IT COMPLIES WITH ALL THE CONDITIONS PER SECTION 712.1.8. IF NOT, THE ATRIUM PROVISION SHALL BE UTILIZED FOR OPEN TWO
- STORY SPACES. SEE ADDITIONAL CORRECTIONS FOR ATRIUM 19. PENETRATIONS IN A FIRE-RATED WALL SHALL BE PROTECTED BY AN APPROVED FIRE STOP MATERIAL IN ACCORDANCE WITH SECTION 714.3.1.
- a. Steel, Copper or Ferrous Pipes or Conduits may penetrate concrete or masonry walls WHERE THE PENETRATING ITEM IS A MAXIMUM 6- INCH DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES
- b. MEMBRANE PENETRATIONS OF MAXIMUM 2- HR FIRE RESISTANCE RATED WALL AND PARTITIONS BY STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT EXCEED 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES. (714.3.2)
- C. WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR OTHER LARGER OPENINGS ARE REQUIRED THAN PERMITTED IN (b) ABOVE, THEY MUST BE QUALIFIED BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION (714.3.1.1)
- 20. SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 717.3 a. DUCT PENETRATIONS OF FIRE WALLS IN ACCORDANCE TO SECTION (717.1.1)
- b. DUCT PENETRATIONS OF FIRE BARRIERS, EXCEPT EXIT ENCLOSURES AND EXIT PASSAGEWAYS WHERE THEY ARE NOT ALLOWED TO PENETRATE. (717.5.2) c. DUCTS PENETRATING SHAFTS. (717.5.3)
- d. DUCTS PENETRATING FIRE PARTITIONS AND FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR (717.5.4.1)
- e. DUCTS PENETRATING SMOKE BARRIERS (717.5.5) f. DUCTS PENETRATING HORIZONTAL ASSEMBLIES (717.6)
- 21. SHOW DRAFT STOP LOCATION ON PLANS. ALSO, PROVIDE THESE NOTES ON THE PLANS: a. IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN WOOD

FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. DRAFT STOPPING SHALL BE

- LOCATED ABOVE AND INLINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATION. (718.3.3). b. IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANSARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION. DRAFT STOPPING SHALL BE INSTALLED ABOVE AND INLINE
- OF THE FLOOR SHEATHING ABOVE. (718.4.3). C. DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN ½-INCH GYPSUM BOARD, 3/8-INCH PLYWOOD 3/8-INCH TYPE 2-M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT. DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED. (718.3.1)
- 22. DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (3000 SF BETWEEN DRAFT STOPS) (718.4.2)

23. DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF

- COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA 13 SPRINKLER SYSTEM 24. HORIZONTAL OCCUPANCY SEPARATION MUST BE SUPPORTED WITH A STRUCTURAL SYSTEM HAVING
- EQUIVALENT FIRE-RESISTIVE PROTECTION. (704.1) 25. NOTE ON PLANS: FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 718 AT THE FOLLOWING LOCATIONS:
- a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS. (718.2.2) b. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT
- INTERVALS ALONG THE LENGTH OF THE WALL. (718.2.2) C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. (718.2.3)

d. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND

BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED. (718.2.4) e. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH

AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

- 26. THIS BUILDING IS OF TYPE V-A/III-A CONSTRUCTION, PROVIDE/SHOW: a. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON- BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN
- 1-HOUR BUILDINGS. b. ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION. (T-601)
- c. ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.

d. ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND

- HOUR FIRE RESISTIVE CONSTRUCTION. (713.1) CEILING OF e. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL" TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
- f. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS. g. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF
- THE CEILING IS PENETRATED (717.5) h. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. INSULATION IS NOT APPROVED.
- i. PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBLE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS. (711) j. STEEL BEAMS AND COLUMNS SHALL BE PROTECTED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY
- SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS. (704.3)
- k. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.
- 28. S2 OCCUPANCY GARAGE SHALL COMPLY WITH THE FOLLOWING: a. CONCRETE OR SIMILAR NON-COMBUSTIBLE AND NONABSORBENT FLOOR, OR ASPHALT SURFACE AT GROUND LEVEL ONLY. (406.4.5)
- b. SLOPED FLOOR TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (406.4.5) c. FLOOR SYSTEM DESIGNED FOR UNIFORM OR CONCENTRATED LOADS PER TABLE 1607.1
- d. MINIMUM HEADROOM OF 7 FT. e. VEHICLE BARRIERS NOT LESS THAN 2 FEET 9 INCHES HIGH PLACED AT THE END OF DRIVE LANES & AT THE END OF PARKING SPACES WHERE THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS
- GREATER THAN 1 FOOT. f. VEHICLE BARRIERS DESIGNED IN ACCORDANCE WITH SECTION 1607.8.3

APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION." (903.2)

#### F. INTERIOR FINISHES:

- 1. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SEC. 803 G. FIRE PROTECTION:
- EVERY 50 FT OF WALL LENGTH IS NOT PROVIDED. (903.2.11.1) 2. AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT ALL BUILDINGS WITH A GROUP "R" FIRE AREA. NOTE ON PLAN. "THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13 / NFPA-13R); THE SPRINKLER SYSTEM SHALL BE

1. BUILDING WITH FLOOR AREAS OVER 1500 SF SHALL BE SPRINKLERED WHERE 20 SQ. FT. OF OPENING FOR

- 5. PROVIDE AUTOMATIC SPRINKLER SYSTEM AT TOP OF RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOM (903.2.11.2) 6. WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET SHALL PROVIDE 1 HOUR SEPARATION OR PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM OR CLASSIFY ROOM WITH OCCUPANCY COMPLY
- WITH SEPARATION PER TABLE 509 10. ADD NOTE: "THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

#### H. MEANS OF EGRESS:

SURFACE. (1006.1)

MORE EXITS.;

HAVE TWO OR MORE EXITS.

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
- 2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 IUX).
- . INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN
- ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702. 4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- 5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90MIN. IN CASE OF PRIMARY POWER LOSS. (1011.5-1011.6.3) EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR
- SPECIAL KNOWLEDGE OR EFFORT. (1008.1.9) DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX.
- 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2) 9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.1.9 10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE
- BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. 11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1FOOT-CANDLE AT THE WALKING
- 12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS (1006.3):
- a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS; b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR
- c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1027.1, IN BUILDINGS REQUIRED TO
- e. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS. 13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR.
- THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1006.3) 14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06
- FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE 15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.

#### I. INTERIOR ENVIRONMENT:

SHOWER ROOMS

(1205.1 AND 1205.3)

SERVICES. SEE 3002.4A FOR EXCEPTIONS. 91.3002.4

- PROVIDE STAIRWAY ILLUMINATION. MIN. 1 FOOT-CANDLE AT TREAD RUNS. (1205.4)
- PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS 1008.1.1 4. HABITABLE ROOMS OTHER THAN A KITCHEN SHALL NOT BE LESS THAN 7' IN ANY DIRECTION. (1208.1) ) 5. REQUIRED CEILING HEIGHT IS 7'-6" MIN., 7'-0" MIN. IN KITCHEN, BATHROOMS, LAUNDRY ROOMS AND STORAGE ROOMS. (1208.2)

10. FOR THE PURPOSE OF PROVIDING NATURAL LIGHT OR VENTILATION AT EXTERIOR OPENINGS OF

- BUILDINGS, A MIN. YARD OF 3 FEET IN WIDTH FOR ONE AND TWO STORY BUILDING IS REQUIRED. FOR BUILDINGS MORE THAN TWO STORIES, THE MIN. WIDTH OF THE YARD SHALL BE INCREASED TO 1 FOOT FOR EACH ADDITIONAL STORY 1206.2 11. COURTS USED FOR NATURAL LIGHT OR VENTILATION AND HAVING WINDOW OPENING ON OPPOSITE SIDE SHALL NOT BE LESS THAN 6 FEET IN WIDTH. COURTS BOUNDED ON THREE OR MORE SIDES BY THE WALL OF THE BUILDINGS SHALL NOT BE LESS THAN 10 FEET IN LENGTH, UNLESS BOUNDED ONE END BY
- 12. A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM AND LAUNDRY, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECT TO THE OUTSIDE, IS REQUIRED

INCREASED 1 FOOT IN WIDTH AND 2 FEET IN LENGTH FOR EACH ADDITIONAL STORY. (1206.3)

A PUBLIC WAY OR YARD. FOR BUILDINGS MORE THAN TWO STORIES IN HEIGHT, THE COURT SHALL BE

- 13. ATTIC VENTILATION OF 1/300 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 5 SQ. IN. FOR EACH 10 SQ. FT. OF ATTIC AREA) IS REQUIRED.(1203.2) 14. AN ATTIC ACCESS OPENING (20"x30") IS REQUIRED AT EACH SEPARATE ATTIC SPACE WITH
- A MINIMUM OF 30" CLEARANCE.(1209.2) 15. UNDER-FLOOR VENTILATION SHALL NOT BE LESS THAN 1/150 OF UNDER-FLOOR AREA.(12003.3.1) 23. TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FIRST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL OF AREA FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE
- CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. 24. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT
- LEAST 4" (1210.2.1) 25. WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS, AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. (1210.2.2) 26. CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288
- OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATERRESISTANCE GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR Architect Stamp: TILE IN WATER CLOSET COMPARTMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2509.2 a. OVER A VAPOR RETARDER.

b. IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG

c. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR ½ INCH THICK AND MORE THAN 16 INCHES O.C. FOR 5/8 INCH THICK 29. ONE ELEVATOR IN BUILDINGS FOUR OR MORE STORIES ABOVE OR BELOW GRADE PLANE SHALL BE OF SUCH A SIZE TO ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL

30. a. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY

MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE

PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10

FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

DURING CONSTRUCTION TO NOTIFY THE

Sheet Issue & Revision Log

ERRORS OR OMISSIONS IN THE PLANS AND PRIOR TO THE CLIENT OR CLIENTS WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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**A-I.** 

Of <u>0</u> Sheets

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**Sheet Content:** 

GEN. NOTES

Date : Scale: CUSTOM

Job : -Sheet

CAD : ROD

### GENERAL NOTES - RESIDENTIAL

#### J. BUILDING ENVELOPE:

- 3. PROVIDE ACCESS TO ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF AS REQUIRED BY THE LAMC.(1513)
- 7. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. (6306)
- 10. DETAILS OF THE GUARDRAILS AT THE FLOOR AND ROOF OPENINGS, OCCUPIED ROOFS AND BALCONIES OR PORCHES MORE THAN 30" ABOVE GRADE ARE REQUIRED. GUARDRAILS SHALL BE 42" IN HEIGHT, HAVE INTERMEDIATE RAILS OR BALUSTERS SPACED AT 4" MAXIMUM. IT SHALL BE DESIGNED PER SECTION 1607.8 (1013.2)
- 11. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFETY GLAZING. GLAZING IN: SECTION 2406
- a. SWING DOORS.b. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND
- BI-FOLD CLOSET DOOR ASSEMBLIES.
  c. STORM DOORS.
- d. UNFRAMED SWINGING DOORS.
- e. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
- f. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 MM) ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE. READ CODE FOR EXCEPTIONS.
- g. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).

  i. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET (0.84 M 2)
- iii. EXPOSED TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR. iv. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE

ii. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR.

- PLANE OF THE GLAZING.

  h. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE.
  INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
- i. WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS
  WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
- i. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
- ii. THE GLAZING IS WITHIN 60 INCHES (1525 MM) OF A SWIMMING POOL OR SPA WATER'S EDGE.
  j. ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
- k. ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
- a. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE." (L.A.M.C. 57.20.25 )
- b. PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. (SHOW THESE DIMENSIONS ON A FOUNDATION DETAIL DRAWING) (SECTION 2512.1.2)

#### K. ACCESSIBILITY

SEE HANDICAPPED NOTES

#### L. GREEN BUILDING

#### **ENERGY CONSERVATION NOTES:**

1. OPERATING INFORMATION. THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN THE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR. FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BE CONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE

OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION

DOCUMENTATIONS. THIS OPERATING INFORMATION SHALL BE IN PAPER OR ELECTRONIC FORMAT.

[10-103(B)(2)]

MAINTENANCE INFORMATION, THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT

2. MAINTENANCE INFORMATION. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT OR MANUFACTURED DEVICE. [10-103(B)(3)]

3. ALL SYSTEMS, EQUIPMENT AND/OR BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURER PROVISIONS AND INSTALLATION PROVISIONS OF SECTIONS 110.0 THROUGH 110.10.

4. ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY

COMPLIES WITH SECTION 1608(A) OF THOSE REGULATIONS. [110.1]
5. SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS
CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS
FOR THE INTENDED USE AS LISTED IN TABLE 3, CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC

APPLICATIONS VOLUME. [110.3(A)(1)]
6. ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTU/HR, OUTLETS THAT REQUIRE HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO

SUPPLY THE OUTLET WITH THE HIGHER TEMPERATURE. [110.3(C)(1)]
7. SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS

SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE SYSTEM. [110.3(C)(2)]
8. CONTROLS FOR SERVICE WATER-HEATING SYSTEMS SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC

LAVATORIES TO 110°F. [110.3(C)(3)]
9. UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND BACKUP TANKS FOR SOLAR WATER-HEATING

SYSTEMS SHALL HAVE:

a) EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12, OR

b) INTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12, OR
b) INTERNAL AND EXTERNAL INSULATION WITH A COMBINED R-VALUE OF AT LEAST R-16, OR
c) THE HEAT LOSS OF THE TANK SURFACE, BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE
SHALL BE LESS THAN 6.5 BTU/HR PER SQUARE FOOT. [110.3 (C)(4)]

10. SPACE CONDITIONING EQUIPMENT SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED SECTION

11. PILOT LIGHTS SHALL BE PROHIBITED FOR: [110.5]

a) FAN-TYPE CENTRAL FURNACES

b) HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTU/HR

c) POOL HEATERS

d) SPA HEATERS

12. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL:

a) A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS

b) HAVE A READILY ACCESSIBLE ONLOSE SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER

b) HAVE A READILY ACCESSIBLE ON-OFF SWITCH, MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.

 c) NOT UTILIZE ELECTRIC RESISTANCE HEATING.
 d) HAVE A THERMAL INSULATION COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER.

FOR THE PROPER, ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER.

f) HAVE AT LEAST 36 INCHES OF PIPE BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES, OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.

e) HAVE A PERMANENT, READABLE, WEATHERPROOF INSTRUCTION CARD THAT GIVES INSTRUCTIONS

g) HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.

h) A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

13. MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF RESIDENTIAL DOOR AREA, 0.3 CFM/FT2 OF NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NONRESIDENTIAL DOUBLE DOOR AREA. [110.6(A)(1)]

14. FENESTRATION PRODUCTS SHALL BE CERTIFIED FOR OVERALL U-VALUES AND OVERALL SHGC, AND SHALL HAVE A TEMPORARY LABEL WHICH LISTS THE CERTIFIED U-VALUE AND SHGC, AND CERTIFIES THAT APPLICABLE AIR INFILTRATION REQUIREMENTS ARE MET. [110.6(A)(2), 110.6(A)(5)]
15. FIELD MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED

GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOOR AND THE BUILDING, AND SHALL BE WEATHER STRIPPED. ([110.6(A)(6)] 16. JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT

INFILTRATION AND EXFILTRATION. [110.7]

17. INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHING AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED BURSLAND TO THE CALLED BURA CODE OF RECULATIONS. (1110.8)

IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS. ([110.8(A)]

18. UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A FOUR-MIL-THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA

FORMALDEHYDE FOAM INSULATION AND THE INTERIOR SPACE. ([110.8(B)]

19. INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND

SMOKE DENSITY REQUIREMENTS OF THE CBC. ([110.8(C)]

20. INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH

SECTION 605 OF THE CMC. ([110.8(D)(3)]
21. EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN
EXISTING BACK-UP TANK FOR A SOLAR WATER-HEATING SYSTEM, IT SHALL HAVE AN R-VALUE OF AT

DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT. . ([110.8(D)(2)] 22. THE OPAQUE PORTIONS OF FRAMED DEMISING WALLS SHALL HAVE INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-13 BETWEEN FRAMING MEMBERS. ([110.8(F)]

LEAST R-12, OR THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80 EF WATER-AIR TEMPERATURE

#### **RESIDENTIAL NOTES:**

1. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE THE FOLLOWING:

a) CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX;
b) A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICE (EXCEPTION: AN OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE WILL BE INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN EXTERIOR WALL.); AND

c) A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL. [150.0 (E)]
2. HEATING SYSTEMS SHALL BE EQUIPPED WITH THERMOSTATS THAT MEET THE REQUIREMENTS OF SECTION

110.2(C).

3. GAS OR PROPANE WATER HEATERS SHALL HAVE:

a) A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.

B) A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE.
c) CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE.

d) A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR

4. ALL PUMPS AND PUMP MOTORS INSTALLED SHALL BE LISTED IN THE COMMISSION'S DIRECTORY OF CERTIFIED EQUIPMENT AND SHALL COMPLY WITH THE APPLIANCE EFFICIENCY REGULATIONS.

5. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSE-FILL INSULATION SHALL CONFORM WITH THE INSULATION MANUFACTURER'S LABELED R-VALUE[150.0 (B)]

6. MATERIAL USED FOR SLAB EDGE INSULATION SHALL MEET THE FOLLOWING MINIMUM SPECIFICATIONS:
a) WATER ABSORPTION RATE NO GREATER THAN 0.3 PERCENT.
b) WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH.

c) CONCRETE SLAB PERIMETER INSULATION MUST BE PROTECTED FROM PHYSICAL DAMAGE AND ULTRAVIOLET LIGHT DETERIORATION.

d) INSULATION FOR A HEATED SLAB FLOOR SHALL MEET THE REQUIREMENTS OF SECTION 110.8(G).
[150.0 (L)]

7. CONCRETE-SLAB FLOOR PERIMETER INSULATION SHALL BE PROVIDED 16 INCHES DEEP, OR THE DEPTH OF THE FOOTING OF THE BUILDING, WHICHEVER IS LESS. [150.1(C)(1)(D)]

8. THE CRAWL SPACE SHALL BE COVERED WITH A CLASS I OR CLASS II VAPOR RETARDER.

9. INSULATIONS ARE REQUIRED FOR:

a) ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES.
b) ALL PIPING WITH A NOMINAL DIAMETER OF 3/4 INCH OR LARGER.

c) THE FIRST 5 FEET (1.5 METERS) OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK
10. INSULATION SHALL BE PROVIDED FOR WATER HEATERS AS FOLLOWS:

a) STORAGE GAS WATER HEATERS WITH AN ENERGY FACTOR EQUAL TO OR LESS THAN THE FEDERAL MINIMUM STANDARDS SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSULATED THERMAL RESISTANCE OF R-12 OR GREATER.

b) UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS, SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER OR HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION R-VALUE. [150.0 (J)]

11. LIGHTING [150.0(K)]
a) INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY OR LOW-EFFICACY FOR COMPLIANCE WITH SECTION 150.0(K) IN ACCORDANCE WITH TABLE 150.0-A OR TABLE 150.0-B,

AS APPLICABLE.

b) A MINIMUM OF 50 PERCENT OF THE TOTAL RATED WATTAGE OF PERMANENTLY INSTALLED LIGHTING IN KITCHENS SHALL BE HIGH EFFICACY. FOR THE PURPOSE OF COMPLIANCE WITH SECTION 150.0(K), KITCHEN LIGHTING INCLUDES ALL PERMANENTLY INSTALLED LIGHTING IN THE KITCHEN EXCEPT FOR LIGHTING THAT IS INTERNAL TO CABINETS FOR THE PURPOSE OF ILLUMINATING ONLY THE INSIDE OF THE CABINETS. LIGHTING IN AREAS ADJACENT TO THE KITCHEN, INCLUDING BUT NOT LIMITED TO DINING AND NOOK AREAS, ARE CONSIDERED KITCHEN LIGHTING IF THEY ARE NOT

SEPARATELY SWITCHED FROM KITCHEN LIGHTING.

EXCEPTION: UP TO 50 WATTS FOR DWELLING UNITS LESS THAN OR EQUAL TO 2,500 FT<sup>2</sup> OR 100 WATTS FOR DWELLING UNITS LARGER THAN 2,500 FT<sup>2</sup> MAY BE EXEMPT FROM THE 50 PERCENT HIGH EFFICACY REQUIREMENT WHEN ALL LIGHTING IN THE KITCHEN IS CONTROLLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0(K)(2), AND IS ALSO CONTROLLED BY

VACANCY SENSORS OR DIMMERS.

c) LIGHTING INSTALLED IN BATHROOMS SHALL MEET THE FOLLOWING REQUIREMENTS:

i) A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM; AND

ii) ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OR CONTROLLED

BY MACANCY SENSORS

BY VACANCY SENSORS.

d) LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY VACANCY SENSORS.

e) LIGHTING INSTALLED IN ROOMS OR AREAS OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY, OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.

EXCEPTION 1: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET.
EXCEPTION 2: LIGHTING IN DETACHED STORAGE BUILDINGS LESS THAN 1,000 SQUARE FEET LOCATED ON A RESIDENTIAL SITE.

f) a. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building shall be high efficacy luminaires or controlled by an occupant sensor.

g) IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING SHALL: i) COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.1, 140.6 AND 141.0;

ii) LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS SHALL BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS SHALL BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

h) ALL RECESSED LIGHTING MUST BE IC AT AT RATED, AND MUST BE SEALED

#### SECURITY NOTES:

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706)
2. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN

CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

3. WOOD FLUSH-TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION.
91.6709.1 - DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH

THE JAMB OR JOINED BY RABBET TO THE JAMB. (6709.4)

4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS.
HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE
FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION
SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
(6709.5, 6709.7)
 PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS

ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES). (6709.2)

7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

8. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. (91.6709.1 ITEM 2)

9. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL FROM TRACK WHILE IN THE CLOSED POSITION. (6710)

10. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1
11. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL

HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

12. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL

CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

13. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED

BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

14. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS

15. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3)

OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713)

16. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

17. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1

18. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.
19. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS,

GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4)

20. ALL OTHER OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (6716.6)

#### SOUND TRANSMISSION:

1. IN GROUP R OCCUPANCIES, WALL AND FLOOR- CEILING ASSEMBLIES SEPARATING DWELLING UNITS OR GUEST ROOMS FROM EACH OTHER AND FROM PUBLIC SPACE SUCH AS INTERIOR CORRIDORS AND SERVICE AREAS SHALL PROVIDE AIRBORNE SOUND INSULATION FOR WALLS, AND BOTH AIRBORNE AND IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES. ALL SUCH SEPARATING WALLS AND FLOOR-CEILING ASSEMBLIES SHALL PROVIDE AN AIRBORNE SOUND INSULATION EQUAL TO THAT REQUIRED TO MEET A SOUND TRANSMISSION CLASS (STC) OF 50 (DN OF 45 IF FIELD TESTED). ALL SEPARATING FLOOR-CEILING SHALL PROVIDE IMPACT SOUND INSULATION EQUAL TO THAT REQUIRED TO MEET AN IMPACT INSULATION CLASS (IIC) OF 50 (FIIC OF 45 IF FIELD TESTED). (1207.6.1, 1207.7, 1207.8)

EXCEPTION: IMPACT SOUND INSULATION IS NOT REQUIRED FOR FLOOR-CEILING ASSEMBLIES OVER NON HABITABLE ROOMS OR SPACES NOT DESIGNED TO BE OCCUPIED, SUCH AS GARAGES,

MECHANICAL ROOMS OR STORAGE AREAS.

a. IDENTIFY ALL SOUND RATED PARTITIONS ON THE FLOOR PLANS.

b. PROVIDE CONSTRUCTION DETAILS FOR SOUND RATED WALL ASSEMBLIES.
 c. PROVIDE CONSTRUCTION DETAILS FOR SOUND RATED FLOOR-CEILING ASSEMBLIES
 d. ALL RIGID CONDUITS, DUCTS, PLUMBING PIPES, AND APPLIANCE VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS, OR A MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL. VENTS LOCATED IN SOUND ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF

e. AN APPROVED PERMANENT, AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS. FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED OR INSULATED WITH\_\_\_\_\_\_\_\_.

f. CARPETS OR SIMILAR SURFACE MATERIAL WHICH ARE PART OF THE FLOOR-CEILING ASSEMBLY

RESILIENT SLEEVES, MOUNTS, OR A MINIMUM 1/4" THICK APPROVED RESILIENT MATERIAL.

MUST BE INSTALLED AND INSPECTED BEFORE THE CERTIFICATE OF OCCUPANCY IS ISSUED AND MAY BE REPLACED ONLY BY OTHER FLOOR COVERING THAT PROVIDES THE REQUIRED IMPACT SOUND INSULATION. (1207.8)

g. METAL VENTILATING AND CONDITIONED AIR DUCTS LOCATED IN SOUND ASSEMBLIES SHALL BE

LINED. (EXCEPTION: DUCTS SERVING ONLY EXITWAYS, KITCHEN COOKING FACILITIES, AND BATHROOMS NEED NOT BE LINED).

h. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING PIPING, OR DUCT BENETBATES A FLOOR CELLING ASSEABLY OR WHERE SUCH LINET BASSES THROUGH THE

OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE SPRINKLER PIPE, GAS LINE OR ELECTRICAL CONDUIT.

i. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED

RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION.

(TV, TELEPHONE AND INTERCOM OUTLETS MUST BE INSTALLED IN BOXES ACCORDINGLY.)

j. THE ENTRANCE DOORS TO RESIDENTIAL UNITS FROM INTERIOR CORRIDORS ARE REQUIRED TO HAVE A MINIMUM STC RATING OF 26. (LAMINATED 1 3/8" SOLID-CORE DOORS WITH RESILIENT STOPS AND GASKETS OR 18 GAUGE INSULATED STEEL SLAB DOORS WITH COMPRESSION SEALS ALL AROUND,

HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES WILL BE SEALED WITH 1/8"

INCLUDING THRESHOLDS WILL MEET THIS REQUIREMENT).

k. WALL MOUNTED LAVATORIES AND TOILETS ARE NOT PERMITTED IN SOUND RATED PARTITIONS.

I. ELECTRICAL PANELS ARE NOT PERMITTED IN SOUND RATED PARTITIONS.

LOAD OF 30 OR MORE SHALL COMPLY WITH THE FOLLOWING PROVISIONS:

SIGNS, AND SIMILAR ELEMENTS.

# 91.1613.8.1.4. SPECIAL REQUIREMENTS FOR MEANS OF EGRESS. SUSPENDED CEILING ASSEMBLIES LOCATED ALONG MEANS OF EGRESS SERVING AN OCCUPANT

1. GENERAL. CEILING SUSPENSION SYSTEMS SHALL BE CONNECTED AND BRACED WITH VERTICAL HANGERS ATTACHED DIRECTLY TO THE STRUCTURAL FLOOR OR ROOF SYSTEM ABOVE AND ALONG THE MEANS OF EGRESS SERVING AN OCCUPANT LOAD OF 30 OR MORE AND AT LOBBIES ACCESSORY TO GROUP A OCCUPANCIES. SPACING OF VERTICAL HANGERS SHALL NOT EXCEED TWO FEET

(610 MM) ON CENTER ALONG THE ENTIRE LENGTH OF THE SUSPENDED CEILING ASSEMBLY LOCATED ALONG THE MEANS OF EGRESS OR AT THE LOBBY.
2. ASSEMBLY DEVICE. ALL LAY-IN PANELS SHALL BE SECURED TO THE SUSPENSION CEILING ASSEMBLY WITH TWO HOLD-DOWN CLIPS MINIMUM FOR EACH TILE WITHIN A FOUR-FOOT (1219 MM) RADIUS OF THE EXIT LIGHTS AND EXIT SIGNS.

3. EMERGENCY SYSTEMS. INDEPENDENT SUPPORTS AND BRACES SHALL BE PROVIDED FOR LIGHT FIXTURES REQUIRED FOR EXIT ILLUMINATION. POWER SUPPLY FOR EXIT ILLUMINATION SHALL COMPLY WITH THE REQUIREMENTS OF CBC SECTION 1006.3.

4. SUPPORTS FOR APPENDAGE. SEPARATE SUPPORT FROM THE STRUCTURAL FLOOR OR ROOF SYSTEM

ABOVE SHALL BE PROVIDED FOR ALL APPENDAGES SUCH AS LIGHT FIXTURES, AIR DIFFUSERS, EXIT

IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR

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IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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GEN. NOTES

Date : Scale : 1/8" = 1'-0"
CAD : ROD
Job : -

Sheet

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#### **DIVISION I - APPLICATION:**

#### MULTISTORY DWELLINGS WITH ONE OR MORE ELEVATORS

FOR MULTISTORY DWELLING UNITS IN BUILDINGS WITH ELEVATORS, THE STORY OF THE UNIT THAT SERVED BY THE BUILDING ELEVATOR IS CONSIDERED A GROUND FLOOR AND THE PRIMARY ENTRY FLOOR TO THE UNIT AND SHALL COMPLY WITH THE FOLLOWING (1102A.3.2):

1. AT LEAST ONE POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL. 2. ALL ROOMS LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL COMPLY WITH DIVISION IV.

#### **DIVISION II - EXTERIOR FACILITIES:**

#### SITE DEVELOPMENT & ROUTE OF TRAVEL

NOTE: ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN A ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES. (1107A.1-A)

NOTE: EXCEPT WITHIN INDIVIDUAL DWELLING UNITS, AN ACCESSIBLE ROUTE OF TRAVEL SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, REST ROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR SPACES. (1110A.1)

- . SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES AND EXTERIOR GROUND FLOOR EXITS, AND ACCESS TO NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE WITH ACCESS, SHALL INCORPORATE PEDESTRIAN RAMPS, CURB RAMPS, ETC.(1110A.A)
- ?. When a building or portion of a building is required to be accessible or adaptable , AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED TO ALL PORTIONS OF THE BUILDING ENTRANCES, AND BETWEEN THE BUILDING AND THE PUBLIC WAY. (1110A.1)
- 3. THE ACCESSIBLE ROUTE OF TRAVEL SHALL BE THE MOST PRACTICAL DIRECT ROUTE BETWEEN ACCESSIBLE BUILDING ENTRANCES, ACCESSIBLE SITE FACILITIES, AND THE ACCESSIBLE ENTRANCE TO THE SITE. (1110A.1)
- 4. WHEN MORE THAN ONE ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE. (1110A.1)
- 5. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS, TO THE ACCESSIBLE BUILDING ENTRANCE

THEY SERVE. THE ACCESSIBLE ROUTE SHALL, TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE WITH

- THE ROUTE FOR THE GENERAL PUBLIC. (1110A.1.2) S. WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE, ACCESSIBLE ROUTES OF TRAVEL SHALL BE PROVIDED BETWEEN BUILDINGS AND ACCESSIBLE FACILITIES. (1110A.1.3) 7. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT TO THE FOLLOWING: (1110A.1.3 & 1110A.1.4) a. ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS AND SPACES THAT ARE ON THE SAME SITE. b. ACCESSIBLE BUILDING OR FACILITY ENTRANCES WITH ALL ACCESSIBLE SPACES AND ELEMENTS
- AND WITH ALL ACCESSIBLE DWELLING UNITS WITHIN THE BUILDING OR FACILITY. 8. AN ACCESSIBLE ROUTE SHALL CONNECT AT LEAST ONE ACCESSIBLE ENTRANCE OF EACH ACCESSIBLE DWELLING UNIT WITH THOSE EXTERIOR AND INTERIOR SPACES AND FACILITIES THAT
- SERVE THE ACCESSIBLE DWELLING UNIT. (1110A.1.5) 9. AT EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL. THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING
- ENTRANCES AND FACILITIES. (1110A.2) 10. ALL COVERED GROUND FLOOR UNITS IN NON-ELEVATOR BUILDINGS MUST BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE. (1104A.1)
- 11. GARAGES, CARPORTS AND OTHER PARKING FACILITIES, WHICH ARE ACCESSORY TO COVERED MULTIFAMILY DWELLING UNITS, SHALL BE ACCESSIBLE AS REQUIRED BY 1109A. (1105A.1) 12. TEMPORARY RESTRICTIONS: DURING PERIODS OF PARTIAL OR RESTRICTED USE OF THE BUILDING OR FACILITY, THE ENTRANCES USED FOR PRIMARY ACCESS SHALL BE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES. (1102A.6)

#### **ACCESSIBLE PARKING**

- 13. EACH PARKING FACILITY PROVIDED FOR COVERED MULTIFAMILY DWELLINGS AND FACILITIES (E.G., SWIMMING POOLS, CLUB HOUSES, RECREATION AREAS AND LAUNDRY ROOMS) THAT SERVE COVERED MULTIFAMILY DWELLINGS SHALL PROVIDE ACCESSIBLE PARKING. (1109A.1) 4. PARKING FACILITIES SHALL INCLUDE, BUT NOT LIMITED TO THE FF: 1109A.2
- a. GARAGES b. PRIVATE GARAGES (SEE SECTION 11105A FOR THE APPLICATION OF BUILDING STANDARDS FOR ACCESSIBILITY).
- c. CARPORTS d. OFF-STREET PARKING (PARKING LOTS/SPACES).
- 15. PRIVATE GARAGES ACCESSORY TO COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE AS REQUIRED IN SECTION 1109A. PRIVATE GARAGES INCLUDE INDIVIDUAL GARAGES AND MULTIPLE INDIVIDUAL GARAGES GROUPED TOGETHER. (1109A.2.1) . **EXCEPTION:** AN ATTACHED PRIVATE GARAGE DIRECTLY SERVING A SINGLE COVERED
- MULTIFAMILY DWELLING UNIT PROVIDING AT LEAST ONE OF THE FOLLOWING OPTIONS: a. A DOOR LEADING DIRECTLY FROM THE COVERED DWELLING UNIT WHICH IMMEDIATELY ENTERS THE GARAGE. THE DOOR SHALL COMPLY ON BOTH SIDES WITH SECTIONS 1132.A.3
- THROUGH 1132A.9 b. AN ACCESSIBLE ROUTE OF TRAVEL FROM THE COVERED DWELLING UNIT TO AN EXTERIOR DOOR ENTERING THE GARAGE. SEE SECTION 1132A.1 FOR REQUIREMENTS AT BOTH EXIT
- C. AN ACCESSIBLE ROUTE OF TRAVEL FROM THE DWELLING UNIT'S PRIMARY ENTRY DOOR TO THE VEHICULAR ENTRANCE AT THE GARAGE. SEE SECTION 1132A.1 FOR REQUIREMENTS AT THE
- . ACCESSIBLE PARKING SPACES SHALL BE PROVIDED AT A MINIMUM RATE OF 2 PERCENT OF THE COVERED MULTIFAMILY DWELLING UNITS. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT. WHEN ASSIGNED PARKING IS PROVIDED, SIGNAGE AS REQUIRED BY SECTION 1109A.8.8 SHALL NOT BE
- 18. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS AT LEAST 2 PERCENT OF THE ASSIGNED SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT. WHEN ASSIGNED PARKING IS PROVIDED, SIGNAGE AS REQUIRED BY SECTION 1109A.8.8
- SHALL NOT BE REQUIRED. (1109A.4) 19. WHEN PARKING IS PROVIDED FOR COVERED MULTIFAMILY DWELLINGS AND IS NOT ASSIGNED TO A RESIDENT OR A GROUP OF RESIDENTS, AT LEAST 5 PERCENT OF THE PARKING SPACES SHALL BE ACCESSIBLE AND PROVIDE ACCESS TO GRADE-LEVEL ENTRANCES OF COVERED MULTIFAMILY DWELLINGS AND FACILITIES (E.G., SWIMMING POOLS, CLUB HOUSES, RECREATION AREAS AND LAUNDRY ROOM) THAT SERVE COVERED MULTIFAMILY DWELLINGS. ACCESSIBLE PARKING SPACES SHALL BE PROVIDED WITH SIGNAGE AS REQUIRED BY SECTION 1109A.8.8. SUCH SIGNAGE SHALL
- NOT BE BLOCKED FROM THE VIEW BY A VEHICLE PARKED IN THE SPACE. (1109A.5) 20. WHEN ASSIGNED PARKING IS PROVIDED, DESIGNATED ACCESSIBLE PARKING FOR THE DWELLING UNIT SHALL BE PROVIDED ON REQUEST OF RESIDENTS WITH DISABILITIES ON THE SAME TERMS AND WITH THE FULL RANGE OF CHOICES (E.G., OFF STREET PARKING, CARPORT OR GARAGE) THAT ARE
- AVAILABLE FOR OTHER RESIDENTS. (1109A.6) 21. LOCATION OF ACCESSIBLE PARKING SPACES. THE LOCATION OF ACCESSIBLE PARKING SPACES SHALL COMPLY WITH THE FOLLOWING:
- a. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO AN ACCESSIBLE, OR COVERED MULTIFAMILY DWELLING UNIT ENTRANCE. ALL VAN ACCESSIBLE SPACES MAY BE GROUPED ON ONE LEVEL OF A PARKING FACILITY b. WHEN PARKING FACILITIES ARE LOCATED ADJACENT TO A BUILDING WITH MULTIPLE
- ACCESSIBLE ENTRANCES, ACCESSIBLE PARKING SPACES SHALL BE DISPERSED AND LOCATED NEAR THE ACCESSIBLE BUILDING ENTRANCES. c. WHEN PRACTICAL, THE ACCESSIBLE ROUTE SHALL NOT CROSS LANES FOR VEHICULAR TRAFFIC. WHEN CROSSING VEHICLE TRAFFIC LANES IS NECESSARY, THE ACCESSIBLE ROUTE SHALL BE
- DESIGNED AND MARKED AS A CROSSWALK d. PARKING FACILITIES THAT DO NOT SERVE A PARTICULAR BUILDING SHALL HAVE ACCESSIBLE PARKING SPACES LOCATED ON THE SHORTEST ACCESSIBLE ROUTE TO AN ACCESSIBLE
- PEDESTRIAN ENTRANCE OF THE PARKING FACILITY. e. ACCESSIBLE PARKING SPACES SHALL BE LOCATED SO THAT PERSONS WITH PHYSICAL DISABILITIES ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN. (1109A.7)
- 22. ALL ENTRANCES, EXITS AND VEHICULAR PASSAGEWAYS TO AND FROM REQUIRED ACCESSIBLE PARKING SPACES WITHIN PARKING FACILITIES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8 FEET 2 INCHES FROM THE FLOOR TO THE LOWEST PROTECTION OF THE CEILING. REFLECTIVE WARNING SIGNS COMPLYING WITH SECTION 1117B.5.4 FOR CHARACTER HEIGHT SHALL BE INSTALLED AT TRANSITIONS FROM 8 FEET 2 INCH CEILING TO LOWER CEILING HEIGHTS IN VEHICULAR PASSAGEWAYS IN THE SAME PARKING LEVEL.
- PREVENT ENCROACHMENT OF CARS OVER THE REQUIRED WIDTH OF WALKWAYS. b. RAMPS, INCLUDING CURB RAMPS, SHALL NOT ENCROACH INTO ANY ACCESSIBLE PARKING SPACE OR THE ADJACENT LOADING AND UNLOADING ACCESS AISLE. 24. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES & ACCESS AISLES SHALL BE THE MIN.

23. PARKING SPACES SHALL BE ARRANGED TO COMPLY WITH THE FOLLOWING (1 109A.8.2):

a. IN EACH PARKING AREA, A BUMPER OR CURB SHALL BE PROVIDED AND LOCATED TO

- POSSIBLE & SHALL NOT EXCEED  $\frac{1}{4}$  INCH PER FOOT (2.083% GRADIENT) IN ANY DIRECTION.
- 5. WHERE ACCESSIBLE SINGLE SPACES ARE PROVIDED, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING (1109A.8.5): a. SINGLE SPACES SHALL BE 14 FEET WIDE AND LINED TO PROVIDE A 9-FOOT WIDE PARKING
- AREA AND A 5-FOOT WIDE LOADING AND UNLOADING ACCESS AISLE ON THE PASSENGER SIDE OF THE VEHICLE (SEE FIGURE 11A-2B) WITH THE VEHICLE PARKED IN THE FORWARD POSITION. b. WHEN MORE THAN ONE SPACE IS PROVIDED. TWO 9-FOOT WIDE PARKING SPACES MAY BE LINED ON EACH SIDE OF A 5-FOOT WIDE LOADING AND UNLOADING ACCESS AISLE.
- SEE FIGURES 11A-2A AND 11A-2C. C. THE MINIMUM LENGTH OF EACH PARKING SPACE SHALL BE 18 FEET.

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- d. THE LOADING AND UNLOADING ACCESS AISLE SHALL BE MARKED BY A BORDER PAINTED BLUE WITHIN THE BLUE BORDER, HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER SHALL BE PAINTED A COLOR CONTRASTING WITH THE PARKING SURFACE PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH 5-FOOT WIDE LOADING & UNLOADING ACCESS AISLE. THIS NOTICE SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 12 INCHES HIGH & LOCATED SO THAT IS IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE FIGURES 11A-2A, 11A-2B AND 11A-2C.
- 26. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING (1109A.8.6): a. EACH SPACE SHALL BE SERVED BY A LOADING AND UNLOADING ACCESS AISLE AT LEAST 8 FEET
- WIDE, PLACED ON THE PASSENGER SIDE WITH THE VEHICLE PARKED IN THE FORWARD POSITION. b. THE MINIMUM LENGTH OF EACH SPACE SHALL BE 18 FEET
- c. EACH SPACE SHALL BE DESIGNATED "VAN ACCESSIBLE" AS REQUIRED BY 1109.8.8. d. ALL VAN ACCESSIBLE SPACES MAY BE GROUPED ON ONE LEVEL OF A MULTILEVEL PARKING FACILITY. e. THE LOADING AND UNLOADING ACCESS AISLE SHALL BE MARKED BY A BORDER PAINTED IN
- BLUE. WITHIN THE BLUE BORDER, HATCHED LINES A MAXIMUM OF 36 INCHES ON CENTER SHALL BE PAINTED A COLOR CONTRASTING WITH THE PARKING SURFACE PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH 8-FOOT WIDE LOADING AND UNLOADING ACCESS AISLE. THIS NOTICE SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 12 INCHES HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE FIGURES 11A-2A, 11A-2B AND 11A-2C.
- 27. PARKING SPACES ADJACENT TO ACCESSIBLE PARKING SPACES SHALL NOT BE CONSIDERED AS LOADING AND UNLOADING ACCESS AISLE. (1109A.8.7)
- 28. EACH ACCESSIBLE PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTIVE SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE ON A DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN OF THE PARKING SPACE FINISHED GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISHED GRADE, GROUND OR SIDEWALK, VAN ACCESSIBLE SPACES COMPLYING WITH THE SECTION 1109A.8.6 AND SHALL HAVE AN ADDITIONAL LANGUAGE STATING "VAN ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. (1109A.8.8)
- NOTE: WHEN ASSIGNED RESIDENT PARKING IS PROVIDED, SIGNAGE IS NOT REQUIRED EXCEPT FOR UNASSIGNED OR VISITOR PARKING SPACES.
- 29. AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL NOT BE LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, AND SHALL CLEARLY AND CONSPICUOUSLY STATE THE FOLLOWING:
- "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT \_\_\_\_OR BY TELEPHONING\_\_\_\_
- 30. IN ADDITION TO THE ABOVE REQUIREMENTS, THE SURFACE OF EACH ACCESSIBLE PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION DUPLICATING EITHER OR THE FOLLOWING SCHEMES
- (1109A.8): a. BY OUTLINING OR PAINTING THE STALL OR SPACE IN BLUE AND OUTLINING ON THE GROUND IN THE STALL OR SPACE IN WHITE OR SUITABLE CONTRASTING COLOR THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY": OR
- b. BY OUTLINING THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" IN WHITE ON BLUE BACKGROUND. THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" SHALL BE LOCATED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE AND SHALL BE 36 INCHES HIGH BY 36 INCHES WIDE. SEE FIGURES 11A-2A, 11A-2B, AND 11A-2C.

#### WALKS AND SIDEWALKS

- 31. WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2". (1113A.1)
- 32. SIDEWALKS SERVING INDIVIDUAL DWELLING UNITS IN COVERED MULTIFAMILY BUILDING SHALL BE 36" MINIMUM IN CLEAR WIDTH. ALL OTHER SIDEWALKS SHALL BE 48" MINIMUM IN CLEAR WIDTH.
- 33. WALK AND SIDEWALK SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT. WHERE DUE TO LOCAL CONDITIONS CREATE UNREASONABLE HARDSHIP, THE CROSS SLOPE MAY BE INCREASED TO A MAXIMUM OF 1/2" PER FOOT FOR DISTANCES NOT TO EXCEED 20 FEET.
- 34. WALK AND SIDEWALK SURFACES SHALL BE SLIP-RESISTANT AS FOLLOWS: (1113A.1.2) a. Surfaces with a slope of less than 6% gradient shall be at least slip- resistant as THAT DESCRIBED AS A MEDIUM SALTED FINISH. b. Surfaces with a slope of 6% or greater gradient shall be slip-resistant
- 35. WALKS, SIDEWALKS, AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW. (1113A.6)
- 36. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OF SECTION 1120A.5 AS A PEDESTRIAN RAMP. (1113A.3)
- 37. WALKS SHALL BE PROVIDED WITH A LEVEL AREA NOT LESS THAN 60" X 60" AT A DOOR OR GATE THAT SWINGS TOWARD THE WALK, AND NOT LESS THAN 48" WIDE BY 44" DEEP AT A DOOR OR GATE THAT SWINGS AWAY FROM THE WALK. SUCH WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK. (1113A.4)

#### CURB RAMPS

- NOTE: CURB RAMP IS DEFINED AS A SLOPING PEDESTRIAN WAY, INTENDED FOR PEDESTRIAN TRAFFIC WHICH PROVIDES ACCESS BETWEEN A WALK OR SIDEWALK AND A SURFACE LOCATED ABOVE OR BELOW AN ADJACENT CURB FACE. (1107A)
- **NOTE:** CURB RAMPS WITHIN THE BOUNDARY OF THE SITE SHALL BE CONSTRUCTED AT EACH CORNER OF STREET INTERSECTIONS AND WHERE A PEDESTRIAN WAY CROSSES A CURB. THE PREFERRED AND RECOMMENDED LOCATION FOR CURB RAMPS IS IN THE CENTER OF THE CROSSWALK OF EACH STREET CORNER. WHERE IT IS NECESSARY TO LOCATE A CURB RAMP IN THE CENTER OF THE CURB RETURN, THE STREET SURFACES SHALL BE MARKED TO IDENTIFY PEDESTRIAN CROSSWALKS, AND THE LOWER END OF THE CURB RAMP SHALL TERMINATE WITHIN SUCH CROSSWALK AREAS. CURB RAMPS DO NOT REQUIRE
- HANDRAILS. (1112A.1) 38. CURB RAMPS SHALL BE A MINIMUM OF 48 INCHES IN WIDTH. (1112A.3) 39. THE SLOPE OF CURB RAMPS SHALL NOT EXCEED 1 UNIT VERTICAL TO 12 UNITS HORIZONTAL
- (8.33-PERCENT SLOPE). (1112.5) 40. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT
- CHANGES. (1112A.5) 41. CURB RAMP LOCATED WHERE THE PEDESTRIANS MUST WALK ACROSS THE RAMP, SHALL HAVE FLARED SIDES; THE MAXIMUM SLOPE OF THE FLARE SHALL BE ONE UNIT VERTICAL IN 10 UNITS
- HORIZONTAL (10-PERCENT SLOPE). CURB RAMP WITH RETURNED CURBS CAN BE USED WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. (1112A.5) 42. A LEVEL LANDING 4' DEEP SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP OVER ITS FULL WIDTH TO PERMIT SAFE EGRESS FROM THE RAMP SURFACE, OR THE SLOPE OF THE FANNED OR
- FLARED SIDES OF THE CURB RAMP SHALL NOT EXCEED 1 UNIT VERTICAL TO 12 UNITS HORIZONTAL (8.33- PERCENT SLOPE. (1112A.6) 43. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL BE OF CONTRASTING FINISH FROM THAT OF THE ADJACENT SIDEWALK.
- 44. CURB RAMPS SHALL BE LOCATED TO PREVENT THEIR OBSTRUCTION BY PARKED CARS. BUILT-UP-CURB RAMPS SHALL BE THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES.
- 45. ALL CURB RAMPS SHALL HAVE A GROOVED BORDER 12 INCHES WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE APPROXIMATELY 3/4 INCH ON CENTER. ALL CURB RAMPS CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OF THE SIDEWALK. SEE FIGURES 11A-3A THROUGH 11A-3K. (1112A.8)
- 46. FOR DETECTABLE WARNING REQUIREMENTS, SEE CHAPTER 11B, SECTION1127B.5, ITEM 7. (1112A.9)

#### RAMPS (EXTERIOR OR INTERIOR)

(1114A.1,1122A.1):

**NOTE:** ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE). 47. THE WIDTH OF RAMPS SHALL BE CONSISTENT WITH THE REQUIREMENTS FOR EXITS IN CHAPTER 10 OF THIS CODE, BUT IN NO CASE SHALL THE RAMP WIDTH BE LESS THAN THE FOLLOWING

a. RAMPS SERVING ACCESSIBLE ENTRANCES TO COVERED MULTIFAMILY BUILDINGS WHERE THE RAMP IS THE ONLY EXIT DISCHARGE PATH AND SERVES AN OCCUPANT LOAD OF 300 OR MORE SHALL HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES. b. RAMPS SERVING ACCESSIBLE ENTRANCES OF COVERED MULTIFAMILY DWELLINGS WITH AN OCCUPANT LOAD OF 10 OR LESS MAY BE 36 INCHES IN CLEAR WIDTH.

c. ALL OTHER RAMPS SHALL HAVE A MINIMUM CLEAR WIDTH OF 48 INCHES.

d. HANDRAILS, CURBS, WHEEL GUIDES AND OR APPURTENANCES SHALL NOT PROJECT INTO THE REQUIRED CLEAR WIDTH OF A RAMP. 48. THE MAXIMUM SLOPE OF RAMPS ON AN ACCESSIBLE ROUTE SHALL BE NO GREATER THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.33-PERCENT SLOPE). (1114A.2, 1122A.2)

SEE EXCEPTION. 49. THE CROSS SLOPE OF RAMP SURFACES SHALL NOT EXCEED 1/4 INCH PER FOOT (2.083-PERCENT SLOPE). (1114A.2.1,1122A.2.1)

50. RAMP LANDINGS SHALL BE LEVEL AND COMPLY WITH THE FOLLOWING: (1114A.4, 1122A.3) a. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30 INCHES OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP. (1114A.4.1, 1122A.3.1)

b. TOP LANDINGS SHALL NOT BE LESS THAN 60 INCHES TOP LANDINGS SHALL HAVE A MINIMUM LENGTH OF NOT LESS THAN 60 INCHES IN THE DIRECTION OF THE RAMP RUN. SEE SECTION 1126A.3 FOR MANEUVERING CLEARANCES AT DOORS. (SEE FIGURE 11A-6C). (1114A.4.2, 1122A.3.2)

C. THE MINIMUM WIDTH OF BOTTOM AND INTERMEDIATE LANDINGS SHALL NOT BE LESS THAN THE

- WIDTH OF THE (1114A.4.3, 1122A.3.3) d. DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE LANDING TO LESS THAN 42 INCHES AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3 INCHES WHEN FULLY OPEN. SEE FIGURE 11A-6D. (1114A.4.4, 1122A.3.4)
- e. THE WIDTH OF THE LANDING SHALL COMPLY WITH SECTION 1126A.3 FOR STRIKE EDGE EXTENSION AND MANEUVERING SPACE AT DOORS. (1114A.4.5, 1122A.3.5) f. Intermediate and Bottom Landings at a change of direction in excess of 30 DEGREES SHALL HAVE A LENGTH IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72 INCHES. (SEE FIGURES 11A-6C AND 11A6D). (1114A.4.6, 1122A.3.6) g. OTHER INTERMEDIATE LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF
- RAMP RUN OF NOT LESS THAN 60 INCHES. SEE FIGURE 11A-6C. (1114A.4.7,1122A.3.7) 51. RAMPS MORE THAN 30 INCHES ABOVE THE ADJACENT FLOOR OR GROUND AND OPEN ON ONE OR BOTH SIDES SHALL BE PROVIDED WITH GUARDRAILS AS REQUIRED BY SECTION 1013. GUARDRAILS SHALL BE CONTINUOUS FROM THE TOP OF THE RAMP TO THE BOTTOM OF THE RAMP. (1114A.5, 1122A.4)
- 52. RAMP HANDRAILS SHALL COMPLY WITH THE FOLLOWING: (1114A.6, 1122A.5) a. HANDRAILS SHALL BE PROVIDED AT EACH SIDE OF RAMPS WHEN THE SLOPE EXCEEDS 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE). HANDRAILS ON ALL RAMPS SHALL BE CONTINUOUS. (1114A.6.1, 122A.5.1) SEE EXCEPTIONS:
- b. HANDRAIL CONFIGURATION. (1114.A.6.2, 1122A.5.2, 1114A.6.2.1, 1122A.5.2.1) i. THE TOP OF HANDRAILS SHALL BE 34 TO 38 INCHES ABOVE THE RAMP SURFACE. (1114A.6.2.1,1122A.5.2.2)
- ii. HANDRAIL ENDS SHALL BE RETURNED. (1114A.6.2.2, 1122A.5.2.3) iii. HANDRAILS SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE TOP AND BOTTOM OF THE WHERE THE EXTENSION CREATES A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST. SEE FIGURE 11A-5A. (1114A.6.2.3, 1122A.5.2.4)
- iv. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS SHALL NOT REDUCE THE REQUIRED MINIMUM CLEAR WIDTH OF RAMPS. v. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3 INCHES DEEP
- AND EXTENDS AT LEAST 18 INCHES ABOVE THE TOP OF THE RAIL. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. SEE FIGURE 11A-6B. (1114A.6.2.4, 1122A.5.2.5) vi. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 11/4 INCHES NOR MORE
- THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. viii. EDGES SHALL HAVE A MINIMUM RADIUS OF 🖫 HANDRAILS SHALL NOT ROTATE WITHIN THEIR
- FITTINGS. SEE FIGURE 11A-6B. (1114A.6.2.5) 53. RAMPS AND RAMP LANDINGS SHALL BE PROVIDED WITH A CONTINUOUS AND UNINTERRUPTED BARRIER ON EACH SIDE ALONG THE ENTIRE LENGTH IN COMPLIANCE WITH SECTIONS 1010.10

#### STAIRWAYS (INTERIOR AND EXTERIOR)

(1123A.6.2.5, 1115A.6.2.5, 1123A.6.2.4, 1115A.6.2.4, FIG.11A-6B)

AND 1010.10.1 (SEE FIGURE 11A-5A).

NOTE: INTERIOR AND EXTERIOR STAIRWAYS ALONG ACCESSIBLE ROUTE ARE REQUIRED TO BE ACCESSIBLE. (1123A, 1115A.1)

- 54. EXCEPT WITHIN AN INDIVIDUAL DWELLING UNIT, STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. INTERMEDIATE HANDRAILS SHALL BE LOCATED EQUI-DISTANT FROM THE SIDES OF THE STAIRWAY AND COMPLY WITH SECTION 1012.9. (1123A.6.1, 1115A.6.1) 55. HANDRAILS SHALL BE 34" TO 38" ABOVE THE NOSING OF THE (1123A.6.2.1, 1115A.6.2.1)
- 56. HANDRAILS SHALL EXTEND A MINIMUM OF 12" BEYOND THE TOP NOSING AND 12" PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING AND ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. (1123A.6.2.3.1115A.6.2.3. 1123A.6.2.2. 1115A.6.2.2) 57. WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE MADE EITHER ROUNDED OR RETURNED

SMOOTHLY TO THE FLOOR, WALL, OR POST. WHERE THE STAIRS ARE CONTINUOUS FROM

- LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDING. (1123A.6.2.3, 1115A.6.2.3) 58. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 11/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
- 59. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3" DEEP AND EXTENDS AT LEAST 18" ABOVE THE TOP OF THE RAIL. HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTING. (1115A.6.2.4, 1123A.6.2.4, 1115A.6.2.5, 1123A.6.2.5, FIG.11A-6B) 60. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT. TREADS SHALL HAVE SMOOTH, ROUNDED, OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGE.
- 61. THE NOSING SHALL NOT PROJECT MORE THAN 11/4 " PAST THE FACE OF THE RISER BELOW. RISERS SHALL BE SLOPED OR THE UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT MORE THAN 30 DEGREES FROM THE HORIZONTAL. SEE FIGURE 11A-6A. (1123A.4, 1115A.4) 62. EXTERIOR STAIRS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLING UNITS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR
- 63. EXCEPT WITHIN AN INDIVIDUAL DWELLING UNIT, INTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND LOWER TREAD MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. 64. REQUIRED STAIR STRIPES SHALL BE A MINIMUM OF 2 INCHES WIDE TO A MAXIMUM OF 4 INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1 INCH FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH and shall be of material that is at least as slip resistant as the other treads of the STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE. (1123A.5)
- **EXCEPTIONS:** a. AN OPENING OF NOT MORE THAN ½ INCH MAY BE PERMITTED BETWEEN THE BASE OF THE RISER b. RISERS CONSTRUCTED OF GRATING CONTAINING OPENINGS OF NOT MORE THAN ½ INCH
- MAY BE PERMITTED. (1115A.2) 66. EXCEPT WITHIN AN INDIVIDUAL DWELLING UNIT, RISERS ARE NOT PERMITTED ON INTERIOR

#### HAZARDS ON ACCESSIBLE ROUTES

65. OPEN RISERS ARE NOT PERMITTED ON EXTERIOR STAIRWAYS.

- 67. ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN VERTICAL DIMENSION, SUCH AS CHANGES IN LEVEL AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO WALKS, SIDEWALKS, OR OTHER PEDESTRIAN WAYS, SHALL BE IDENTIFIED BY CURBS OTHER APPROVED BARRIERS PROJECTING AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN
- THE BLIND OF A POTENTIAL DROP-OFF. (1116A.1) SEE EXCEPTIONS. 68. WALKS, PEDESTRIAN WAYS, AND OTHER CIRCULATION SPACES WHICH ARE PART OF THE REQUIRED EGRESS SYSTEM SHALL HAVE A MINIMUM CLEAR HEADROOM AS REQUIRED INS SECTION 1003.2. OTHER WALKS, PEDESTRIAN WAYS, AND CIRCULATION SPACES SHALL HAVE A MINIMUM CLEAR HEADROOM OF 80 INCHES. IF THE VERTICAL CLEARANCE OF AN AREA ADJOINING AN ACCESSIBLE ROUTE IS REDUCED TO LESS THAN 80 INCHES NOMINAL DIMENSION, A GUARDRAIL OR OTHER BARRIER HAVING ITS LEADING EDGE AT OR BELOW 27 INCHES ABOVE THE FINISHED FLOOR SHALL BE PROVIDED. SEE FIGURE 11A-1B. (1116A.2) SEE
- 69. ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80 INCHES ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION. WHERE A GUY SUPPORT IS USED PARALLEL TO A PATH OF TRAVEL, INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, A GUY BRACE, SIDEWALK GUY OR SIMILAR DEVICE SHALL BE USED TO PREVENT AN OVERHANGING OBSTRUCTION (SEE SECTION 1116A.2 FOR REQUIRED HEADROOM CLEARANCE). (1116A.3)
- 0. WHEREVER SIGNS MOUNTED ON POSTS OR PYLONS PROTRUDE FROM THE POST OR PYLONS AND THE BOTTOM EDGE OF THE SIGN IS LESS THAN 80 INCHES ABOVE THE FINISHED FLOOR OR GROUND LEVEL, THE EDGES OF SUCH SIGNS SHALL BE ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 0.125 INCHES (SEE SECTION 1116A.2 FOR REQUIRED HEADROOM CLEARANCE). (1116A.4)

#### DIVISION III - BUILDING FEATURES, COMMON USE AREAS:

#### AREAS OF REFUGE

SEE SECTION 1007

VISUAL CONTRAST.

STAIRWAYS. (1123A.2)

#### **STAIRWAYS**

SEE DIVISION II,

#### **ELEVATOR AND PLATFORM (WHEELCHAIR) LIFTS** (ALSO SEE PROVISIONS IN SECTION 1124A)

ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS SHALL BE ACCESSIBLE. ELEVATORS REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH SECTION 1124A. ASME A17.1. SAFETY CODE FOR ELEVATORS AND ESCALATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS, UNDER "ELEVATOR SAFETY ORDERS," AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.

EXCEPTION: PRIVATE ELEVATORS SERVING ONLY ONE DWELLING UNIT. (1124A.1)

HAZARDS ON ACCESSIBLE ROUTES

SEE DIVISION III.

## RESIDENTIAL ACCESSIBLITY NOTES

**DOORS** 

- EVERY PRIMARY ENTRANCE TO A DWELLING UNIT REQUIRED TO BE ACCESSIBLE SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME OR EQUIVALENT INSTALLATIONS MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING.(1132A.10)
- 2. RECESSED DOORMATS SHALL BE ADEQUATELY ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIR TRAFFIC. (1119A.2.1) 3. DOORWAYS WHICH PROVIDE ACCESS TO COMMON USE AREAS OR COVERED MULTIFAMILY
- DWELLINGS SHALL COMPLY WITH THE FOLLOWING: (1126A.1) a. PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 36 INCHES IN WIDTH, NOT LESS THAN 80 INCHES IN HEIGHT AND PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES, MEASURED
- WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. b. BE CAPABLE OF OPENING AT LEAST 90 DEGREES C. A PAIR OF DOORS, MANUAL OR AUTOMATIC, MUST HAVE AT LEAST ONE LEAF WHICH
- PROVIDES A CLEAR WIDTH OF NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. d. THE WIDTH OF ANY COMPONENT IN THE EGRESS SYSTEM SHALL NOT BE LESS THAN THE
- MINIMUM WIDTH REQUIRED BY SECTION 1005. 4. REVOLVING DOORS SHALL NOT BE USED AS A REQUIRED ENTRANCE FOR PERSONS WITH
- DISABILITIES. (1126A.1) 5. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. (1126A.2.1,FIG.11A-8I)
- LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60 INCHES AND THE LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF 44 INCHES AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. (1126A.3.1)

6. THE FLOOR OR LANDING AT EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL AND HAVING A

- 7. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS. (1126A.3.2, FIG.11A-8D, 8E, 8F FOR MANEUVERING AT SLIDING DOORS) B. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR
- DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. (1126A.4)
- . IF THE DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LANDING EDGE OF THE DOOR. (1126A.4.1)
- 10. THE TYPE OF LATCH AND LOCK REQUIRED FOR ALL DOORS SHALL BE IN ACCORDANCE WITH SECTION 1126A.6 AND CHAPTER 10, SECTION 1008. (1126A.5)
- HAND-ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE CONSISTENT WITH SECTION 1126A.4, IN THE
- DIRECTION OF EGRESS. (1126A.6) 12. THE LEVER OR LEVER OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN ½ INCH OF THE DOOR TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. (1126A.7) EXCEPTION: AUTOMATIC AND SLIDING DOORS

#### **COMMON USE FACILITIES**

14. WHEN PROVIDED, COMMON USE AREAS AND FACILITIES IN COVERED MULTIFAMILY HOUSING DEVELOPMENTS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES. COMMON USE FACILITIES INCLUDE, BUT ARE NOT LIMITED TO, LOBBIES, TOILET AND BATHING FACILITIES, LAUNDRY FACILITIES, COMMUNITY ROOMS, CLUB-HOUSES, HEALTH AND FITNESS FACILITIES, GAME ROOMS, AND PORTIONS OF COMMON USE TENANT STORAGE. ALL ENTRANCES, DOORS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE. (1127A.1)

**TOILET FACILITIES:** 15. WHEN COMMON USE TOILET FACILITIES ARE PROVIDED FOR RESIDENTS OR GUESTS, AT LEAST ONE PERCENT OF THE TOTAL NUMBER OF FIXTURES BUT NOT LESS THAN ONE OF EACH TYPE SHALL COMPLY WITH THIS SECTION. (1127A.2)

- **MULTIPLE-ACCOMMODATION TOILET FACILITIES** SHALL HAVE THE FOLLOWING: (1127A.2.1) 16. TURNING SPACE OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 60 INCHES OR A T-SHAPED SPACE SHALL BE PROVIDED WITHIN THE TOILET FACILITY. THE WHEELCHAIR TURNING SPACE SHALL COMPLY WITH SECTION 1138A.1.3. OTHER THAN THE DOOR TO THE ACCESSIBLE WATER CLOSET COMPARTMENT, A DOOR, IN ANY POSITION, MAY
- ENCROACH INTO THIS SPACE BY NOT MORE THAN 12 INCHES. 17. DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE REQUIRED FOR ANY FIXTURE. REQUIRED CLEAR FLOOR SPACE, CLEARANCE AT FIXTURES, AND TURNING SPACE SHALL BE PERMITTED TO OVERLAP.

18. ACCESSIBLE WATER CLOSET COMPARTMENTS SHALL BE 60 INCHES WIDE MINIMUM MEASURED

- PERPENDICULAR TO THE SIDE WALL, 56 INCHES DEEP MINIMUM FOR WALL HUNG WATER CLOSETS AND 59 INCHES DEEP MINIMUM FOR FLOOR MOUNTED WATER CLOSETS MEASURED PERPENDICULAR TO THE REAR WALL. (SEE FIGURE 11A-9A(C)). 19. WATER CLOSET FIXTURES LOCATED IN ACCESSIBLE WATER CLOSET COMPARTMENTS SHALL BE POSITIONED WITH A WALL OR PARTITION TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF
- THE WATER CLOSET SHALL BE 17 INCHES MINIMUM TO 18 INCHES MAXIMUM FROM THE SIDE WALL OR PARTITION. 20. IN AMBULATORY ACCESSIBLE TOILET COMPARTMENTS, THE WATER CLOSET SHALL BE 1 INCH MINIMUM AND 19 INCHES MAXIMUM FROM THE SIDE WALL OR PARTITION.
- (SEE FIGURE 11A-9A (d)) 21. CLEARANCE AROUND A WATER CLOSET SHALL BE 60 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE SIDE WALL AND 56 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE REAR WALL. THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET, ASSOCIATED GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNITS, COAT HOOKS, SHELVES, ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AND CLEARANCES REQUIRED AT OTHER FIXTURES, AND THE TURNING SPACE. NO OTHER FIXTURES OR OBSTRUCTIONS SHALL BE LOCATED WITHIN THE REQUIRED WATER CLOSET
- CLEARANCE. 22. A MINIMUM 48 INCHES DEEP AND 60 INCHES WIDE CLEAR MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET IF THE COMPARTMENT HAS AN END-OPENING DOOR (FACING THE WATER CLOSET). A MINIMUM 60 INCHES DEEP AND 60 INCHES WIDE CLEAR MANEUVERING SPACE SHALL BE PROVIDED IN A COMPARTMENT WITH THE DOOR LOCATED AT
- THE SIDE. (SEE FIGURE 11A-9A). 23. GRAB BARS SHALL BE PROVIDED ON THE SIDE WALL CLOSEST TO THE WATER CLOSET AND ON THE REAR WALL AND SHALL COMPLY WITH THE FOLLOWING: a. THE SIDE WALL GRAB BAR SHALL BE 42 INCHES LONG MINIMUM, LOCATED 12 INCHES MAXIMUM FROM THE REAR WALL AND EXTEND 54 INCHES MINIMUM FROM THE REAR WALL.
- b. THE REAR WALL GRAB BAR SHALL BE 36 INCHES LONG MINIMUM AND EXTEND FROM THE CENTERLINE OF THE WATER CLOSET 12 INCHES MINIMUM ON ONE SIDE AND 24 INCHES MINIMUM ON THE OTHER SIDE. (SEE EXCEPTIONS)

THE FRONT END OF THE SIDE GRAB BAR SHALL BE POSITIONED 24 INCHES MINIMUM IN FRONT

- 24. COMPARTMENT DOORS SHALL COMPLY WITH THE FOLLOWING: a. THE WATER CLOSET COMPARTMENT SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC-CLOSING DEVICE, AND SHALL HAVE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WHEN LOCATED AT THE END AND 34 INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION. b. WHEN STANDARD COMPARTMENT DOORS ARE USED, WITH A MINIMUM 9 INCH CLEARANCE
- FOR FOOTRESTS UNDERNEATH AND A SELF-CLOSING DEVICE, CLEARANCE AT THE STRIKE EDGE AS SPECIFIED IN SECTION 1126A.3.2 IS NOT REQUIRED. c. THE INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR SHALL BE EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH SHALL BE FLIP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING THE USER TO GRASP OR TWIST. d. EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS, A CLEAR, UNOBSTRUCTED
- IMMEDIATELY IN FRONT OF A WATER CLOSET COMPARTMENT SHALL NOT BE LESS THAN 48 INCHES AS MEASURED AT RIGHT ANGLES TO COMPARTMENT DOOR IN ITS CLOSED POSITION. 25. WHEN SIX OR MORE TOILET COMPARTMENTS ARE PROVIDED. WITHIN A MULTIPLE-ACCOMMODATION TOILET ROOM, OR WHEN THE COMBINATION OF URINALS AND WATER CLOSETS TOTALS SIX OR MORE FIXTURES. AT LEAST ONE COMPARTMENT SHALL COMPLY WITH SECTION 1127A.2.1, ITEMS 2 AND 3. AT LEAST ONE ADDITIONAL AMBULATORY

COMPARTMENTS DESIGNED FOR USE BY PERSONS WITH DISABILITIES AND THE SPACE

ACCESS OF NOT LESS THAN 44 INCHES SHALL BE PROVIDED TO WATER CLOSET

26. THE AMBULATORY ACCESSIBLE COMPARTMENT SHALL HAVE A SELF-CLOSING DOOR, WHICH SHALL NOT SWING INTO THE MINIMUM REQUIRED COMPARTMENT AREA. GRAB BARS, COMPLYING WITH SECTIONS 1127A.4.2, 1127A.4.3,1127A.4.4 AND 1127A.4.5, SHALL BE INSTALLED ON EACH COMPARTMENT SIDE WALL. (SEE FIGURE 11A-9A (D)).

#### SINGLE-ACCOMMODATION TOILET FACILITIES SHALL COMPLY WITH THE FOLLOWING: (1127A.2.2)

INCHES WIDE BY 48 INCHES LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THERE SHALL BE IN THE ROOM A CLEAR TURNING SPACE OF AT LEAST 60 INCHES IN DIAMETER, OR A T-SHAPED SPACE COMPLYING WITH SECTION 1138A.1.3. REQUIRED CLEAR FLOOR SPACE, CLEARANCES AT FIXTURES, AND TURNING SPACE SHALL BE PERMITTED TO OVERLAP. DOORS SHALL NOT ENCROACH INTO THIS REQUIRED TURNING SPACE BY MORE THAN 12 INCHES.

- 28. A WATER CLOSET FIXTURE LOCATED IN A SINGLE ACCOMMODATION TOILET FACILITY SHALL BE POSITIONED WITH A WALL OR PARTITION TO THE REAR AND TO ONE SIDE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 17 INCHES MINIMUM TO 18 INCHES MAXIMUM FROM THE SIDE WALL OR PARTITION.
- 29. CLEARANCE AROUND A WATER CLOSET SHALL BE 60 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE SIDE WALL AND 56 INCHES MINIMUM MEASURED PERPENDICULAR FROM THE REAR WALL. THE REQUIRED CLEARANCE AROUND THE WATER CLOSET SHALL BE PERMITTED TO OVERLAP THE WATER CLOSET, ASSOCIATED GRAB BARS, DISPENSERS, SANITARY NAPKIN DISPOSAL UNITS, COAT HOOKS, SHELVES, ACCESSIBLE ROUTES, CLEAR FLOOR SPACE AND CLEARANCES REQUIRED AT OTHER FIXTURES, AND THE TURNING SPACE. NO OTHER FIXTURES OR OBSTRUCTIONS SHALL BE LOCATED WITHIN THE REQUIRED WATER CLOSET
- CLEARANCE. 30. A MINIMUM 48 INCHES DEEP AND 60 INCHES WIDE CLEAR MANEUVERING SPACE SHALL BE PROVIDED IN FRONT OF THE WATER CLOSET
- 31. GRAB BARS SHALL BE PROVIDED ON THE SIDE WALL CLOSEST TO THE WATER CLOSET AND ON THE REAR WALL. GRAB BARS SHALL COMPLY WITH THIS SECTION AND SECTION 1127A.4. 32. THE SIDE WALL GRAB BAR SHALL BE 42 INCHES LONG MINIMUM, LOCATED 12 INCHES MAXIMUM FROM THE REAR WALL AND EXTEND 54 INCHES MINIMUM FROM THE REAR THE FRONT END OF THE SIDE GRAB BAR SHALL BE POSITIONED 24 INCHES MINIMUM IN FRONT OF THE WATER
- 33. THE REAR WALL GRAB BAR SHALL BE 36 INCHES LONG MINIMUM AND EXTEND FROM THE CENTERLINE OF THE WATER CLOSET 12 INCHES MINIMUM ON ONE SIDE AND 24 INCHES
- MINIMUM ON THE OTHER SIDE. 34. ALL DOORS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE. THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36 INCHES EXCEPT AT DOORS (SEE SECTION 1126A). IF A PERSON IN A WHEELCHAIR MUST MAKE A TURN AROUND AN OBSTRUCTION. THE MINIMUM CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL BE AS SPECIFIED IN SECTION 1138A.1.5.

#### **WATER CLOSETS** REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE FOLLOWING: (1127A.2.3, FIGURE 11A-9B)

35. THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17 INCHES TO A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF A MAXIMUM 2-INCH HIGH TOILET SEAT. 36. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR

TWISTING. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE OPEN SIDE OF THE

WATER CLOSET NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS 37. TOILET SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.

#### ACCESSIBLE URINALS WHEN PROVIDED, AT LEAST ONE SHALL COMPLY WITH THE FOLLOWING:

- (1127A.2.4) 38. URINALS SHALL BE FLOOR MOUNTED (STALL TYPE) OR WALL THE RIM OF THE WALL HUNG URINALS SHALL BE 17 INCHES MAXIMUM ABOVE THE FINISH FLOOR. URINALS (FLOOR MOUNTED AND WALL HUNG) SHALL BE 13 1/2 INCHES DEEP MINIMUM MEASURED FROM THE OUTER FACE OF
- THE RIM TO THE BACK OF THE FIXTURE. 39. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED CONTROLS SHALL BE OPERABLE WITH ONE HAND, SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.
- ELECTRONIC AUTOMATIC FLUSHING CONTROLS ARE PREFERABLE. 40. A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES SHALL BE PROVIDED IN FRONT OF THE URINAL TO ALLOW FORWARD APPROACH. THE CLEAR FLOOR SPACE SHALL COMPLY WITH SECTION 1138A.1.4.

#### **ACCESSIBLE LAVATORIES:**

- WHEN COMMON USE LAVATORIES ARE PROVIDED FOR RESIDENTS OR GUESTS. AT LEAST ONE, AND NOT LESS THAN 1 PERCENT OF ALL LAVATORIES, SHALL COMPLY WITH THE FOLLOWING: (1127A.3) 41. LAVATORIES SHALL BE INSTALLED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 18 INCHES HORIZONTALLY FROM AN ADJOINING WALL, PARTITION OR FIXTURE. THE TOP OF THE FIXTURE RIM SHALL BE A MAXIMUM OF 34 INCHES ABOVE THE FINISHED FLOOR. 42. A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES SHALL BE PROVIDED IN FRONT OF
- 43. A CLEAR AND OBSTRUCTED KNEE AND TOE SPACE, COMPLYING WITH SECTION 1138A.2, SHALL BE PROVIDED UNDERNEATH THE LAVATORY. THE KNEE AND TOE SPACE SHALL BE CENTERED ON THE FIXTURE. THE CLEAR FLOOR SPACE REQUIRED BY ITEM 2 SHALL NOT EXTEND INTO THE KNEE AND TOE SPACE MORE THAN 19 INCHES. (SEE FIGURE 11A-9D)

ACCESSIBLE LAVATORIES TO ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ANOTHER CLEAR

45. WATER SUPPLY AND DRAIN PIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. 46. FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE (LBF). LEVER OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE

EXAMPLES OF ACCEPTABLE DESIGNS. HAND OPERATED METERING FAUCETS ARE ALLOWED IF

49. GRAB BARS WITH CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF 11/4 INCHES

#### THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES:

44. THE FINISHED FLOOR BENEATH THE LAVATORY SHALL BE EXTENDED TO THE WALL.

CHAPTER SHALL COMPLY WITH THE FOLLOWING: (1127A.4.1) 47. GRAB BARS SHALL BE INSTALLED IN A HORIZONTAL POSITION, 33 INCHES MINIMUM AND 36

GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES REQUIRED BY THIS

- INCHES MAXIMUM ABOVE THE FINISH FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE. (SEE EXCEPTION) 48. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL COMPLY WITH THE FOLLOWING: NOTE: SEE FIGURE 11A-9C.
- MINIMUM AND 2 INCHES MAXIMUM. 50. GRAB BARS WITH NON-CIRCULAR CROSS SECTION SHALL HAVE A CROSS-SECTION DIMENSION OF 2 INCHES MAXIMUM. THE PERIMETER DIMENSION OF GRAB BARS WITH NON-CIRCULAR CROSS SECTION SHALL BE 4 INCHES MINIMUM AND 4.8 INCHES MAXIMUM. 51. L-SHAPED OR U-SHAPED GRAB BARS SHALL BE PERMITTED
- 52. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS: (1127A.4.4) a. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT. b. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF A 250-POUND

POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE

- GRAB BAR OR SEAT, AND IF ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS. c. Shear force induced in a fastener or mounting device from the application of A 250-POUND POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER
- THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD. d. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250 POUND POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250-POUND POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER

AND SUPPORTING STRUCTURE.

MINIMUM.

e. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

53. A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES (SECTION 1127A.4.5). 54. WHEN GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1 INCHES. (SEE FIGURE 11A-9C). THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 ½ INCHES MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12 INCHES

IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR

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#### COMPARTMENT SHALL HAVE A DEPTH OF 60 INCHES MINIMUM, AND A WIDTH OF 35 INCHES MINIMUM AND 37 INCHES MAXIMUM.

27. THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MEASURING 30

#### RESIDENTIAL ACCESSIBLITY NOTES

#### **BATHING FACILITIES:** WHEN COMMON USE BATHING FACILITIES ARE PROVIDED FOR RESIDENTS OR GUESTS, INCLUDING SHOWERS, BATHTUBS OR LOCKERS, AT LEAST ONE OF EACH TYPE OF FIXTURE IN EACH FACILITY, AND NOT LESS THAN 1 PERCENT OF ALL FIXTURES, SHALL COMPLY WITH THE FOLLOWING: (1127A.5.1)

**BATHTUBS** REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE FOLLOWING: (1127A.5.2) 55. CLEARANCE IN FRONT OF BATHTUBS SHALL EXTEND THE LENGTH O $\,$  THE BATHTUB AND SHALL BE 48 INCHES WIDE MINIMUM FOR FORWARD APPROACH AND 30 INCHES WIDE MINIMUM FOR PARALLEL APPROACH. A LAVATORY COMPLYING WITH SECTION 1127A.3 SHALL BE PERMITTED AT THE CONTROL END OF THE CLEARANCE. WHEN A PERMANENT SEAT IS PROVIDED AT THE HEAD END OF THE BATHTUB, THE CLEARANCE SHALL EXTEND 12 INCHES MINIMUM BEYOND THE WALL AT THE HEAD END OF THE BATHTUB, SEE FIGURE 11A-9E. (SECTION 1127A.5.2.1).

56. A REMOVABLE IN-TUB SEAT OR A PERMANENT SEAT AT THE HEAD END OF THE TUB SHALL BE PROVIDED. THE STRUCTURAL STRENGTH OF SEATS AND THEIR ATTACHMENTS SHALL COMPLY WITH SECTION 1127A.4.4. SEATS SHALL BE MOUNTED SECURELY AND SHALL NOT SLIP DURING USE. THE TOP OF BATHTUB SEATS SHALL BE 17 INCHES MINIMUM AND 19 INCHES MAXIMUM ABOVE THE BATHROOM FINISH FLOOR. THE DEPTH OF A REMOVABLE IN-TUB SEAT SHALL BE 15 INCHES MINIMUM AND 16 INCHES MAXIMUM. PERMANENT SEATS AT THE HEAD END OF THE BATHTUB SHALL BE 15 INCHES DEEP MINIMUM AND SHALL EXTEND FROM THE BACK WALL TO OR BEYOND THE OUTER EDGE OF THE BATHTUB. SEE FIGURE 11A-9E. (1127A.5.2.2)

7. GRAB BARS COMPLYING WITH SECTION 1127A.4 SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (SEE FIGURE 11A-9F.) WHEN SEPARATE GRAB BARS ARE REQUIRED ON ADJACENT WALLS AT A COMMON MOUNTING HEIGHT, AN L-SHAPED OR U-SHAPED GRAB BAR MEETING THE DIMENSIONAL REQUIREMENTS OF THIS SECTION SHALL BE PERMITTED.

(SECTION 1127A.5.2.3). a. **AT BATHTUBS WITH PERMANENT SEATS**: TWO HORIZONTAL GRAB BARS SHALL BE INSTALLED ON THE BACK ONE SHALL BE LOCATED 33 INCHES MINIMUM AND 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE, AND THE OTHER SHALL BE LOCATED 8 INCHES MINIMUM AND 10 INCHES MAXIMUM ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE 48 INCHES LONG MINIMUM, AND SHALL BE INSTALLED 15 INCHES MAXIMUM FROM THE HEAD END WALL AND 12 INCHES MAXIMUM FROM THE CONTROL END WALL. A GRAB BAR 24 INCHES LONG MINIMUM SHALL BE INSTALLED ON THE CONTROL END WALL AT THE FRONT EDGE OF THE BATHTUB.

b. **AT BATHTUBS** WITH REMOVABLE SEATS: TWO HORIZONTAL GRAB BARS SHALL BE INSTALLED ON THE BACK ONE SHALL BE LOCATED 33 INCHES MINIMUM AND 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR MEASURED TO THE TOP OF THE GRIPPING SURFACE, AND THE OTHER SHALL BE LOCATED 8 INCHES MINIMUM AND 10 INCHES MAXIMUM ABOVE THE RIM OF THE BATHTUB. EACH GRAB BAR SHALL BE 24 INCHES LONG MINIMUM AND SHALL BE INSTALLED 24 INCHES MAXIMUM FROM THE HEAD END WALL AND 12 INCHES MAXIMUM FROM THE CONTROL END WALL. A GRAB BAR 24 INCHES LONG MINIMUM SHALL BE INSTALLED ON THE CONTROL END WALL AT THE FRONT EDGE OF THE BATHTUB. A GRAB BAR 12 INCHES LONG MINIMUM SHALL BE INSTALLED ON THE HEAD END WALL AT THE FRONT EDGE OF THE BATHTUB.

. FAUCETS AND CONTROLS (OTHER THAN DRAIN STOPPERS) SHALL BE LOCATED ON AN END WALL BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. (SECTION 1127A.5.2.4, FIGURE 11A-9F).

9. CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. (SECTION 1127A.5.2.4) 60. A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 59 INCHES LONG THAT CAN BE USED BOTH AS A

UNIT SHALL HAVE AN ON/OFF CONTROL WITH A NON-POSITIVE SHUT-OFF. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF THE GRAB (SECTION 1127A.5.2.5) 1. WHEN PROVIDED, ENCLOSURES FOR BATHTUBS SHALL NOT OBSTRUCT CONTROLS, FAUCETS, SHOWER AND SPRAY UNITS, OR OBSTRUCT TRANSFER FROM WHEELCHAIRS ONTO BATHTUB

SEATS OR INTO BATHTUBS, ENCLOSURES ON BATHTUBS SHALL NOT HAVE TRACKS INSTALLED ON

FIXED SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED. THE SHOWER SPRAY

**SHOWERS COMPARTMENTS** REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE FOLLOWING: (SECTION 1127A.5.3, FIGURES 11A-9H, 11A-9I, 11A-9J AND 11A-9K)

62. STANDARD ROLL-IN SHOWER COMPARTMENTS SHALL MEET ONE OF THE FOLLOWING:

THE RIM OF THE OPEN FACE OF THE BATHTUB. (SECTION 1127A.5.2.6).

a. 30 INCHES MINIMUM IN DEPTH AND 60 INCHES MINIMUM IN WIDTH BETWEEN WALL SURFACES MEASURED AT CENTER POINTS OF OPPOSING SIDES, WITH A FULL OPENING WIDTH ON THE LONG SIDE. A CLEAR FLOOR SPACE 30 INCHES MINIMUM BY 60 INCHES MINIMUM SHALL BE PROVIDED ADJACENT TO THE OPEN FACE OF THE SHOWER COMPARTMENT. b. 42 INCHES IN WIDTH BETWEEN WALL SURFACES, AND 48 INCHES MINIMUM IN DEPTH WITH AN ENTRANCE OPENING OF 42 INCHES.

63. ALTERNATE ROLL-IN SHOWER COMPARTMENTS SHALL BE 36 INCHES MINIMUM IN DEPTH AND 60 INCHES MINIMUM IN WIDTH BETWEEN WALL SURFACES MEASURED AT CENTER POINTS OF OPPOSING SIDES. A 36-INCH WIDE MINIMUM ENTRY SHALL BE PROVIDED AT ONE END OF THE LONG SIDE OF THE COMPARTMENT. 64. THRESHOLDS IN ROLL-IN SHOWER COMPARTMENTS SHALL BE 1/2 INCH MAXIMUM IN HEIGHT AND

SHALL BE BEVELED WITH A SLOPE NO GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (50-PERCENT SLOPE). (SEE FIGURE 11A-1F.) EXCEPTION: CHANGES IN LEVEL NOT EXCEEDING 1/4 INCH SHALL BE PERMITTED TO BE VERTICAL. (1127A.5.3.2)

65. ENCLOSURES, WHEN PROVIDED FOR SHOWER COMPARTMENTS, SHALL NOT OBSTRUCT CONTROLS, FAUCETS, SHOWER SPRAY UNITS, AND TRANSFER FROM WHEELCHAIRS ONTO SHOWER (1127A.5.3.3)

66. SHOWER COMPARTMENT FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT. THE MAXIMUM SLOPE OF THE FLOOR SHALL BE 1/4 INCH PER FOOT (2.083 PERCENT SLOPE) IN ANY DIRECTION. WHEN DRAINS ARE PROVIDED, GRATE OPENINGS SHALL BE 1/4 INCH MAXIMUM AND LOCATED FLUSH WITH THE FLOOR SURFACE. (1127A.5.3.4) 7. CONTROLS, FAUCETS AND SHOWER SPRAY UNITS IN SHOWER COMPARTMENTS SHALL BE

OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM. ALL CONTROLS AND FAUCETS SHALL BE OF A SINGLE-LEVER DESIGN.(1127A.5.3.5) 68. IN STANDARD ROLL-IN SHOWER COMPARTMENTS: (1127A.5.3.5.1)

a. OPERABLE PARTS OF CONTROLS AND FAUCETS SHALL BE INSTALLED ON THE BACK WALL OF THE COMPARTMENT ADJACENT TO THE SEAT WALL, 19 INCHES MINIMUM AND 27 INCHES MAXIMUM FROM THE SEAT WALL

b. OPERABLE PARTS OF CONTROLS AND FAUCETS SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48 INCHES ABOVE THE SHOWER FLOOR, WITH THEIR CENTERLINE AT 39 INCHES MINIMUM AND 41 INCHES MAXIMUM ABOVE THE SHOWER FLOOR. C. OPERABLE PARTS OF THE SHOWER SPRAY UNIT, INCLUDING THE HANDLE, SHALL BE INSTALLED ON THE BACK WALL ADJACENT TO THE SEAT WALL, 19 INCHES MINIMUM AND 27 INCHES MAXIMUM FROM THE SEAT WALL

d. OPERABLE PARTS OF THE SHOWER SPRAY UNIT, INCLUDING THE HANDLE, SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48 INCHES ABOVE THE SHOWER FLOOR (MEASURED TO THE TOP OF THE MOUNTING BRACKET).

9. IN ALTERNATE ROLL-IN SHOWER COMPARTMENTS: (1127A.5.3.6) a. OPERABLE PARTS OF CONTROLS AND FAUCETS SHALL BE INSTALLED ON THE SIDE WALL OF THE COMPARTMENT ADJACENT TO THE SEAT WALL, 19 INCHES MINIMUM AND 27 INCHES MAXIMUM FROM THE SEAT WALL.

b. OPERABLE PARTS OF CONTROLS AND FAUCETS SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48 INCHES ABOVE THE SHOWER FLOOR, WITH THEIR CENTERLINE AT 39 INCHES MINIMUM AND 41 INCHES MAXIMUM ABOVE THE SHOWER FLOOR. C. OPERABLE PARTS OF THE SHOWER SPRAY UNIT, INCLUDING THE HANDLE, SHALL BE

INSTALLED ON THE FOLLOWING LOCATIONS: i. ON THE SIDE WALL OF THE COMPARTMENT ADJACENT TO THE SEAT WALL, 17 INCHES

MINIMUM AND 19 INCHES MAXIMUM FROM THE SEAT WALL. ii. ON THE BACK WALL OPPOSITE THE SEAT, 15 INCHES MAXIMUM, LEFT OR RIGHT, OF THE CENTERLINE OF THE OPERABLE PARTS OF THE SHOWER SPRAY UNIT, INCLUDING THE HANDLE, SHALL BE LOCATED ABOVE THE GRAB BAR, BUT NO HIGHER THAN 48 INCHES ABOVE THE SHOWER FLOOR. (1127A.5.3.5.2)

d. A FLEXIBLE HAND-HELD SHOWER SPRAY UNIT WITH A HOSE AT LEAST 59 INCHES LONG THAT CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED. THE SHOWER SPRAY UNIT SHALL HAVE AN ON/OFF CONTROL WITH A ON-POSITIVE SHUT-OFF. IF AN ADJUSTABLE-HEIGHT SHOWER HEAD ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS. . WHEN ACCESSIBLE SHOWER FACILITIES ARE PROVIDED IN AREAS SUBJECT TO EXCESSIVE

VANDALISM, IN LIEU OF PROVIDING THE FIXED FLEXIBLE HOSE, TWO WALL-MOUNTED SHOWER HEADS SHALL BE INSTALLED. EACH SHOWER HEAD SHALL BE INSTALLED SO THAT IT CAN BE OPERATED INDEPENDENTLY OF THE OTHER AND SHALL HAVE SWIVEL ANGLE ADJUSTMENTS, BOTH VERTICALLY AND HORIZONTALLY. ONE SHOWER HEAD SHALL BE LOCATED AT A HEIGHT OF 48 INCHES MAXIMUM ABOVE THE FLOOR. (1127A.5.3.6.1)

1. A SEAT IN A STANDARD ROLL-IN SHOWER COMPARTMENT SHALL BE A FOLDING TYPE, INSTALLED ON THE SIDE WALL ADJACENT TO THE CONTROLS. THE SEAT SHALL EXTEND FROM THE BACK WALL TO A POINT WITHIN 3 INCHES OF THE COMPARTMENT A SEAT IN AN ALTERNATE ROLL-IN TYPE SHOWER COMPARTMENT SHALL BE A FOLDING TYPE, INSTALLED ON THE FRONT WALL OPPOSITE THE BACK WALL, AND SHALL EXTEND FROM THE ADJACENT SIDE WALL TO A POINT WITHIN 3 INCHES OF THE COMPARTMENT ENTRY.

72. SHOWER COMPARTMENT SEATS SHALL COMPLY WITH SECTION 1127A.4.4 AND SHALL BE LOCATED WITHIN 27 INCHES OF THE SHOWER CONTROLS. THE TOP OF THE SEAT SHALL BE 17 INCHES MINIMUM AND 19 INCHES MAXIMUM ABOVE THE BATHROOM FINISH FLOOR. WHEN FOLDED, THE SEAT SHALL NOT EXTEND MORE THAN 6 INCHES FROM THE MOUNTING WALL. (1127A.5.3.7)

73. THE REAR EDGE OF A RECTANGULAR SEAT SHALL BE 2½ INCHES MAXIMUM FROM THE SEAT WALL. THE FRONT EDGE OF A RECTANGULAR SEAT SHALL BE 15 INCHES MINIMUM AND 16 INCHES MAXIMUM FROM THE SEAT WALL. THE SIDE EDGE OF THE SEAT SHALL BE 11/2 INCHES MAXIMUM FROM THE ADJACENT WALL. (1127A.5.3.7.1)

I. THE REAR EDGE OF AN L-SHAPED SEAT SHALL BE 2 % INCHES MAXIMUM FROM THE SEAT WALL. THE FRONT EDGE OF AN L-SHAPED SEAT SHALL BE 15 INCHES MINIMUM AND 16 INCHES MAXIMUM FROM THE SEAT WALL. THE REAR EDGE OF THE "L" PORTION OF THE SEAT SHALL BE 1½ INCHES MAXIMUM FROM THE WALL. THE FRONT EDGE SHALL BE 14 INCHES MINIMUM AND 15 INCHES MAXIMUM FROM THE THE END OF THE "L" SHALL BE 22 INCHES MINIMUM AND 23 INCHES MAXIMUM FROM THE MAIN SEAT WALL.(1127A.5.3.7.2)

5. ACCESSIBLE SHOWER COMPARTMENTS SHALL BE PROVIDED WITH GRAB BARS, INSTALLED IN ACCORDANCE WITH SECTION 1127A.5.3.8.1 OR SECTION 1127A.5.3.8.2. GRAB BARS SHALL ALSO COMPLY WITH SECTION 1127A.4.

76. WHEN MULTIPLE GRAB BARS ARE USED, REQUIRED HORIZONTAL GRAB BARS SHALL BE INSTALLED AT THE SAME HEIGHT ABOVE THE FINISH FLOOR. WHEN SEPARATE GRAB BARS ARE REQUIRED ON ADJACENT WALLS AT A COMMON MOUNTING HEIGHT, L SHAPED OR U-SHAPED GRAB BARS MEETING THE DIMENSIONAL REQUIREMENTS OF SECTION 1127A.5.3.8.1 OR SECTION 1127A.5.3.8.2 SHALL BE PERMITTED. SEE (1127A.5.3.8)

77. IN STANDARD ROLL-IN SHOWER COMPARTMENTS, GRAB BARS SHALL BE INSTALLED ON THE BACK WALL AND ON THE SIDE WALL OPPOSITE THE SEAT. GRAB BARS ABOVE THE SEAT ARE NOT PERMITTED. GRAB BARS SHALL BE INSTALLED 6 INCHES MAXIMUM FROM ADJACENT WALLS. (1127A.5.3.8.1)

78. IN ALTERNATE ROLL-IN SHOWER COMPARTMENTS, GRAB BARS SHALL BE INSTALLED ON THE BACK WALL AND THE SIDE WALL FARTHEST FROM THE COMPARTMENT ENTRY, GRAB BARS ABOVE THE SEAT ARE NOT PERMITTED. GRAB BARS SHALL BE INSTALLED 6 INCHES MAXIMUM FROM ADJACENT WALLS. (1127A.5.3.8.2) 79. WHEN A SOAP DISH IS PROVIDED, IT SHALL BE LOCATED ON THE CONTROL WALL AT A

MAXIMUM HEIGHT OF 40 INCHES ABOVE THE SHOWER FLOOR, AND WITHIN THE REACH LIMITS FROM THE SEAT. (1127A.5.3.9) 80. WHEN NO SEPARATE SHOWER COMPARTMENTS ARE PROVIDED, THE SHOWER FOR PERSONS WITH DISABILITIES SHALL BE LOCATED IN A CORNER WITH L-SHAPED GRAB BARS EXTENDING ALONG TWO ADJACENT WALLS WITH A FOLDING SEAT ADJACENT TO THE SHOWER CONTROLS.(1127A.5.3.10)

81. WHEN TWO OR MORE ACCESSIBLE SHOWERS ARE PROVIDED WITHIN THE SAME FUNCTIONAL AREA, THERE SHALL BE AT LEAST ONE SHOWER CONSTRUCTED OPPOSITE HAND FROM THE OTHER OR OTHERS (I.E., ONE LEFT-HAND CONTROL VERSUS RIGHT-HAND CONTROLS). (1127A.5.3.11)

82. WHERE LOCKERS ARE PROVIDED FOR RESIDENTS OR GUESTS, AT LEAST ONE LOCKER AND NOT LESS THAN 1 PERCENT OF ALL LOCKERS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES. AN ACCESSIBLE ROUTE NOT LESS THAN 36 INCHES IN CLEAR WIDTH SHALL BE PROVIDED TO THESE LOCKERS. SEE SECTION 1138A FOR REQUIRED CLEAR SPACE, ALLOWABLE REACH RANGES AND REQUIREMENTS FOR CONTROL AND OPERATING MECHANISMS. (1127A.6.1)

83. ALL ACCESSIBLE TOILET AND BATHING FACILITIES SHALL BE IDENTIFIED BY THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY." SIGNS NEED NOT BE PROVIDED FOR FACILITIES WITHIN A DWELLING UNIT OR GUESTROOM. (1127A.7.1)

84. DOORWAYS LEADING TO SANITARY FACILITIES (TOILET OR BATHING ROOMS) SHALL BE IDENTIFIED BY A GEOMETRIC SYMBOL IN COMPLIANCE WITH THIS SECTION. GEOMETRIC SYMBOLS SHALL BE CENTERED HORIZONTALLY ON THE DOOR AT A HEIGHT OF 58 INCHES MINIMUM AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR MEASURED TO THE CENTER OF THE SYMBOL. WHEN A DOOR IS PROVIDED, THE SYMBOL SHALL BE MOUNTED WITHIN 1 INCH OF THE VERTICAL CENTERLINE OF THE DOOR. DIRECTIONAL SIGNS INDICATING THE LOCATION OF THE NEAREST ACCESSIBLE TOILET OR BATHING ROOMS SHALL BE PROVIDED. SUCH DIRECTIONAL SIGNS SHALL COMPLY WITH SECTION 1143.5 AND SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. EDGES OF ACCESSIBILITY SIGNAGE SHALL BE ROUNDED, CHAMFERED OR CORNERS SHALL HAVE A MINIMUM RADIUS OF 1/8 SEE SECTION 1143A FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES. (1127A.7.2)

85. MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, 1/4 INCH THICK WITH EDGES 12 INCHES LONG AND A VERTEX POINTING UPWARD. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. (1127A.7.2.1)

86. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 1/4 INCH THICK AND 12 INCHES IN DIAMETER. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. (1127A.7.2.2) 87. UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, INCH THICK AND 12 INCHES IN DIAMETER WITH A 1/4 INCH THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12-INCH DIAMETER. THE TRIANGLE SYMBOL SHALL CONTRAST WITH THE CIRCLE SYMBOL, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. THE CIRCLE SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND. (1127A.7.2.3)

TOILET ROOM FIXTURES AND ACCESSORIES:

88. WHERE TOWEL, SANITARY NAPKINS, WASTE RECEPTACLES, AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40 INCHES FROM THE FINISHED FLOOR. CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH SECTION 1138A.4. (1127A.8.1) 89. TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL OR PARTITION CLOSEST TO THE

WATER CLOSET, 7 INCHES MINIMUM AND 9 INCHES MAXIMUM IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER. THE OUTLET OF THE DISPENSER SHALL BE BELOW THE GRAB BAR, 19 INCHES (MINIMUM ABOVE THE FINISH FLOOR. THE OUTLET OF THE DISPENSER SHALL NOT BE LOCATED BEHIND GRAB BARS. DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW. (SEE FIGURE 11A-9B.). (1127A.8.2)

90. WHERE MIRRORS ARE PROVIDED, AT LEAST ONE SHALL BE ACCESSIBLE. MIRRORS LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR. MIRRORS NOT LOCATED ABOVE LAVATORIES OR COUNTERTOPS SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 35 INCHES MAXIMUM ABOVE THE FINISH FLOOR. (1127A.8.3)

COMMON ACCESSIBLE LAUNDRY ROOMS:

91. WHERE COMMON USE LAUNDRY ROOMS ARE PROVIDED, AT LEAST ONE OF EACH TYPE OF APPLIANCE PROVIDED IN EACH LAUNDRY AREA SHALL BE ACCESSIBLE, SHALL BE ON AN ACCESSIBLE ROUTE, AND SHALL COMPLY WITH THIS SECTION. SUCH APPLIANCES INCLUDE CLOTHES WASHING MACHINES, DRYERS, SOAP DISPENSERS, AND ANY RELATED FEATURES SUCH AS WASH SINKS, TABLES, AND STORAGE AREAS. WHERE LAUNDRY ROOMS ARE PROVIDED ON FLOORS OF AN ELEVATOR BUILDING, EACH LAUNDRY ROOM SHALL BE ACCESSIBLE. WHERE THERE IS ONE LAUNDRY ROOM ON A GROUND FLOOR IN EACH BUILDING, EACH LAUNDRY ROOM SHALL BE ACCESSIBLE. WHERE THERE IS A LAUNDRY ROOM ON THE GROUND FLOOR OF A BUILDING AND ANOTHER LOCATED IN THE BASEMENT, IT IS ACCEPTABLE TO HAVE ONLY THE GROUND FLOOR LAUNDRY ROOM ACCESSIBLE. (1127A.10.1)

92. THERE SHALL BE A MINIMUM CLEAR SPACE 30 INCHES PERPENDICULAR BY 48 INCHES PARALLEI IN FRONT OF CLOTHES WASHERS AND DRYERS REQUIRED TO BE ACCESSIBLE. THERE SHALL BE A MINIMUM CLEAR SPACE 30 INCHES BY 48 INCHES PROVIDED FOR AT LEAST ONE OF EACH TYPE OF FIXTURE OR APPLIANCE PROVIDED IN THE LAUNDRY ROOM (E.G. SOAP DISPENSERS, WASH

SINKS, TABLES, STORAGE AREAS). (1127A.10.2) 93. CLOTHES WASHERS AND DRYERS INCLUDING STACKED CLOTHES WASHERS AND DRYERS REQUIRED TO BE ACCESSIBLE SHALL HAVE CONTROLS AND OPERATING MECHANISMS (INCLUDING DOORS, COIN SLOTS, LINT SCREENS, DETERGENT AND BLEACH COMPARTMENTS) WITHIN THE REACH RANGE OF A SEATED CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED NO HIGHER THAN 48 INCHES, AND NO LOWER THAN 15 INCHES, ABOVE THE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, WASHER OR DRYER), OPERATING MECHANISMS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. CONTROLS AND OPERATING MECHANISMS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE, PROVIDED THAT COMPARABLE MECHANISMS, CONTROLS OR OUTLETS THAT PERFORM THE SAME FUNCTIONS ARE PROVIDED

WITHIN THE SAME AREA AND ARE ACCESSIBLE. 94. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN 5 POUNDS. (1127A.10.3)

95. WASHING MACHINES AND CLOTHES DRYERS. WASHING MACHINES AND CLOTHES DRYERS IN ACCESSIBLE COMMON USE LAUNDRY ROOMS SHALL BE FRONT LOADING. 96. THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT SHALL BE LOCATED 15 INCHES MINIMUM AND 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR. (1127A.10.4)

STORAGE:

97. IF FIXED STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS OR DRAWERS ARE PROVIDED WHERE ACCESS IS REQUIRED BY SECTIONS 1.8.2.1.2 AND 1102A, AT LEAST ONE OF EACH TYPE OF FACILITY PROVIDED SHALL COMPLY WITH THIS SECTION. ADDITIONAL STORAGE MAY BE PROVIDED OUTSIDE OF THE REACH RANGES SPECIFIED IN SECTION 1138A.3. (1127A.11.1)

98. A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES COMPLYING WITH SECTION 1138A.1.4 THAT ALLOWS EITHER A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT ACCESSIBLE STORAGE FACILITIES. (1127A.11.2) 99. ACCESSIBLE STORAGE SPACES AND CLOTHES RODS SHALL BE WITHIN AT LEAST ONE OF THE REACH RANGES SPECIFIED IN SECTION 1138A.3. (SEE FIGURE 11A-1J AND FIGURE 11A-1I.)

100. HARDWARE FOR ACCESSIBLE STORAGE FACILITIES SHALL COMPLY WITH SECTION 1138A.4. TOUCH LATCHES AND U-SHAPED PULLS ARE ACCEPTABLE. (1127A.11.4)

FIXED OR BUILD-IN SEATING, TABLES, AND COUNTERS 101. WHERE FIXED OR BUILT-IN SEATING, TABLES, OR COUNTERS ARE PROVIDED FOR RESIDENTS OR

GUESTS, 5 PERCENT, BUT NOT LESS THAN ONE, SHALL BE ACCESSIBLE AS PROVIDED IN THIS SECTION. (1127A.12.1) 102. WHEN SEATING SPACES FOR PERSONS IN WHEELCHAIRS ARE PROVIDED AT FIXED TABLES OR COUNTERS, CLEAR FLOOR SPACE COMPLYING WITH SECTION 1138A.1.4 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. SUCH CLEAR FLOOR SPACE SHALL NOT OVERLAP

THE REQUIRED KNEE AND TOE SPACE BY MORE THAN 19 INCHES. SEE FIGURE 11A-1K. 103. WHEN SEATING FOR PERSONS IN WHEELCHAIRS IS PROVIDED AT FIXED TABLES OR COUNTERS. KNEE AND TOE SPACE COMPLYING WITH SECTION 1138A.2 SHALL BE PROVIDED. SEE FIGURE

11A-1K. (1127A.12.3) 104. THE TOPS OF TABLES AND COUNTERS SHALL BE 28 INCHES TO 34 INCHES FROM THE FINISH FLOOR. (1127A.12.4)

#### DIVISION IV – DWELLING UNIT FEATURES

. AN ACCESSIBLE ROUTE SHALL BE PROVIDED THROUGH ALL ROOMS AND SPACES OF THE DWELLING UNIT. THE ACCESSIBLE ROUTE SHALL PASS THROUGH THE PRIMARY ENTRY DOOR, AND SHALL CONNECT WITH ALL ADDITIONAL EXTERIOR DOORS, REQUIRED CLEAR FLOOR SPACES AT KITCHEN APPLIANCES, AND BATHROOM FIXTURES. FOR THE PURPOSE OF THIS SECTION, "ACCESSIBLE ROUTES" MAY INCLUDE HALLWAYS, CORRIDORS, AND RAMPS. (1130A.1) 2. THE ACCESSIBLE ROUTE INTO AND THROUGHOUT COVERED MULTIFAMILY DWELLING UNITS SHALL BE AT LEAST 36 INCHES (1130A.2)

#### CHANGES IN LEVEL ON ACCESSIBLE ROUTES

3. ABRUPT CHANGES IN LEVEL ALONG AN Y ACCESSIBLE ROUTE SHALL NOT EXCEED ½ INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50% SLOPE). CHANGES IN LEVEL NOT EXCEEDING 1/4 INCH MAY BE VERTICAL. (1131A.1)

4. CHANGES IN LEVEL GREATER THAN ½ INCH SHALL BE MADE BY MEANS OF A RAMP, ELEVATOR OR PLATFORM (WHEELCHAIR) SEE SECTION 1122A FOR RAMPS AND SECTION 1124A.11 FOR SPECIAL ACCESS LIFTS. (1131A.2)

#### DOORS

5. THE WIDTH AND HEIGHT OF PRIMARY ENTRY DOORS AND ALL REQUIRED EXIT DOORS SHALL COMPLY WITH SECTION 1126A.1. THE REQUIREMENTS OF SECTIONS 1126A.3 SHALL APPLY TO MANEUVERING CLEARANCES AT THE SIDE OF THE DOOR EXPOSED TO COMMON OR PUBLIC USE SPACES (E.G., ENTRY OR EXIT DOORS WHICH OPEN FROM THE COVERED MULTIFAMILY DWELLING UNIT INTO A CORRIDOR, HALLWAY OR LOBBY, OR DIRECTLY TO THE OUTSIDE).

. EXCEPT AS ALLOWED BY SECTION 1109A.2, INTERIOR DOORS INTENDED FOR USER PASSAGE AND SECONDARY EXTERIOR DOORS SHALL COMPLY WITH THIS SECTION. THE PROVISIONS OF THIS SECTION SHALL APPLY TO THE DWELLING UNIT SIDE OF DOORS LEADING FROM THE INTERIOR OF THE DWELLING UNIT TO AN UNFINISHED BASEMENT OR AN ATTACHED GARAGE.

. DOORS SHALL COMPLY WITH THE FOLLOWING: (1132A.3) a. DOORS SHALL NOT BE LESS THAN 6 FEET 8 INCHES IN HEIGHT. b. SWINGING DOORS SHALL PROVIDE A NET CLEAR OPENING WIDTH OF NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR OR DOORS POSITIONED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION. A 34-INCH DOOR IS ACCEPTABLE. THE PRIMARY ENTRY DOOR AND ALL REQUIRED EXIT DOORS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1126A.1. C. SWINGING DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES

d. A NOMINAL 32-INCH CLEAR OPENING PROVIDED BY A STANDARD 6-FOOT WIDE SLIDING PATIO DOOR ASSEMBLY IS ACCEPTABLE. e. A PAIR OF DOORS, MANUAL OR AUTOMATIC, MUST HAVE AT LEAST ONE LEAF WHICH PROVIDES A CLEAR WIDTH OF NOT LESS THAN 32 INCHES, MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.

THE MINIMUM WIDTH REQUIRED BY SECTION 1005.

COMPLY WITH SECTION 1131A.

8. THE FLOOR OR LANDING ON EACH SIDE OF A DOOR SHALL BE PRIMARY ENTRY DOORS, REQUIRED EXIT DOORS, OR SECONDARY EXTERIOR DOORS WITH CHANGES IN HEIGHT BETWEEN THE INTERIOR SURFACE OR FLOOR LEVEL AND THE EXTERIOR SURFACE OR FLOOR LEVEL SHALL COMPLY WITH THE FOLLOWING: (1132A.4)

f. THE WIDTH OF ANY COMPONENT IN THE MEANS OF EGRESS SYSTEM SHALL NOT BE LESS THAN

a. EXTERIOR LANDINGS OF IMPERVIOUS CONSTRUCTION (E.G., CONCRETE, BRICK, FLAGSTONE) SERVING PRIMARY ENTRY DOORS AND REQUIRED EXIT DOORS ARE LIMITED TO NOT MORE THAN ½ INCH OF CHANGE IN HEIGHT BETWEEN FLOOR SURFACES. CHANGES IN LEVEL SHALL

b. EXTERIOR LANDINGS OF PERVIOUS CONSTRUCTION (E.G., WOOD DECKING WITH SPACES) SHALL BE THE SAME LEVEL AS THE INTERIOR LANDING, EXCEPT THAT SECONDARY EXTERIOR DOORS MAY HAVE NO MORE THAN INCH OF CHANGE IN HEIGHT BETWEEN FLOOR SURFACES. CHANGES IN LEVEL SHALL COMPLY WITH SECTION 1131A. c. SECONDARY EXTERIOR DOORS ONTO DECKS, PATIOS, OR BALCONY SURFACES CONSTRUCTED OF IMPERVIOUS MATERIALS (E.G., CONCRETE, BRICK, FLAGSTONE) MAY HAVE A MAXIMUM CHANGE IN HEIGHT FROM THE INTERIOR LANDING OF 4 INCHES. CHANGES IN HEIGHT GREATER THAN ½ INCH SHALL BE ACCOMPLISHED BY MEANS OF A RAMP COMPLYING WITH SECTION 1114A OR BY MEANS OF A PLATFORM CONSTRUCTED TO THE

LEVEL OF THE FLOOR AS ILLUSTRATED IN FIGURE 11A-8J. d. SECONDARY EXTERIOR DOORS ONTO DECKS, PATIOS OR BALCONY SURFACES CONSTRUCTED OF IMPERVIOUS MATERIALS (E.G., CONCRETE, BRICK, FLAGSTONE) MAY HAVE A MAXIMUM CHANGE IN HEIGHT FROM THE INTERIOR LANDING OF 1 INCH, PROVIDED A RAMP WITH MAXIMUM SLOPE OF 1:8 IS PERMANENTLY INSTALLED. (SEE FIGURE 11A-8K). e. IN BUILDINGS CONTAINING COVERED MULTIFAMILY DWELLING UNITS, THE FLOOR OR LANDING IMMEDIATELY OUTSIDE THE ENTRY MAY BE SLOPED UP TO 1/4 INCH PER FOOT (12 INCHES), IN A DIRECTION AWAY FROM THE PRIMARY ENTRANCE OF THE DWELLING UNIT

P. THRESHOLDS AT THE PRIMARY ENTRY AND REQUIRED EXIT DOORS SHALL BE NO HIGHER THAN ½ INCH. THRESHOLDS AT SECONDARY EXTERIOR DOORS, INCLUDING SLIDING DOOR TRACKS, SHALL BE NO HIGHER THAN 3/4 INCH. CHANGES IN HEIGHT AT INTERIOR DOOR THRESHOLDS (E.G. FLOOR MATERIAL CHANGES AT DOOR THRESHOLDS) SHALL NOT EXCEED ½ INCH. THRESHOLDS SHALL COMPLY WITH THE FOLLOWING: (1132A.4.1)

a. THRESHOLDS WITH A CHANGE IN HEIGHT OF NOT MORE THAN 1/4 INCH MAY BE VERTICAL. b. THRESHOLDS WITH A CHANGE IN HEIGHT BETWEEN 1/4 INCH AND 3/4 INCH SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50-PERCENT SLOPE).

10. MANEUVERING CLEARANCES AT INTERIOR DOORS SHALL PROVIDE A MINIMUM LENGTH ON BOTH SIDES OF THE DOOR OF AT LEAST 42 INCHES MEASURED AT A RIGHT ANGLE TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. (1132A.5.1) a. A 39 INCH LENGTH IS ACCEPTABLE WHEN A MINIMUM CLEAR OPENING WIDTH OF 34 INCHES

b. THE FLOOR OR LANDING ON THE DWELLING UNIT SIDE OF THE PRIMARY ENTRY DOOR AND ANY REQUIRED EXIT DOOR SHALL HAVE A MINIMUM LENGTH OF NOT LESS THAN 44 SECTION 1126A.3 SHALL APPLY TO MANEUVERING CLEARANCES AT THE SIDE OF THE DOOR EXPOSED TO COMMON OR PUBLIC USE SPACES.

11. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 18 INCHES PAST THE STRIKE EDGE FOR ALL DOORS. THE WIDTH OF THE LEVEL AREA AT THE EXTERIOR SIDE OF THE PRIMARY ENTRY DOOR AND ANY REQUIRED EXIT DOORS SHALL COMPLY WITH SECTION 1126A. (1132A.5.2)

12. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8½ POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THESE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENFORCEMENT

AGENCY, NOT TO EXCEED 15 POUNDS. (1132A.6) 13. THE TYPE OF LATCH AND LOCK REQUIRED FOR ALL DOORS SHALL BE IN ACCORDANCE WITH

SECTION 1132A.8 AND CHAPTER 10, SECTION 1008. (1132A.7) 14. HAND-ACTIVATED DOOR LATCHING, LOCKING, AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE CONSISTENT WITH SECTION 1132A.6, IN THE DIRECTION OF EGRESS. (1132A.8)

15. THE LEVER OR LEVER OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN ½ INCH OF THE DOOR TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS IN GROUP R AND U OCCUPANCIES WITH AN OCCUPANT LOAD GREATER THAN 10.

16. THE BOTTOM 10 INCHES OF ALL DOORS SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10 INCH HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. (1132A.9) EXCEPTION: AUTOMATIC AND SLIDING DOORS.

17. EVERY PRIMARY ENTRANCE TO A COVERED MULTIFAMILY DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME OR EQUIVALENT. THE ACTIVATING MECHANISM SHALL BE MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR AND CONNECTED TO PERMANENT WIRING. (1132A.10)

#### **KITCHENS**

WALL AS FOLLOWS: (1133A.2.1)

INCHES. SEE FIGURE 11A-10A.

18. KITCHENS SHALL BE ON AN ACCESSIBLE ROUTE.(1133A.1) 19. CLEAR FLOOR SPACE AT KITCHENS SHALL COMPLY WITH THE FOLLOWING (1133A.2): a. A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES THAT ALLOWS A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT THE RANGE OR

COOK-TOP. b. A CLEAR FLOOR SPACE AT LEAST 30 INCHES BY 48 INCHES THAT ALLOWS EITHER A PARALLEL OR FORWARD APPROACH SHALL BE PROVIDED AT THE KITCHEN SINK AND ALL OTHER FIXTURES OR APPLIANCES INCLUDING THE OVEN, DISHWASHER, REFRIGERATOR/FREEZER AND TRASH COMPACTOR.

OR FORWARD APPROACH SHALL BE ALIGNED WITH THE CENTERLINE OF THE APPLIANCE OR FIXTURE. SEE FIGURE 11A-10A. 20. KITCHENS SHALL HAVE A MINIMUM CLEAR WIDTH MEASURED BETWEEN ANY CABINET, COUNTERTOP, OR THE FACE OF ANY APPLIANCE (EXCLUDING HANDLES AND CONTROLS) THAT

PROJECTS INTO THE KITCHEN AND THE OPPOSING CABINET, COUNTERTOP, APPLIANCE, OR

C. THE CENTERLINE OF THE 30 INCH BY 48 INCH CLEAR FLOOR SPACE PROVIDED FOR PARALLEL

a. U-SHAPED KITCHENS, DESIGNED WITH PARALLEL APPROACH AT A RANGE OR COOKTOP LOCATED AT THE BASE OF THE U, SHALL HAVE A MINIMUM CLEAR WIDTH OF AT LEAST 60 INCHES. SEE FIGURE11A-10A. b. U-SHAPED KITCHENS, DESIGNED WITH A COOKTOP OR SINK LOCATED AT THE BASE OF THE U, WHICH PROVIDES KNEE AND TOE SPACE IN ACCORDANCE WITH SECTION 1133A.7 TO ALLOW FOR A FORWARD APPROACH, SHALL HAVE A CLEAR WIDTH OF AT LEAST 48 INCHES. SEE FIGURE 11A-10A.

21. BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR SPECIALIZED KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FINISH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE

(1133A.3) 22. KITCHEN COUNTERTOPS SHALL BE PROVIDED WITH THE FOLLOWING: (1133A.4) a. A MINIMUM LINEAR LENGTH OF 30 INCHES OF COUNTERTOP SHALL BE PROVIDED FOR THE KITCHEN SINK INSTALLATION. b. A MINIMUM LINEAR LENGTH OF 30 INCHES OF COUNTERTOP SHALL BE PROVIDED FOR A

WORK SURFACE. c. THE SINK AND WORK SURFACE MAY BE A SINGLE INTEGRAL UNIT A MINIMUM OF 60 INCHES IN LENGTH, OR BE SEPARATE COMPONENTS.

EXCEPTION: TWO 15-INCH MINIMUM WIDTH BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30 INCHES OF COUNTERTOP WORK SURFACE.

23. REPOSITIONABLE COUNTERTOPS SHALL BE PROVIDED IN A MINIMUM OF FIVE PERCENT OF THE COVERED MULTIFAMILY DWELLING UNITS. REPOSITIONABLE COUNTERTOPS SHALL COMPLY WITH THE FOLLOWING: (1133A.4.1) a. THE KITCHEN SINK AND WORK SURFACE SPACE REQUIRED BY 1133A.4 SHALL BE DESIGNED TO

ENABLE REPOSITIONING TO A MINIMUM HEIGHT OF 28 INCHES b. BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA AND WORK SURFACE SHALL BE REMOVABLE AS REQUIRED IN SECTION 1133A.3.

C. THE SIDES OF ADJACENT CABINETS AND THE BACK WALL, WHICH MAY BECOME EXPOSED TO MOISTURE OR FOOD HANDLING WHEN A COUNTERTOP IS LOWERED, SHALL BE CONSTRUCTED OF DURABLE, NONABSORBENT MATERIALS APPROPRIATE FOR SUCH USES. d. FINISHED FLOORING SHALL BE EXTENDED TO THE WALL BENEATH THE SINK AND WORK

i. STONE, CULTURED STONE AND TILED COUNTERTOPS MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS. ii. TWO 15-INCH MINIMUM WIDTH BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30 INCHES OF COUNTERTOP WORK SURFACE.

24. LOWER SHELVING AND/OR DRAWER SPACE SHALL BE PROVIDED IN THE KITCHEN AT A HEIGHT

OF NO MORE THAN 48 INCHES ABOVE THE FLOOR. (1133A.5 25. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND FORCE. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. (1133A.6)

26. KNEE AND TOE SPACE, WHEN REQUIRED BY SECTION 1133A, SHALL COMPLY WITH THE FOLLOWING: (1133A.7) a. THE KNEE AND TOE SPACE SHALL BE CLEAR AND UNOBSTRUCTED, OR REMOVABLE BASE CABINETS IN COMPLIANCE WITH SECTION 1133A.3 SHALL BE PROVIDED. b. THE KNEE AND TOE SPACE SHALL BE 30 INCHES WIDE MINIMUM, CENTERED ON THE SINK,

COUNTERTOP OR APPLIANCE. c. THE KNEE SPACE SHALL BE AT LEAST 27 INCHES ABOVE THE FINISH FLOOR. d. THE KNEE SPACE SHALL BE 11 INCHES DEEP MINIMUM AT 9 INCHES ABOVE THE FINISH FLOOR, AND 8 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR, MEASURED FROM THE FRONT EDGE.

d. A CLEAR FLOOR SPACE SHALL NOT EXTEND INTO THE KNEE AND TOE SPACE MORE THAN 27. WATER SUPPLY AND DRAIN PIPES UNDER KITCHEN SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER KITCHEN SINKS.

e. THE TOE SPACE SHALL BE AT LEAST 9 INCHES ABOVE THE FINISH FLOOR.

#### BATHING AND TOILET FACILITIES

**EXCEPTIONS:** 

(1133A.7.1)

28. ALL BATHROOMS , BATHING AND TOILET FACILITIES WITHIN COVERED MULTIFAMILY DWELLING

UNITS SHALL COMPLY WITH SECTION 1134A.1. 29. THE NUMBER OF COMPLIANT BATHROOMS SHALL BE DESIGNED TO COMPLY WITH ONE OF THE TWO ALLOWABLE OPTIONS PER SECTION 1134A.2. OPTION 1 REQUIRES ALL BATHROOMS WITHIN THE DWELLING UNIT TO BE DESIGNED TO MINIMUM REQUIREMENTS. OPTION 2 REQUIRES ONE BATHROOM WITHIN THE DWELLING UNIT TO COMPLY WITH THE FOLLOWING: a. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4. b. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5. c. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.

d. WATER CLOSETS SHALL COMPLY WITH SECTION 1134A.7. e. LAVATORIES, VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH 1134A.8. f. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE. ADDITIONAL REQUIREMENTS APPLY TO DWELLING UNITS CONTAINING TWO OR MORE BATHROOMS WHEN A BATHTUB IS PROVIDED AS THE ACCESSIBLE BATHING

g. WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHTUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHTUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A. (SEE SECTION 1134A.5 FOR BATHTUBS, OR SECTION 1134A.6 FOR SHOWERS.) h. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE

ACCESSIBLE AND COMPLY WITH SECTION 1134A.8. i. BATHROOMS SHALL BE PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE j. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132A.5. k. A MINIMUM 18 INCH CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING SIDE OF THE DOOR AT THE STRIKE EDGE OF THE DOOR.

I. SWITCHES, OUTLETS, AND CONTROLS SHALL COMPLY WITH SECTION 1142A. m. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB, AND SHOWER SHALL COMPLY WITH SECTIONS 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSETS. GRAB BARS SHALL COMPLY WITH SECTION 1127A.4.

NOTE: WHEN OPTION 2 IS USED, ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS H) THROUGH L)ABOVE.

30. ALL POWDER ROOMS SHALL BE DESIGNED TO COMPLY WITH SECTION 1134A.2, OPTION 2, ITEMS H) THROUGH L). WHEN THE POWDER ROOM IS THE ONLY TOILET FACILITY LOCATED ON AN ACCESSIBLE LEVEL, IT SHALL COMPLY WITH THE OPTION 2 ITEMS LISTED ABOVE, PLUS ALL ADDITIONAL REQUIREMENTS LOCATED IN SECTIONS 1134A.4, 1134A.7 AND 1134A.8. (1134A.3)

31. BATHING AND TOILET FACILITIES REQUIRED TO BE ADAPTABLE SHALL PROVIDE SUFFICIENT MANEUVERING SPACE FOR A PERSON USING A WHEELCHAIR OR OTHER MOBILITY AID TO ENTER AND CLOSE THE DOOR, USE THE FIXTURES, REOPEN THE DOOR AND EXIT. WHERE THE DOOR SWINGS INTO THE BATHROOM OR POWDER ROOM, THERE SHALL BE A CLEAR MANEUVERING SPACE OUTSIDE THE SWING OF THE DOOR OF AT LEAST 30 INCHES BY 48 INCHES WITHIN THE ROOM. THE CLEAR MANEUVERING SPACE SHALL ALLOW THE USER TO POSITION A WHEELCHAIR OR OTHER MOBILITY AID CLEAR OF THE PATH OF THE DOOR AS IT IS CLOSED AND TO PERMIT USE OF FIXTURES. DOORS MAY SWING INTO THE REQUIRED CLEAR SPACE AT ANY FIXTURE WHEN A CLEAR MANEUVERING SPACE IS PROVIDED OUTSIDE THE SWING ARC OF THE DOOR SO IT CAN BE CLOSED. MANEUVERING SPACES MAY INCLUDE ANY KNEE SPACE OR TOE SPACE AVAILABLE BELOW BATHROOM FIXTURES. (1134A.4)

32. **BATHTUBS** REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE FOLLOWING: (1134A.5) a. THERE SHALL BE A MINIMUM CLEAR FLOOR SPACE 48 INCHES PARALLEL BY 30 INCHES PERPENDICULAR TO THE SIDE OF A BATHTUB OR BATHTUB-SHOWER COMBINATION (MEASURED FROM THE FOOT OR DRAIN END OF THE BATHTUB) TO PROVIDE FOR THE MANEUVERING OF A WHEELCHAIR AND TRANSFER TO AND FROM THE BATHING FACILITIES. THE AREA UNDER A LAVATORY MAY BE INCLUDED IN THE CLEAR FLOOR SPACE PROVIDED THE KNEE AND TOE SPACE COMPLY WITH SECTION 1134A.8. CABINETS UNDER LAVATORIES AND TOILETS SHALL NOT ENCROACH INTO THE CLEAR FLOOR SPACE. b. A BATHTUB INSTALLED WITHOUT SURROUNDING WALLS SHALL PROVIDE REINFORCED AREAS

FOR THE INSTALLATION OF FLOOR-MOUNTED GRAB BARS. WHERE A BATHTUB IS INSTALLED WITH SURROUNDING WALLS, GRAB BAR REINFORCEMENT SHALL BE LOCATED ON EACH END OF THE BATHTUB, 32 INCHES TO 38 INCHES ABOVE THE FLOOR, EXTENDING A MINIMUM OF 24 INCHES FROM THE FRONT EDGE OF THE BATHTUB TOWARD THE BACK WALL OF THE BATHTUB. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT. SEE FIGURE 11A-9G. GRAB BAR REINFORCEMENT SHALL BE INSTALLED ON THE BACK WALL OF THE BATHTUB A MAXIMUM OF 6 INCHES ABOVE THE BATHTUB RIM EXTENDING UPWARD TO AT LEAST 38 INCHES ABOVE THE GRAB BAR BACKING SHALL BE INSTALLED HORIZONTALLY TO PERMIT THE INSTALLATION OF A 48-INCH GRAB BAR WITH EACH END A MAXIMUM OF 6 INCHES FROM THE END WALLS OF THE BATHTUB. THE GRAB BAR REINFORCEMENT SHALL BE A

MINIMUM OF 6 INCHES NOMINAL IN HEIGHT. C. FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND-FORCE. LEVER OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS.

d. A SHOWER SPRAY UNIT IS NOT REQUIRED IN BATHTUBS. e. DOORS AND PANELS OF BATHTUB ENCLOSURES SHALL BE SUBSTANTIALLY CONSTRUCTED FROM APPROVED, SHATTER RESISTANT MATERIALS. HINGED DOORS SHALL OPEN OUTWARD. GLAZING USED IN DOORS AND PANELS OF BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. WHEN GLASS IS USED, IT SHALL HAVE MINIMUM THICKNESS OF NOT LESS THAN 1/8 INCH WHEN FULLY TEMPERED, OR 1/4 INCH WHEN LAMINATED, AND SHALL PASS THE TEST REQUIREMENTS OF THIS PART, CHAPTER 24 GLASS AND GLAZING. PLASTICS USED IN DOORS AND PANELS OF BATHTUB ENCLOSURES SHALL BE OF A SHATTER-RESISTANT TYPE.

33. **SHOWERS** REQUIRED TO BE ACCESSIBLE SHALL COMPLY WITH THE FOLLOWING: (1134A.6) a. WHEN ONE OR MORE SHOWER STALLS ARE PROVIDED WITHIN THE SAME DWELLING UNITS, AT LEAST ONE SHOWER STALL SHALL COMPLY WITH ONE OF THE FOLLOWING

i. The shower stall shall measure at least 42 inches wide by 48 inches DEEP WITH AN ENTRANCE OPENING OF AT LEAST 36 INCHES; OR

ii. THE SHOWER STALL SHALL MEASURE AT LEAST 30 INCHES DEEP BY 60 INCHES WIDE WITH AN ENTRANCE OPENING OF AT LEAST 60 INCHES. A WATER CLOSET MAY PROJECT A MAXIMUM OF 12 INCHES INTO THE OPENING, PROVIDED THAT A MINIMUM OF 36 INCHES CLEAR SPACE IS MAINTAINED BETWEEN THE WATER CLOSET AND THE SHOWER WALL AS ILLUSTRATED IN FIGURE 11A-9L; OR

iii. OTHER SHOWER STALL CONFIGURATIONS SHALL MEASURE AT LEAST 36 INCHES DEEP BY 60 INCHES WIDE WITH AN ENTRANCE OPENING OF AT LEAST 36 INCHES WHEN A WALL IS INSTALLED ON THE OPENING SIDE. b. THE MAXIMUM SLOPE OF THE SHOWER FLOOR SHALL BE INCH PER FOOT IN ANY

DIRECTION AND SHALL SLOPE TO A DRAIN. THE FLOOR SURFACES SHALL BE OF CARBORUNDUM OR GRIT-FACED TILE OR OF MATERIAL PROVIDING EQUIVALENT SLIP RESISTANCE.

c. A CLEAR MANEUVERING SPACE AT LEAST 30 INCHES IN WIDTH BY 48 INCHES IN LENGTH SHALL BE LOCATED OUTSIDE THE SHOWER, FLUSH AND PARALLEL TO THE CONTROL WALL. d. GRAB BAR REINFORCEMENT SHALL BE INSTALLED CONTINUOUS IN THE WALLS OF SHOWERS 32 INCHES TO 38 INCHES ABOVE THE FLOOR. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT. GLASS-WALLED SHOWER STALLS SHALL PROVIDE REINFORCEMENT FOR INSTALLATION OF FLOOR-MOUNTED OR CEILING- MOUNTED

HAVE A BEVELED OR SLOPED ANGLE NOT EXCEEDING 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (26.6 DEGREES FROM THE HORIZONTAL). THRESHOLDS 1/2 INCH OR LESS IN HEIGHT MAY HAVE A BEVELED OR SLOPED ANGLE NOT EXCEEDING 1 UNIT VERTICAL IN 1 UNIT HORIZONTAL (45 DEGREES FROM HORIZONTAL). f. FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE

WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5

e. WHEN A THRESHOLD IS USED, IT SHALL BE A MAXIMUM OF 2 INCHES IN HEIGHT AND

POUND-FORCE. LEVER OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS a. DOORS AND PANELS OF SHOWER ENCLOSURES SHALL BE SUBSTANTIALLY CONSTRUCTED FROM APPROVED. SHATTER RESISTANT MATERIALS. HINGED SHOWER DOORS SHALL OPEN OUTWARD. GLAZING USED IN DOORS AND PANELS OF SHOWER ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. WHEN GLASS IS USED, IT SHALL HAVE MINIMUM THICKNESS OF NOT LESS THAN 1/8 INCH WHEN FULLY TEMPERED, OR

1/4 INCH WHEN LAMINATED, AND SHALL PASS THE TEST REQUIREMENTS OF THIS PART,

CHAPTER 24 GLASS AND GLAZING. PLASTICS USED IN DOORS AND PANELS OF SHOWERS ENCLOSURES SHALL BE OF A SHATTER-RESISTANT TYPE. 34. **WATER CLOSETS** IN BATHROOMS OR POWDER ROOMS REQUIRED TO BE ACCESSIBLE SHALL

COMPLY WITH THE FOLLOWING: (1134A.7) a. THE MINIMUM FLOOR SPACE PROVIDED AT A WATER CLOSET SHALL BE 48 INCHES IN CLEAR WIDTH. THE CLEAR FLOOR SPACE SHALL EXTEND PAST THE FRONT EDGE OF THE WATER CLOSET AT LEAST 36 INCHES. SEE FIGURE 11A-9M. EXCEPT, THE 48 INCHES MINIMUM CLEAR WIDTH MAY BE REDUCED TO 36 INCHES FOR LAVATORIES, CABINETS, WING WALLS OR PRIVACY WALLS LOCATED IMMEDIATELY ADJACENT TO A WATER CLOSET WHICH EXTEND NO MORE THAN 24 INCHES IN DEPTH.

b. WATER CLOSETS SHALL BE LOCATED WITHIN BATHROOMS IN A MANNER THAT PERMITS A GRAB BAR TO BE INSTALLED ON ONE SIDE OF THE FIXTURE. THE CENTERLINE OF THE WATER CLOSET SHALL BE 17 INCHES MINIMUM TO 18 INCHES MAXIMUM FROM A GRAB BAR WALL OR PARTITION. IN LOCATIONS WHERE WATER CLOSETS ARE ADJACENT TO NON-GRAB BAR WALLS, VANITIES, LAVATORIES OR BATHTUBS, THE CENTERLINE OF THE FIXTURE SHALL BE A MINIMUM OF 18 INCHES FROM THE OBSTACLE. C. WHERE THE WATER CLOSET IS NOT PLACED ADJACENT TO A SIDE WALL CAPABLE OF ACCOMMODATING A GRAB BAR, THE BATHROOM SHALL HAVE PROVISIONS FOR INSTALLATION OF FLOOR-MOUNTED, FOLDAWAY OR SIMILAR ALTERNATIVE GRAB

d. WHERE THE WATER CLOSET IS PLACED ADJACENT TO A SIDE WALL, REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDES OR ONE SIDE AND THE BACK, IF REINFORCEMENT IS INSTALLED AT THE BACK, IT SHALL BE INSTALLED BETWEEN 32 INCHES AND 38 INCHES ABOVE THE FLOOR. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT. THE BACKING SHALL BE A MINIMUM OF 40 INCHES IN LENGTH. e. REINFORCEMENT INSTALLED AT THE SIDE OF THE WATER CLOSET SHALL BE INSTALLED 32 INCHES TO 38 INCHES ABOVE THE FLOOR. THE REINFORCEMENT SHALL BE INSTALLED A MAXIMUM OF 12 INCHES FROM THE REAR WALL AND SHALL EXTEND A MINIMUM OF 26 INCHES IN FRONT OF THE WATER CLOSET. THE GRAB BAR REINFORCEMENT SHALL BE A MINIMUM OF 6 INCHES NOMINAL IN HEIGHT.

f. THE MINIMUM HEIGHT OF WATER CLOSET SEATS SHALL BE 15 INCHES ABOVE THE FLOOR. g. WATER CLOSET CONTROLS SHALL BE MOUNTED NO MORE THAN 44 INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN

5 POUND-FORCE. 35. **BATHROOMS** OR POWDER ROOMS REQUIRED TO BE ACCESSIBLE SHALL HAVE AT LEAST ONE ACCESSIBLE LAVATORY. WHERE MIRRORS AND TOWEL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH SHALL BE ACCESSIBLE. (1134A.8)

a. VANITIES AND LAVATORIES SHALL BE INSTALLED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 18 INCHES HORIZONTALLY FROM AN ADJOINING WALL OR FIXTURE TO ALLOW FOR FORWARD APPROACH. WHEN PARALLEL APPROACH IS PROVIDED, LAVATORIES SHALL BE INSTALLED WITH THE CENTERLINE OF THE FIXTURE A MINIMUM OF 24 INCHES HORIZONTALLY FROM AN ADJOINING WALL OR FIXTURE. THE TOP OF THE FIXTURE RIM SHALL BE A MAXIMUM OF 34 INCHES ABOVE THE FINISHED FLOOR.

b. A CLEAR MANEUVERING SPACE AT LEAST 30 INCHES BY 48 INCHES SHALL BE PROVIDED AT LAVATORIES AND SHALL BE CENTERED ON THE LAVATORY. C. CABINETS UNDER LAVATORIES ARE ACCEPTABLE PROVIDED THE BATHROOM HAS SPACE TO ALLOW A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR KNEE AND THE LAVATORY CABINETS ARE DESIGNED WITH ADAPTABLE KNEE AND TOE SPACE.

d. KNEE AND TOE SPACE SHALL BE PROVIDED AS FOLLOWS: i. THE KNEE SPACE SHALL BE AT LEAST 30 INCHES WIDE AND 8 INCHES DEEP. ii. THE KNEE SPACE SHALL BE AT LEAST 29 INCHES HIGH AT THE FRONT FACE AND REDUCING TO NOT LESS THAN 27 INCHES AT A POINT 8 INCHES BACK FROM THE FRONT EDGE.

iii. THE KNEE AND TOE SPACE REQUIRED IN THIS SECTION SHALL BE PROVIDED BY ONE OF THE FOLLOWING: (1) THE SPACE BENEATH THE LAVATORY SHALL BE LEFT CLEAR AND UNOBSTRUCTED; (2) ANY CABINET BENEATH THE LAVATORY SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED KNOWLEDGE OR SPECIALIZED TOOLS; OR

(3) DOORS TO THE CABINET BENEATH THE LAVATORY SHALL BE REMOVABLE OR OPENABLE

(1) SHALL BE AT LEAST 30 INCHES WIDE AND CENTERED ON THE LAVATORY. (2) SHALL BE AT LEAST 17 INCHES DEEP, MEASURED FROM THE FRONT EDGE. (3) SHALL BE AT LEAST 9 INCHES HIGH FROM THE FLOOR. e. THE FINISHED FLOOR BENEATH THE LAVATORY SHALL BE EXTENDED TO THE WALL. f. HOT WATER AND DRAIN PIPES EXPOSED UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER

TO PROVIDE THE REQUIRED UNOBSTRUCTED KNEE AND TOE SPACE.

iv. THE TOE SPACE REQUIRED IN THIS SECTION SHALL BE PROVIDED AS FOLLOWS:

g. FAUCET CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUND-FORCE. LEVER OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. h. WHERE MIRRORS OR TOWEL FIXTURES ARE PROVIDED THEY SHALL BE MOUNTED WITH THE

#### LAUNDRY ROOMS

36. IF CLOTHES WASHING MACHINES AND CLOTHES DRYERS ARE PROVIDED IN COVERED MULTIFAMILY DWELLING UNITS, ONE OF EACH TYPE OF APPLIANCE SHALL BE PROVIDED. WHERE FRONT-LOADING CLOTHES WASHERS ARE NOT PROVIDED, MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICES, ON REQUEST OF THE OCCUPANT, TO PERMIT THE USE OF TOPLOADING CLOTHES WASHERS. (1135A.1)

BOTTOM EDGE NO HIGHER THAN 40 INCHES FROM THE FLOOR.

#### **ELECTRICAL RECEPTACLE, SWITCH & CONTROL HEIGHTS**

37. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX NOR LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER A PHYSICAL BARRIER OR AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET), RECEPTACLES SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. PHYSICAL BARRIERS AND OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25 INCHES FROM THE WALL BENEATH THE

RECEPTACLE. 38. RECEPTACLE OUTLETS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE RECEPTACLE OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE

PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE. (1136A.1) SEE EXCEPTIONS. 39. CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, ALARMS OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER A PHYSICAL BARRIER OR AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) SWITCHES AND CONTROLS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. PHYSICAL BARRIERS OR OBSTRUCTIONS SHALL NOT EXTEND MORE THAN

25 INCHES FROM THE WALL BENEATH A CONTROL. 40. SWITCHES AND CONTROLS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE CONTROLS OR OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE. EXCEPT AT APPLIANCES (E.G., KITCHEN STOVES, DISHWASHERS, RANGE HOODS, MICROWAVE OVENS AND SIMILAR APPLIANCES) WHICH HAVE CONTROLS LOCATED ON THE APPLIANCE. (1136A.2)

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ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS O CONSTRUCTION SHOULD REASONABLY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED FRRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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C. ALL OTHER KITCHEN DESIGNS SHALL PROVIDE A MINIMUM CLEAR WIDTH OF AT LEAST 48

#### DIVISION V – FEATURES COMMON TO THE EXTERIOR AND INTERIOR OF BUILDINGS

#### OTHER FEATURES AND FACILITIES

**COMMON USE AREAS** 

FLOORS OR SITES. (1137A.1)

THIS DIVISION SHALL APPLY TO FEATURES AND FACILITIES COMMON USE AREAS ON ACCESSIBLE

NOTE: THE PROVISIONS IN THIS DIVISION ARE NOT APPLICABLE TO DWELLING UNITS, UNLESS

#### OTHERWISE SPECIFIED. SPACE ALLOWANCES AND REACH RANGES IN

- THE MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR PASSAGE SHALL BE 36 INCHES CONTINUOUSLY. SEE SECTION 1113A FOR MINIMUM CLEAR WIDTH OF SIDEWALKS, AND SECTION 1120A FOR MINIMUM CLEAR WIDTH OF INTERIOR ACCESSIBLE ROUTES EXCEPTION: 32 INCHES IN WIDTH IS ACCEPTABLE AT A POINT NOT TO EXCEED 24 INCHES IN LENGTH. THE SEGMENTS WITH REDUCED WIDTH SHALL BE SEPARATED BY SEGMENTS THAT ARE 48 INCHES LONG MINIMUM AND 36 INCHES WIDE MINIMUM. (1138A.1.1)
- THE MINIMUM WIDTH FOR TWO WHEELCHAIRS TO PASS IS 60 INCHES (SEE FIGURE 11A-1E) 3. AN ACCESSIBLE ROUTE (EXTERIOR AND INTERIOR) WITH A CLEAR WIDTH LESS THAN 60 INCHES SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM. PASSING SPACES SHALL BE EITHER: A SPACE 60 INCHES MINIMUM BY 60 INCHES MINIMUM; OR, AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A T-SHAPED SPACE COMPLYING WITH SECTION 1138A.1.3.1, WHERE THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND 48 INCHES MINIMUM BEYOND THE INTERSECTION. (SEE FIGURE 11A-1L) (1138A.1.2)
- THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180- DEGREE TURN SHALL BE A CIRCULAR CLEAR SPACE OF 60 INCHES DIAMETER MINIMUM (SEE FIGURE 11A-1D(A)); OR A T-SHAPED SPACE COMPLYING WITH SECTION 1138A.1.3.1. THE CIRCULAR TURNING SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 1138A.2.
- . IF A PERSON IN A WHEELCHAIR MUST MAKE A TURN AROUND AN OBSTRUCTION, THE MINIMUM CLEAR WIDTH OF THE ACCESSIBLE ROUTE SHALL BE AS REQUIRED IN SECTION 1138A.1.5. (1138A.1.3)
- a. A T-SHAPED TURNING SPACE SHALL BE WITHIN A 60 INCH SQUARE MINIMUM WITH ARMS AND BASE 36 INCHES WIDE MINIMUM. EACH ARM OF THE T SHALL BE CLEAR OF OBSTRUCTIONS 12 INCHES MINIMUM IN EACH DIRECTION, AND THE BASE SHALL BE CLEAR OF OBSTRUCTIONS 24 INCHES MINIMUM. THE SPACE SHALL BE PERMITTED TO INCLUDE KNEE AND TOE CLEARANCE COMPLYING WITH SECTION 1138A.2 ONLY AT THE END OF EITHER THE BASE OR ONE ARM.
- (SEE FIGURE 11A-1D (B)) (1138A.1.3.1) b. TURNING SPACES FOR WHEELCHAIRS SHALL BE STABLE, FIRM, SLIP RESISTANT, AND SHALL COMPLY WITH SECTION 1110A.3 OR SECTION 1119A.2. CHANGES IN LEVEL ARE NOT PERMITTED. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. (1138A.1.3.2)
- . CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS SHALL COMPLY WITH THE FOLLOWING: (1138A.1.4) a. THE MINIMUM CLEAR FLOOR OR GROUND SPACE SHALL BE 30 INCHES BY 48 INCHES. THE MINIMUM CLEAR FLOOR OR GROUND SPACE MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT (SEE FIGURE 11A- 1G), CLEAR FLOOR OR
- GROUND SPACE MAY BE PART OF THE KNEE AND TOE SPACE REQUIRED UNDER SOME OBJECTS UNLESS OTHERWISE SPECIFIED. (1138A.1.4.1) b. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR SPACE IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR A PART OF THREE SIDES, ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING: (1138A.1.4.2, FIGURE 11A-1H)
- i. FORWARD APPROACH. ALCOVES SHALL BE 36 INCHES WIDE MINIMUM WHEN THE DEPTH EXCEEDS 24 INCHES. II. PARALLEL APPROACH. ALCOVES SHALL BE 60 INCHES WIDE MINIMUM WHEN THE DEPTH
- EXCEEDS 15 INCHES. CLEAR FLOOR OR GROUND SPACES FOR WHEELCHAIRS SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH SECTION 1110A.3 OR SECTION 1119A.2. CHANGES IN LEVEL ARE NOT

PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAFFIC. (1138A.1.4.3.1)

- PERMITTED. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. (1138A.1.4.3) 8. GRATINGS LOCATED IN GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES SHALL BE LIMITED TO SPACES NO GREATER THAN ½-INCH WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THAT THE LONG DIMENSION IS
- WHEN THE ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN ELEMENT WHICH IS LESS THAN 48 INCHES WIDE, CLEAR WIDTH SHALL BE 42 INCHES MINIMUM APPROACHING THE TURN, 48 INCHES MINIMUM AT THE TURN AND 42 INCHES MINIMUM LEAVING THE TURN. WHEN THE CLEAR WIDTH AT THE TURN IS 60 INCHES MINIMUM, THE CLEAR WIDTH WHEN APPROACHING AND WHEN LEAVING THE TURN SHALL BE 36 INCHES MINIMUM. (1138A.1.5, FIGURE 11A-1C(A))
- . WHEN SPACE BENEATH AN ACCESSIBLE ELEMENT IS INCLUDED AS PART OF A CLEAR FLOOR SPACE, OR TURNING SPACE, THE SPACE SHALL COMPLY WITH THIS SECTION. ADDITIONAL SPACE SHALL NOT BE PROHIBITED BENEATH AN ELEMENT BUT SHALL NOT BE CONSIDERED AS PART OF THE CLEAR FLOOR SPACE OR TURNING SPACE. (1138A.2, FIGURE 11A-9D) a. KNEE SPACE UNDER AN ELEMENT BETWEEN 9 INCHES AND 27 INCHES ABOVE THE FINISH FLOOR
- SHALL BE CONSIDERED KNEE SPACE. THE KNEE SPACE SHALL BE CLEAR AND UNOBSTRUCTED. (1138A.2.1)
- b. MINIMUM WIDTH FOR KNEE SPACE SHALL BE 30 INCHES WIDE MINIMUM. (1138A.2.1.1) C. MAXIMUM DEPTH FOR KNEE SPACE SHALL EXTEND 25 INCHES MAXIMUM UNDER AN ELEMENT AT 9 INCHES ABOVE THE FINISH FLOOR. (1138A.2.1.2)
- d. WHEN KNEE SPACE IS REQUIRED UNDER AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE SPACE SHALL BE 11 INCHES DEEP MINIMUM AT 9 INCHES ABOVE THE FINISH FLOOR, AND 8 INCHES DEEP MINIMUM AT 27 INCHES ABOVE THE FINISH FLOOR, MEASURED FROM THE FRONT EDGE OF THE ELEMENT. (1138A.2.1.3) SEE EXCEPTIONS.
- BETWEEN 9 INCHES AND 27 INCHES ABOVE THE FINISH FLOOR, THE KNEE SPACE SHALL BE PERMITTED TO BE REDUCED AT A RATE OF 1 INCH IN DEPTH FOR EACH 6 INCHES IN HEIGHT.
- SPACE UNDER AN ELEMENT BETWEEN THE FINISH FLOOR AND 9 INCHES ABOVE THE FINISH FLOOR SHALL BE CONSIDERED TOE (1138A.2.2)
- a. TOE SPACE SHALL BE 30 INCHES WIDE MINIMUM.(1138A.2.2.1) b. TOE SPACE SHALL EXTEND 25 INCHES MAXIMUM UNDER AN ELEMENT. (1138A.2.2.2)
- C. WHEN TOE SPACE IS REQUIRED UNDER AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE TOE SPACE SHALL EXTEND 17 INCHES MINIMUM UNDER THE ELEMENT, MEASURED FROM THE FRONT EDGE OF THE ELEMENT. (1138A.2.2.3). SEE EXCEPTIONS.
- d. SPACE EXTENDING GREATER THAN 6 INCHES BEYOND THE AVAILABLE KNEE SPACE AT 9 INCHES ABOVE THE FINISH FLOOR SHALL NOT BE CONSIDERED TOE SPACE. (1138A.2.2.4) P. REACH RANGES SHALL COMPLY WITH THE FOLLOWING: (1138A.3)
- a. WHEN THE CLEAR FLOOR SPACE ALLOWS ONLY FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48 INCHES AND THE MINIMUM LOW FORWARD REACH SHALL BE NO LESS THAN 15 INCHES ABOVE THE FINISH FLOOR. (1138A.3.1, FIGURE 11A-1L(A)) b. WHEN THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, THE CLEAR FLOOR SPACE
- SHALL EXTEND BENEATH THE ELEMENT FOR A DISTANCE NOT LESS THAN THE REACH DEPTH OVER THE OBSTRUCTION. B. THE HIGH FORWARD REACH SHALL BE 48 INCHES MAXIMUM WHEN THE REACH DEPTH IS
- 20 INCHES MAXIMUM. WHEN THE REACH DEPTH EXCEEDS 20 INCHES, BUT IS NOT MORE THAN 25 INCHES, THE HIGH FORWARD REACH SHALL BE 44 INCHES MAXIMUM. (1138A.3.1, FIGURE 11A-11(B)) a. WHEN A CLEAR FLOOR SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT, AND THE
- SIDE REACH IS UNOBSTRUCTED, THE HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM, AND THE LOW SIDE REACH SHALL BE 15 INCHES MINIMUM ABOVE THE FINISH FLOOR. (1138.3.2, FIGURES 11A-1J(A) AND 11A-1J(B)) b. WHEN A CLEAR FLOOR SPACE ALLOWS A PARALLEL APPROACH TO AN ELEMENT AND THE
- HIGH SIDE REACH IS OVER AN OBSTRUCTION, THE HEIGHT OF THE OBSTRUCTION SHALL BE 34 INCHES MAXIMUM AND THE DEPTH OF THE OBSTRUCTION SHALL BE 24 INCHES MAXIMUM. THE HIGH SIDE REACH SHALL BE 48 INCHES MAXIMUM FOR A REACH DEPTH OF 10 INCHES MAXIMUM. WHEN THE REACH DEPTH EXCEEDS 10 INCHES, BUT NO MORE THAN 24 INCHES, THE HIGH SIDE REACH SHALL BE 46 INCHES MAXIMUM. (SEE FIGURE 11A-1J(C))
- 4. CONTROLS AND OPERATING MECHANISMS IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PART OF ACCESSIBLE ELEMENTS SHALL COMPLY WITH THE FOLLOWING: (1138A.4.1) NOTE: SEE ALSO SECTION 1142A, FOR RECEPTACLE, SWITCH AND CONTROL INSTALLATION. a. CLEAR FLOOR SPACE COMPLYING WITH SECTION 1138A.1.4 THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT ALL
- CONTROLS AND OPERATING MECHANISMS. (1134A.4.2) b. Controls and operating mechanisms shall be located no higher than 48 inches, AND NO LOWER THAN 15 INCHES, ABOVE THE FINISHED FLOOR MEASURED TO THE CENTER OF THE GRIP. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, WASHER OR CONTROLS AND OPERATING MECHANISMS SHALL BE LOCATED WITHIN THE REACH RANGES SPECIFIED IN SECTION 1138A.3. CONTROLS AND OPERATING MECHANISMS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE, PROVIDED THAT COMPARABLE MECHANISMS, CONTROLS
- OR OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE. (1134A.4.3) C. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED

TO ACTIVATE CONTROLS AND OPERATING MECHANISMS SHALL BE NO GREATER THAN

#### **ACCESSIBLE DRINKING FOUNTAINS**

DRINKING FOUNTAINS AND WATER COOLERS IN COMMON USE AREAS AND/OR SITES SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS. A SIDE APPROACH DRINKING FOUNTAIN IS NOT

- ACCEPTABLE. (1139A.1, FIGURE 11A-11A) 15. DRINKING FOUNTAINS AND WATER COOLERS SHALL BE ON AN ACCESSIBLE ROUTE. (1139A.2)
- 16. DRINKING FOUNTAINS SHALL BE A MINIMUM OF 18 INCHES AND A MAXIMUM OF 19 INCHES
- 17. DRINKING FOUNTAINS SHALL BE PROVIDED WITH 30 INCHES BY 48 INCHES CLEAR FLOOR SPACE, CENTERED ON THE UNIT. THE CLEAR FLOOR SPACE SHALL BE POSITIONED FOR A FORWARD APPROACH. (1139A.4)
- 18. DRINKING FOUNTAINS SHALL BE PROVIDED WITH A CLEAR AND UNOBSTRUCTED KNEE AND TOE SPACE. KNEE AND TOE SPACE SHALL COMPLY WITH SECTION 1138A.2. (1139A.4.1)
- INCHES MAXIMUM FROM THE FRONT EDGE OF THE DRINKING FOUNTAIN, INCLUDING BUMPERS. SPOUT OUTLETS SHALL BE 36 INCHES MAXIMUM ABOVE THE FINISH FLOOR. (1139A.5) 20. THE SPOUT SHALL PROVIDE A FLOW OF WATER AT LEAST 4 INCHES HIGH TO ALLOW THE INSERTION OF A CUP OR GLASS UNDER THE FLOW OF WATER. THE ANGLE OF THE WATER STREAM SHALL BE MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHEN

19. THE SPOUT SHALL BE LOCATED 15 INCHES MINIMUM FROM THE VERTICAL SUPPORT AND 5

- SPOUTS ARE LOCATED LESS THAN 3 INCHES FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 30 DEGREES MAXIMUM. WHEN SPOUTS ARE LOCATED BETWEEN 3 INCHES AND 5 INCHES MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM. (1139A.6)
- 21. THE FLOW OF WATER SHALL BE ACTIVATED BY MANUALLY OR ELECTRONICALLY OPERATED CONTROLS. THE MANUALLY OPERATED CONTROLS SHALL BE FRONT MOUNTED OR SIDE MOUNTED, LOCATED WITHIN 6 INCHES (152 MM) OF THE FRONT EDGE OF THE FOUNTAIN. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS. (1139A.7)
- 22. DRINKING FOUNTAINS SHALL BE LOCATED COMPLETELY WITHIN ALCOVES, BETWEEN WING WALLS OR OTHERWISE POSITIONED SO AS NOT TO ENCROACH INTO PEDESTRIAN WAYS. THE ALCOVE OR OTHERWISE PROTECTED AREA IN WHICH THE DRINKING FOUNTAIN IS LOCATED SHALL NOT BE LESS THAN 32 INCHES IN WIDTH AND 18 INCHES IN DEPTH. WHEN THE DEPTH OF THE PROTECTED AREA WHERE THE DRINKING FOUNTAIN IS LOCATED EXCEEDS 24 INCHES, ADDITIONAL MANEUVERING CLEARANCE SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 1138A.1.4.2 AND FIGURE 11A-1H. (1139A.8)
- 23. WHEN PROVIDED, WING WALLS SHALL PROJECT OUT FROM THE SUPPORTING WALL AT LEAST AS FAR AS THE DRINKING FOUNTAIN TO WITHIN 6 INCHES VERTICALLY FROM THE FINISH FLOOR. 24. PROTRUDING OBJECTS LOCATED IN ALCOVES OR OTHERWISE POSITIONED SO AS TO LIMIT ENCROACHMENT INTO PEDESTRIAN WAYS ARE PERMITTED TO PROJECT 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. (SEE FIGURE 11A-11A.)

#### ACCESSIBLE TELEPHONES

IF PUBLIC TELEPHONES ARE PROVIDED, THEY SHALL COMPLY WITH THE SECTION 1140A, ACCESSIBLE TELEPHONES.

#### **ACCESSIBLE SWIMMING POOLS**

- 25. SWIMMING POOLS IN COMMON-USE AREAS SHALL COMPLY WITH THE PROVISIONS OF SECTION 1141A AND CHAPTER 31B. (1141A.1)
- 26. SWIMMING POOL DECK AREAS MUST BE ACCESSIBLE, AND A MECHANISM TO ASSIST PERSONS WITH DISABILITIES GAIN ENTRY INTO THE POOL AND EXIT FROM THE POOL SHALL BE PROVIDED. SUCH A MECHANISM MAY CONSIST OF A SWIMMING POOL LIFT DEVICE AS LONG AS THE DEVICE MEETS ALL OF THE FOLLOWING CRITERIA: (1141A.2) a. HAS A SEAT THAT MEETS ALL OF THE FOLLOWING:
- i. THE SEAT MUST BE RIGID;
- ii. THE SEAT MUST BE NOT LESS THAN 17 INCHES AND NOT MORE THAN 19 INCHES, INCLUSIVE
- OF ANY CUSHIONED SURFACE THAT MIGHT BE PROVIDED, ABOVE THE POOL DECK; iii. THE SEAT MUST HAVE TWO ARMRESTS. THE ARMREST ON THE SIDE OF THE SEAT BY WHICH ACCESS IS GAINED SHALL BE EITHER REMOVABLE OR FOLD CLEAR OF THE SEAT:
- iv. THE SEAT MUST HAVE A BACK SUPPORT THAT IS AT LEAST 12 INCHES TALL;THE SEAT MUST HAVE AN OCCUPANT RESTRAINT FOR USE BY THE OCCUPANT OF THE SEAT AND THE RESTRAINT MUST MEET THE STANDARDS FOR OPERABLE CONTROLS IN COMPLIANCE WITH SECTION 1138.A.4.4
- b. BE CAPABLE OF UNASSISTED OPERATION FROM BOTH THE DECK AND WATER LEVELS. c. BE STABLE AND NOT PERMIT UNINTENDED MOVEMENT WHEN A PERSON IS GETTING INTO OR OUT OF THE SEAT.
- d. BE DESIGNED TO HAVE A LIVE-LOAD CAPACITY OF NOT LESS THAN 300 POUNDS. e. BE POSITIONED SO THAT, IF THE POOL HAS WATER OF DIFFERENT DEPTHS, IT WILL PLACE THE OPERATOR INTO WATER THAT IS AT LEAST 3 FEET DEEP. f. BE CAPABLE OF LOWERING THE OPERATOR AT LEAST 18 INCHES BELOW THE SURFACE OF THE
- WATER. ELECTRICAL RECEPTACLE, SWITCH AND CONTROL HEIGHTS SEE DIVISION IV, SECTION 1136A.

#### SIGNAGE

NOTE: SEE SECTION 1127A.7 FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO SANITARY FACILITIES, AND SECTION 1124A FOR ADDITIONAL SIGNAGE REQUIREMENTS APPLICABLE TO ELEVATORS. (1143A.1)

- 27. WHEN SIGNS AND/OR IDENTIFICATION DEVICES ARE PROVIDED THEY SHALL COMPLY WITH SECTION 1143A. WHEN BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS - ONE WITH
- VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED. 28. WHEN SIGNS IDENTIFY PERMANENT ROOMS AND SPACES OF A BUILDING OR SITE, THEY SHALL COMPLY WITH SECTIONS 1143A.1, 1143A.5, 1143A.6 AND 1143A.7.
- 29. WHEN SIGNS DIRECT TO OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND SPACES OF A BUILDING OR SITE, THEY SHALL COMPLY WITH SECTIONS 1143A.5. 30. WHEN SIGNS IDENTIFY, DIRECT OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURES OF A BUILDING OR SITE, THEY SHALL INCLUDE THE APPROPRIATE SYMBOL OF
- ACCESSIBILITY AND SHALL COMPLY WITH SECTION 1143A.5. 31. SIGNS WITH VISUAL CHARACTERS SHALL COMPLY WITH THE FOLLOWING: a. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR
- DARK ON A LIGHT BACKGROUND. b. CHARACTERS SHALL BE UPPERCASE, LOWERCASE OR A COMBINATION OF BOTH. CHARACTERS SHALL BE CONVENTIONAL IN FORM, AND SHALL NOT BE ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS.
- C. CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I" d. VISUAL CHARACTERS SHALL BE SIZED IN ACCORDANCE WITH TABLE 1143A.5. VIEWING
- DISTANCE SHALL BE MEASURED AS THE HORIZONTAL DISTANCE BETWEEN THE CHARACTER AND AN OBSTRUCTION PREVENTING FURTHER APPROACH TOWARDS THE SIGN. CHARACTER HEIGHT SHALL BE BASED ON THE UPPERCASE LETTER "I" e. VISUAL CHARACTERS SHALL BE 40 INCHES MINIMUM ABOVE THE FINISH FLOOR.
- f. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 10 PERCENT MINIMUM AND 20 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER. CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT CHARACTERS, EXCLUDING WORD SPACES. SPACING BETWEEN INDIVIDUAL CHARACTERS SHALL BE 10 PERCENT MINIMUM AND 35 PERCENT MAXIMUM OF CHARACTER HEIGHT. g. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF CHARACTERS WITHIN A MESSAGE
- SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE CHARACTER HEIGHT. h. TEXT SHALL BE IN A HORIZONTAL FORMAT. 32. WHEN RAISED CHARACTERS ARE REQUIRED OR WHEN PICTORIAL SYMBOLS (PICTOGRAMS) ARE
- USED ON SUCH SIGNS, THEY SHALL COMPLY WITH THIS SECTION. RAISED CHARACTERS AND PICTORIAL SYMBOLS SHALL BE DUPLICATED IN BRAILLE COMPLYING WITH SECTION 1143A.7. a. RAISED CHARACTERS ON SIGNS SHALL BE 1/32 INCH MINIMUM ABOVE THEIR BACKGROUND. CHARACTERS SHALL BE SANS SERIF UPPERCASE, AND SHALL NOT BE ITALIC, OBLIQUE, SCRIPT,
- HIGHLY DECORATIVE, OR OF OTHER UNUSUAL FORMS. b. CHARACTERS HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "I".
- C. CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. d. RAISED CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHEN THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I".

e. STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 15 PERCENT MAXIMUM OF THE

- HEIGHT OF THE CHARACTER. f. CHARACTER SPACING SHALL BE MEASURED BETWEEN THE TWO CLOSEST POINTS OF ADJACENT HAVE RECTANGULAR CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/8 INCH MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM. WHEN CHARACTERS HAVE OTHER CROSS SECTIONS, SPACING BETWEEN INDIVIDUAL RAISED CHARACTERS SHALL BE 1/16 INCH MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM AT THE BASE OF THE CROSS SECTIONS, AND 1/8 INCH MINIMUM AND 4 TIMES THE RAISED CHARACTER STROKE WIDTH MAXIMUM AT THE TOP OF THE CROSS SECTIONS. CHARACTERS SHALL BE SEPARATED FROM RAISED BORDERS AND DECORATIVE ELEMENTS
- 3/8 INCH MINIMUM. g. SPACING BETWEEN THE BASELINES OF SEPARATE LINES OF RAISED CHARACTERS WITHIN A MESSAGE SHALL BE 135 PERCENT MINIMUM AND 170 PERCENT MAXIMUM OF THE RAISED CHARACTER HEIGHT.

#### RESIDENTIAL ACCESSIBLITY NOTES

- h. WHEN A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHEN A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHEN A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHEN THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES MINIMUM BY 18 INCHES MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION. WHEN PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES THEY SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE. SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR
- i. SIGNS WITH RAISED CHARACTERS SHALL BE LOCATED 48 INCHES MINIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES MAXIMUM DIRECTLY BELOW THE PICTOGRAM FIELD. THE TEXT DESCRIPTION SHALL COMPLY WITH SECTIONS 1143A.6 AND 1143A.7. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6 INCHES IN HEIGHT. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD. ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. i. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY A TEXT DESCRIPTION
- LOCATED DIRECTLY BELOW THE PICTOGRAM FIELD. THE TEXT DESCRIPTION SHALL COMPLY WITH SECTIONS 1143A.6 AND 1143A.7. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6 INCHES IN HEIGHT. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD.
- 33. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS.
- 34. BRAILLE DOTS SHALL HAVE A DOMED OR ROUNDED SHAPE AND SHALL COMPLY WITH TABLE 1143A.7.1. THE INDICATION OF AN UPPERCASE LETTER OR LETTERS SHALL ONLY BE USED BEFORE THE FIRST WORD OF SENTENCES, PROPER NOUNS AND NAMES, INDIVIDUAL LETTERS OF THE ALPHABET, INITIALS, AND ACRONYMS.
- 35. BRAILLE SHALL BE POSITIONED BELOW THE CORRESPONDING TEXT IN A HORIZONTAL FORMAT, FLUSH LEFT OR CENTERED. IF TEXT IS MULTI-LINED, BRAILLE SHALL BE PLACED BELOW THE ENTIRE TEXT. BRAILLE SHALL BE SEPARATED 3/8 INCH MINIMUM AND ½ INCH MAXIMUM FROM ANY OTHER TACTILE CHARACTERS AND 3/8 INCH MINIMUM FROM RAISED BORDERS AND DECORATIVE ELEMENTS.
- 36. SYMBOLS OF ACCESSIBILITY AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. SYMBOLS OF ACCESSIBILITY SHALL CONTRAST WITH THEIR BACKGROUND WITH EITHER A LIGHT SYMBOL ON A DARK BACKGROUND OR A DARK SYMBOL ON A LIGHT BACKGROUND. SYMBOLS OF ACCESSIBILITY SHALL COMPLY WITH THE FOLLOWING:
- a. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE COLOR NO. 15090 IN FEDERAL STANDARD 595B. (SEE FIGURE 11A-1A)
- b. INTERNATIONAL SYMBOL OF TTY. (SEE FIGURE 11A-11C) c. VOLUME CONTROL TELEPHONES. (SEE FIGURE 11A-11D)

AS ONE EXITS THE ROOM OR SPACE.

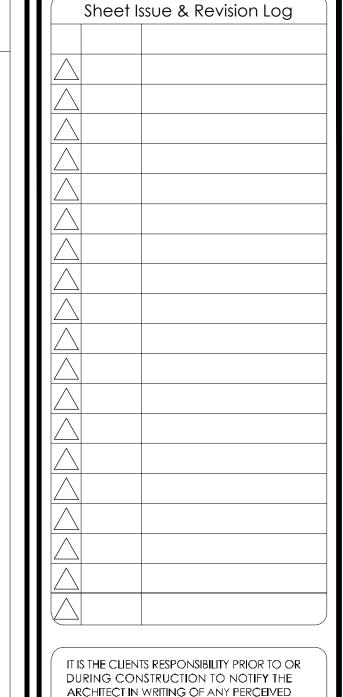
- d. ASSISTIVE LISTENING SYSTEMS. (SEE FIGURE 11A-11E) e. CLEANER AIR SYMBOL. (SEE CHAPTER 11B)
- f. TOILET AND BATHING FACILITIES GEOMETRIC SYMBOLS.

#### DIVISION VI – SITE IMPRACTICALITY TESTS

#### GENERAL

COVERED MULTIFAMILY DWELLINGS IN BUILDINGS WITHOUT AN ELEVATOR, LOCATED ON SITES WITH DIFFICULT TERRAIN CONDITIONS OR UNUSUAL CHARACTERISTICS, MAY EMPLOY THE SITE IMPRACTICALITY TESTS IN THIS DIVISION FOR DETERMINING THE ACCESSIBILITY AND ADAPTABILITY PROVISIONS REQUIRED BY THIS CHAPTER.

EXCEPT AS PROVIDED FOR IN SECTION 1102A.3.1, THE PROVISIONS OF THIS SECTION DO NOT APPLY TO MULTI-STORY DWELLING UNITS IN NON-ELEVATOR BUILDINGS, I.E., TOWNHOUSES. (1150A.1)



ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED FRRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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**Sheet Content:** 

# RESIDENTIAL

Date: Scale: CUSTON CAD : ROD

Job : -

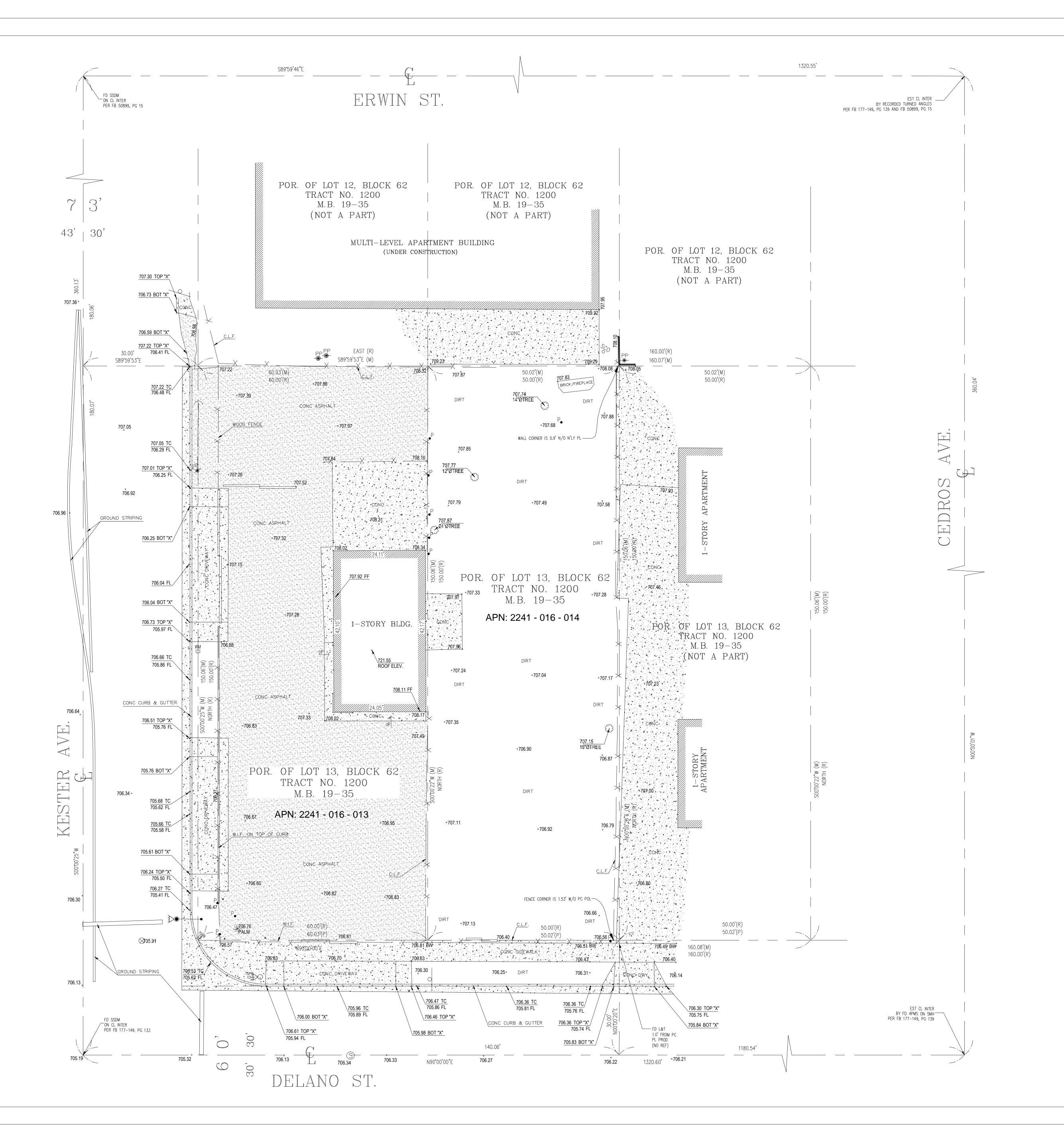
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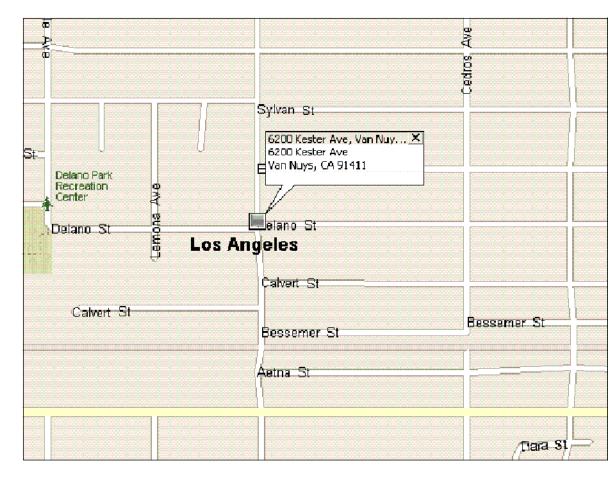
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PC/DAD/Residential List 11 (Rev. 6/12/14)

5 POUNDS. (1138A.4.4)

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VICINITY MAP NOT TO SCALE

#### LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, DESCRIBED AS FOLLOWS: THE WESTERLY 110 FEET OF LOT 13 IN BLOCK 62 OF TRACT 1200, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 19, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. APN: 2241-016-013 APN: 2241-016-014

#### BASIS OF BEARINGS:

THE BEARING EAST, ON THE CENTERLINE OF E STREET, NOW KNOWN AS DELAND STREET, AS SHOWN ON TRACT NO. 1200, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN M.B. 19, PAGE 35, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

#### LAND AREA:

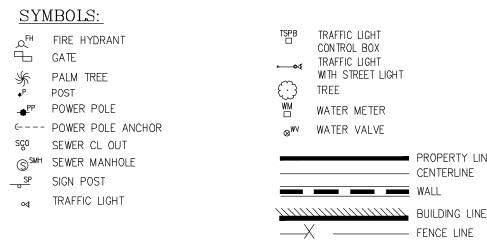
APN: 2241-16-013 CONTAINING AN AREA OF 9,008.13 SQ. FT., OR 0.207 ACRES, MORE OR LESS APN: 2241-16-014 CONTAINING AN AREA OF 7,506.69 SQ. FT., OR 0.172 ACRES, MORE OR LESS. TOTAL AREA OF 16,514.82 SQ. FT., OR 0.379 ACRES, MORE OR LESS.

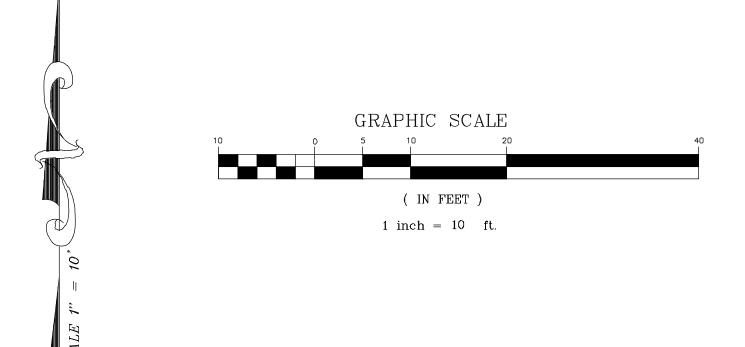
#### BENCHMARK:

BM ID: 08-13621 (NAVD 1988) DESCRIPTION: WIRE SPK IN N CURB DELANO ST; 1.5FT W OF BC CURB RET W OF KESTER AVE ELEV. = 705.924 FT.

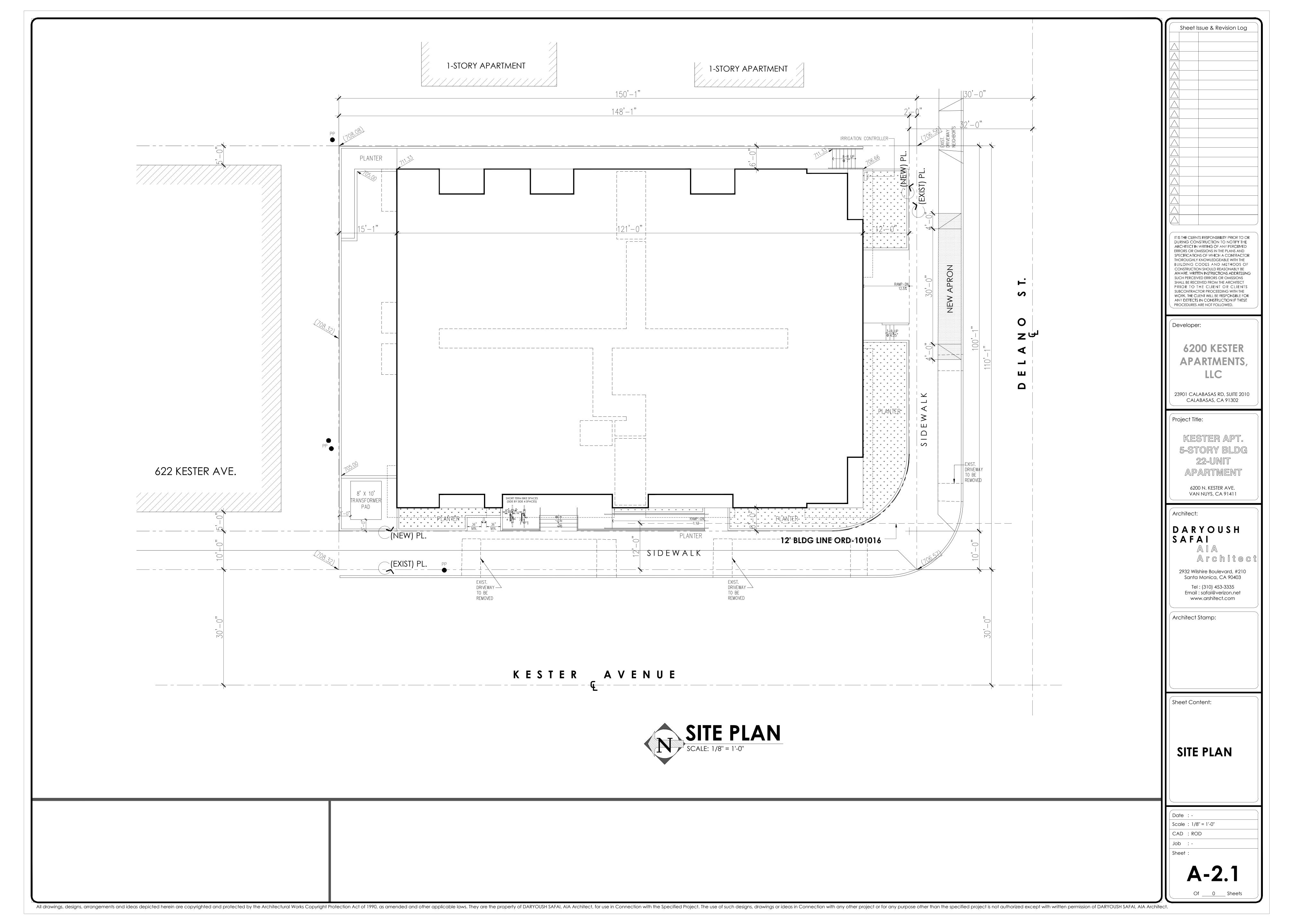
#### LEGEND:

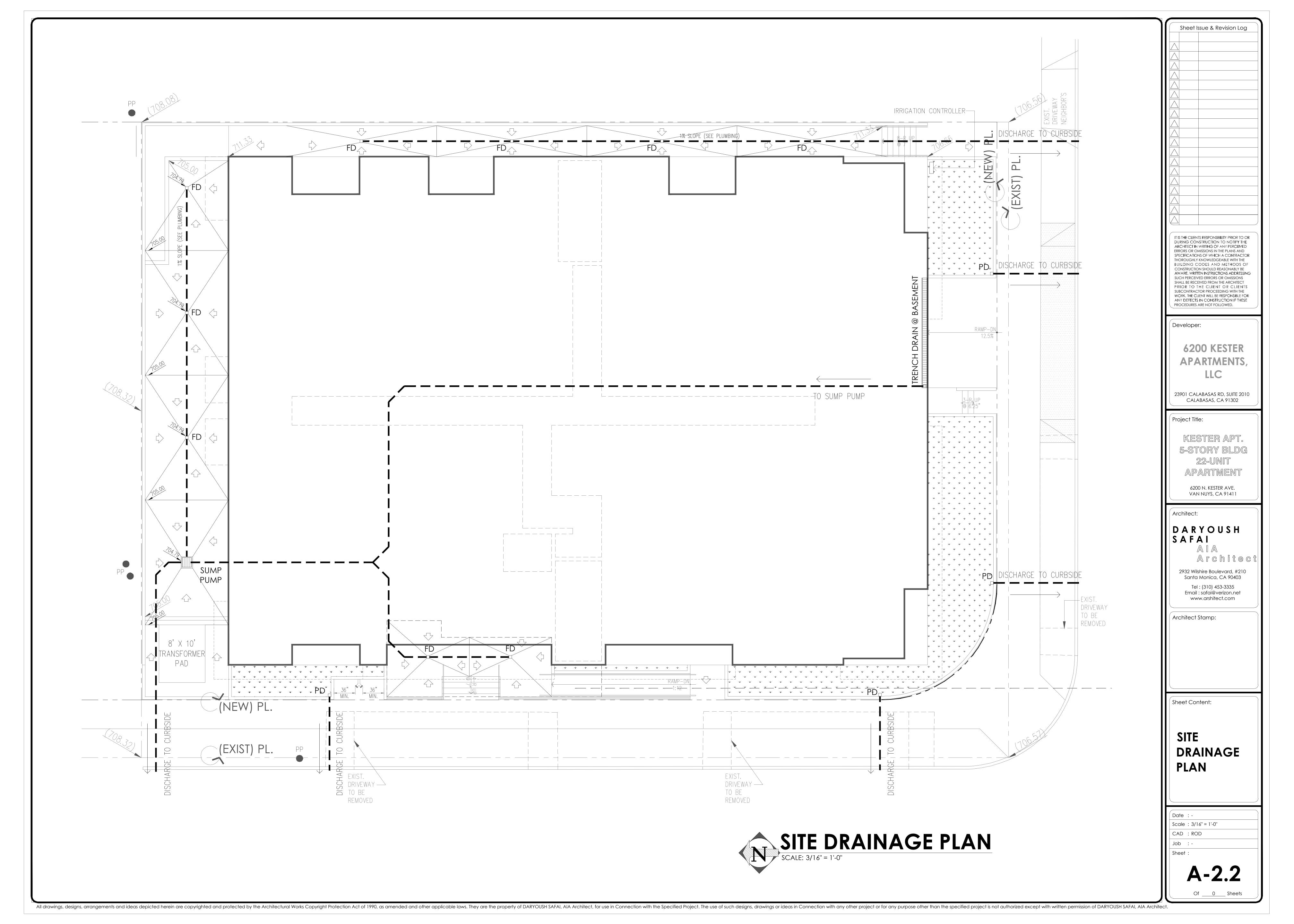
APN	_	ASSESSOR'S PARCEL NUMBER	POR	_	PORTION
BW	_	BACK OF WALK	(P)	_	PRORATED
Ç/CL	_	CENTERLINE	PC PC	_	PROPERTY CORNER
Č.L.F.	_	CHAIN LINK FENCE	PG	_	PAGE
CONC	_	CONCRETE	P_/PL	_	PROPERTY LINE
DWY	_	DRIVEWAY	Р́МS	_	PUNCH MARKS
EST	_	ESTABLISH	PROD	_	PRODUCED (PROLONGED)
FB	_	FIELD BOOK	(R)	_	RECORD
FD	_	FOUND	REF	_	REFERENCE
FF	_	FINISH FLOOR ELEV.	SSDM	_	STANDARD SURVEY DISC MONUMENT
FL	_	FLOWLINE FLEV.	SMH	_	SEWER MANHOLE
. –			TC	_	TOP OF CURB ELEV.
FS	_	FINISH SURFACE ELEV.	TR	_	TRACT MAP
INTER	_	INTERSECTION			
L & T	_	LEAD & TACK	W.I.F.	-	WROUGHT IRON FENCE
(M)	_	MEASURED	N/0	_	NORTH OF
МВ	_	MAP BOOK	W/O	_	WEST OF
POL	_	POINT ON LINE	N <b>ʻ</b> LY	_	NORTHERLY

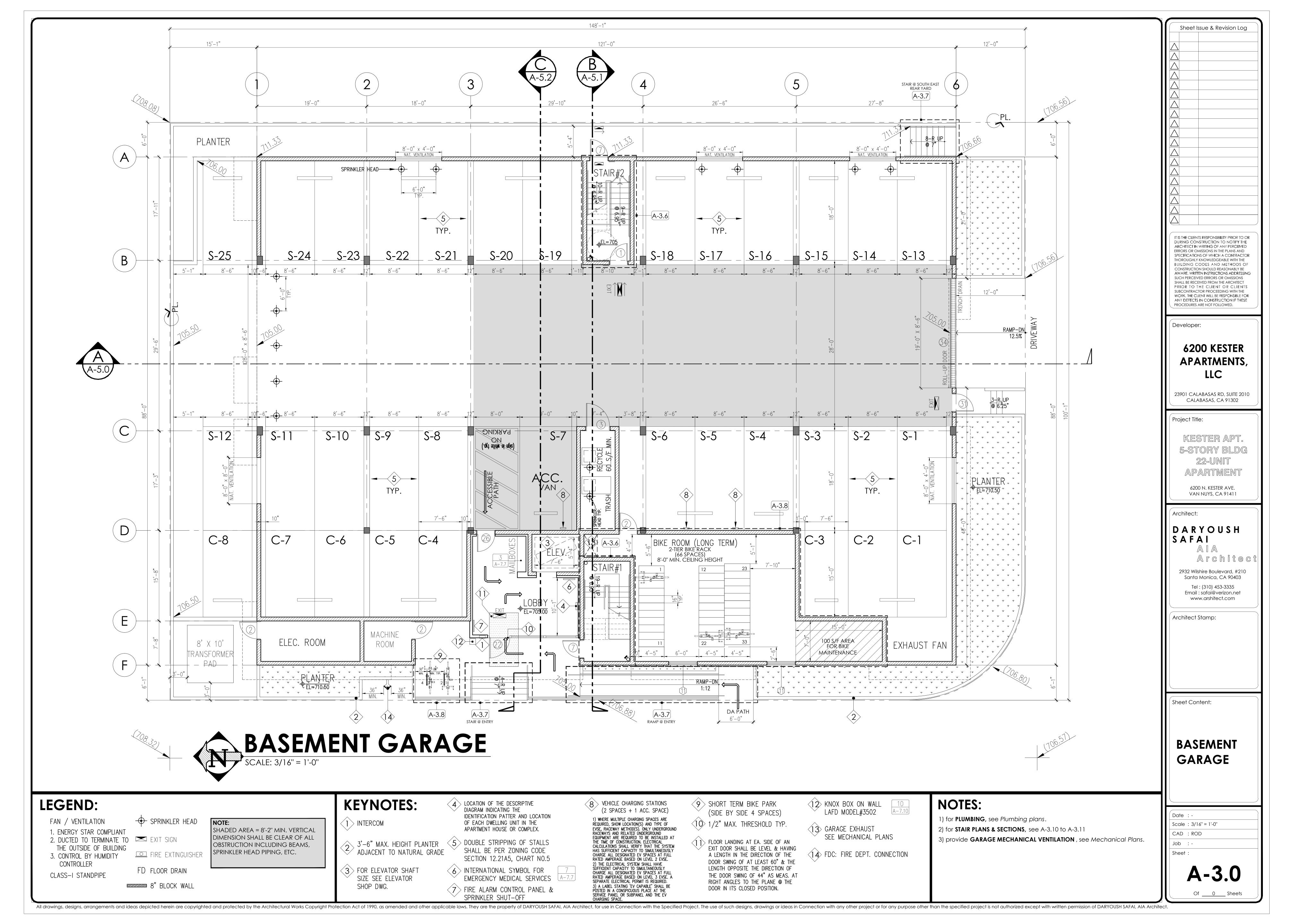


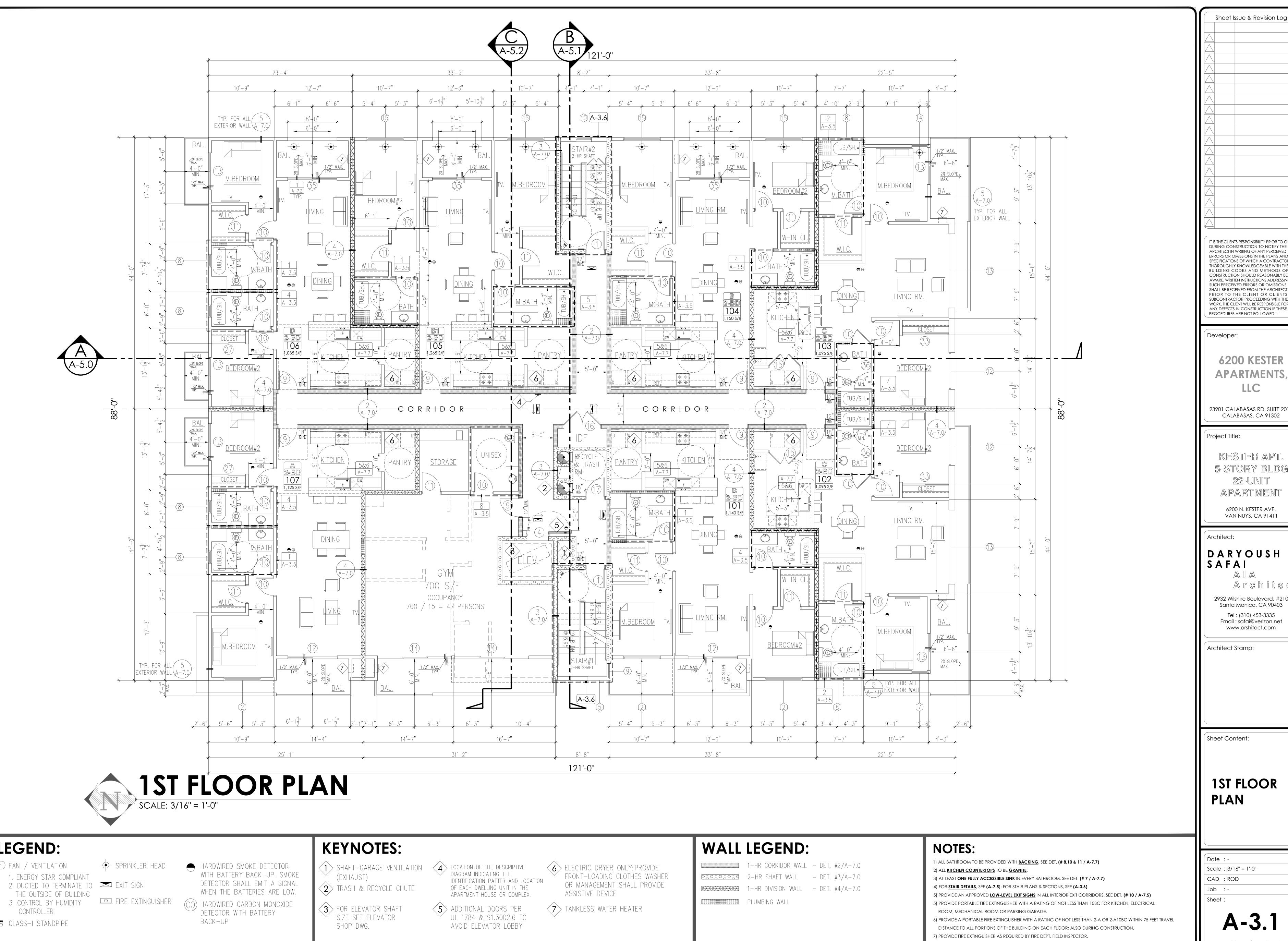


TOPOGRAPHIC SURVEY 6200 KESTER AVE. & 14849 W. DELANO ST., VAN NUYS	
CLIENT: MR. KURT GIBBS	JOB NO.: 15-8905
SCALE: 1"=10'	DATE: 05/19 /15
DESIGNED BY: F.G. / D.C. DRAWN BY:	REVISION (S):
F.B. CHECKED BY:	SHEET 1
[ C.DL.	OF 1 SHEET









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23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

> 6200 N. KESTER AVE. VAN NUYS, CA 91411

DARYOUSH SAFAI

> Architect 2932 Wilshire Boulevard, #210 Santa Monica, CA 90403 Tel: (310) 453-3335 Email: safai@verizon.net

Architect Stamp:

1ST FLOOR **PLAN** 

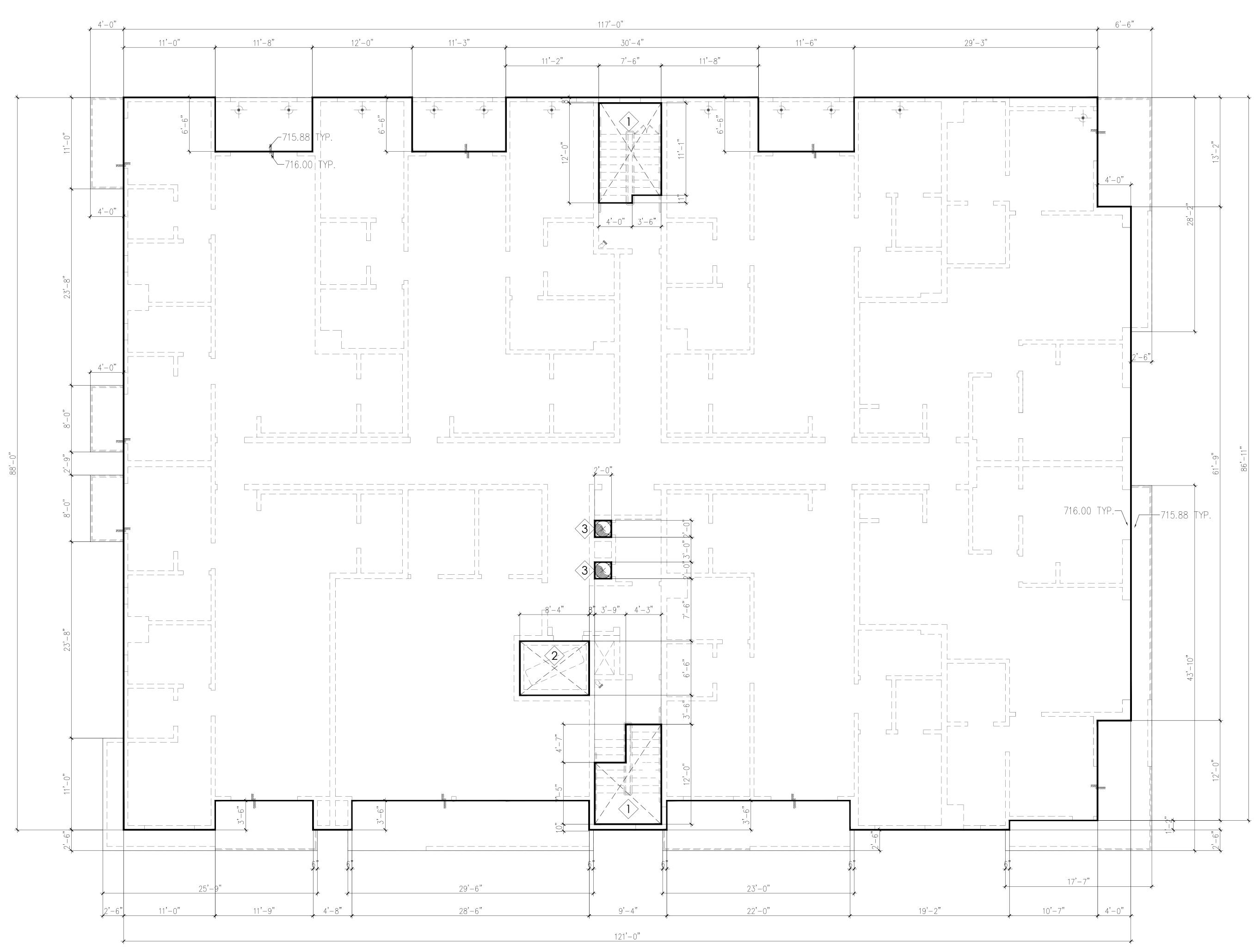
#### LEGEND:

- FAN / VENTILATION
- 3. CONTROL BY HUMIDITY
- 7 CLASS-I STANDPIPE

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# **KEYNOTES:**

STAIR SHAFT

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 $\widehat{2}$  for elevator shaf

3 TRASH CHUTE SHAFT

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> AIA Architect

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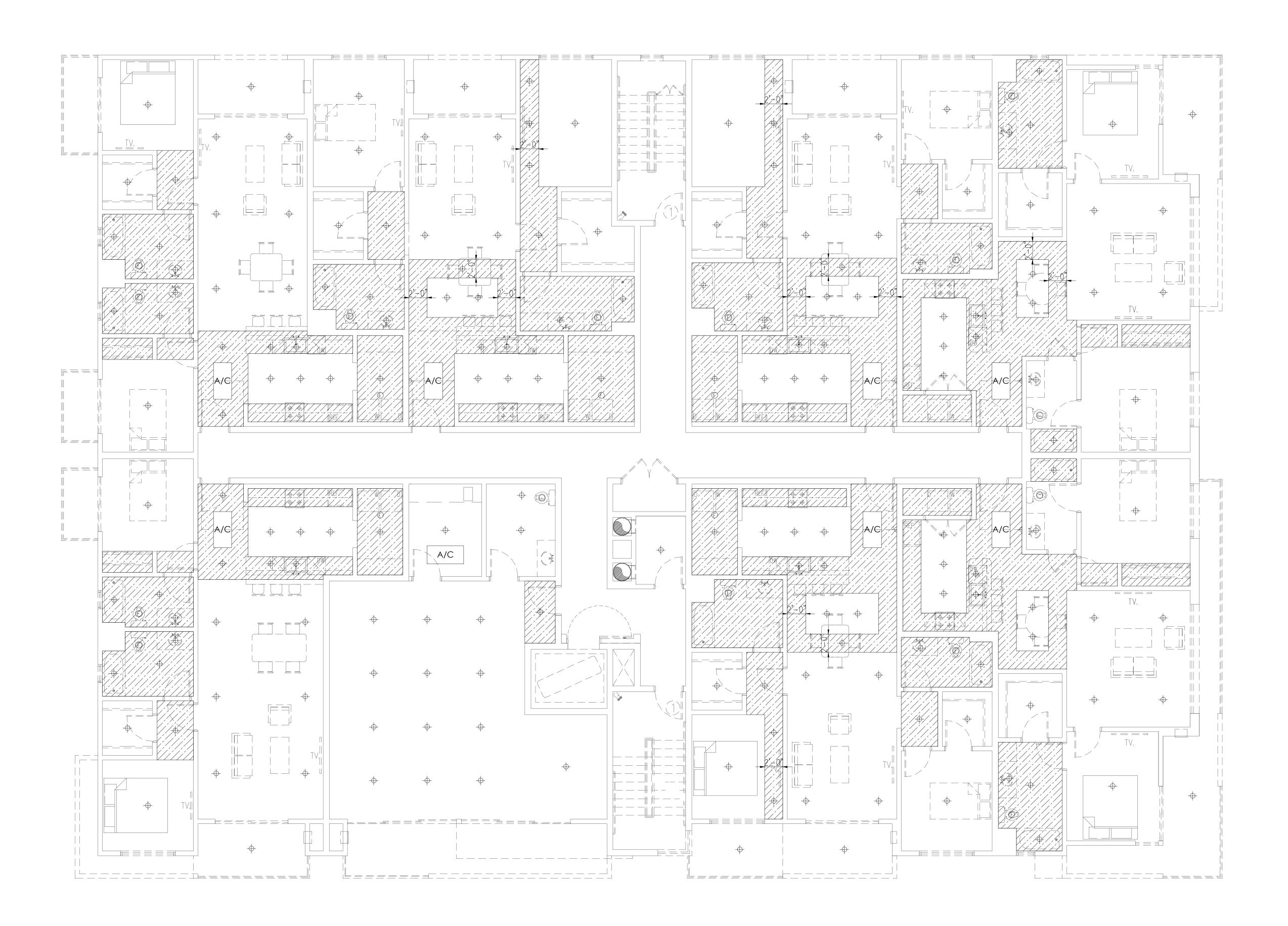
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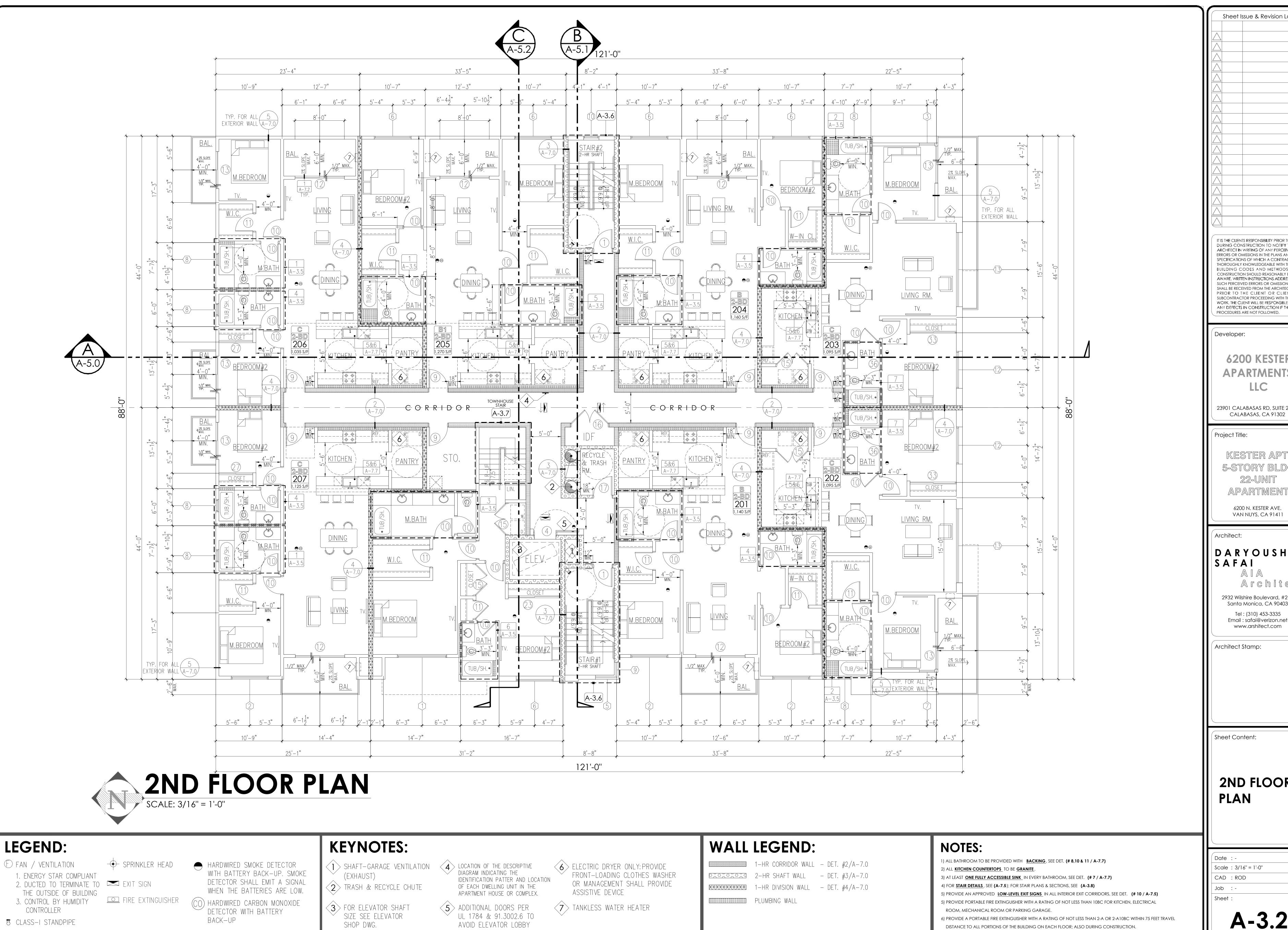
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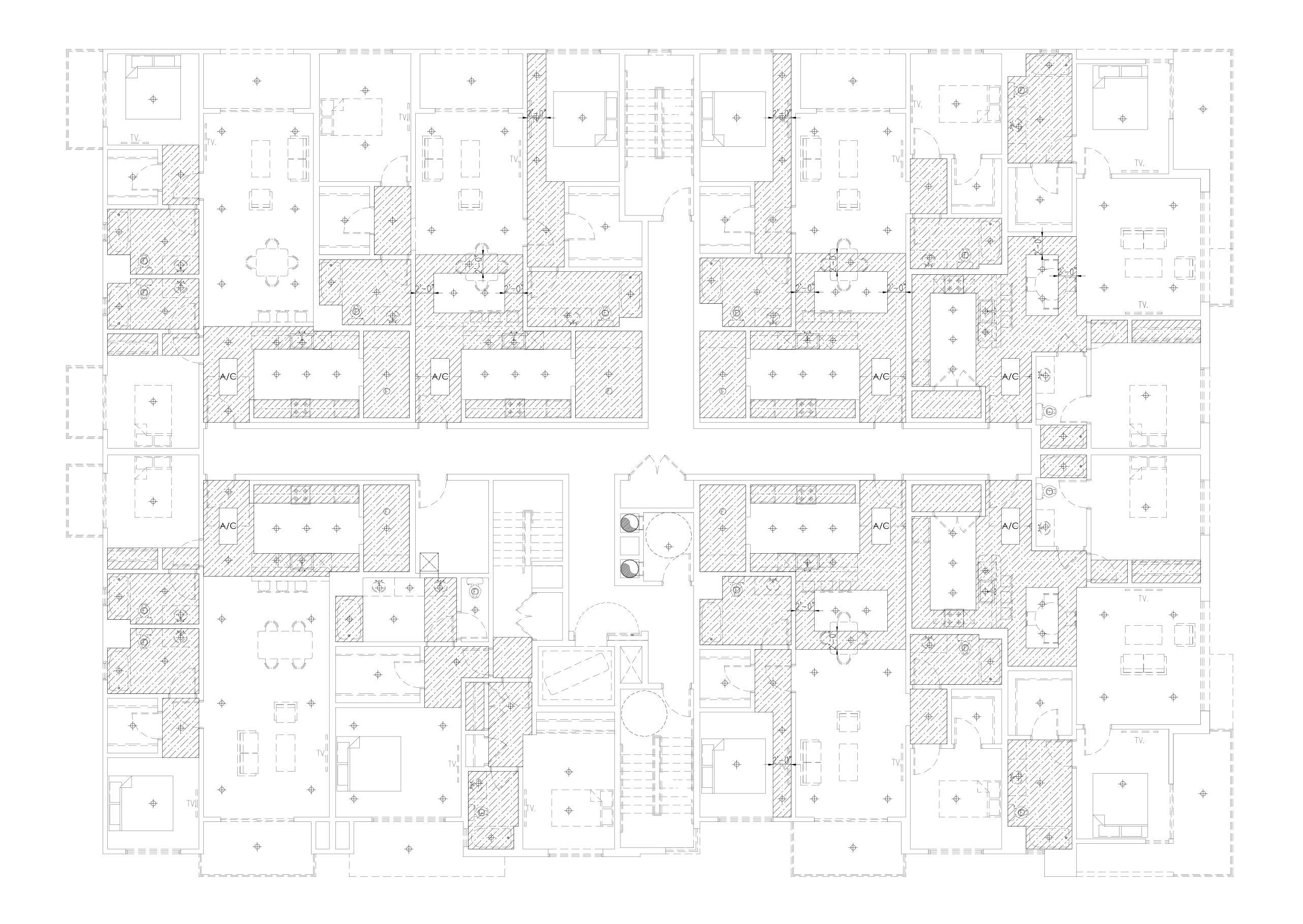
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2ND FLOOR

7) PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.

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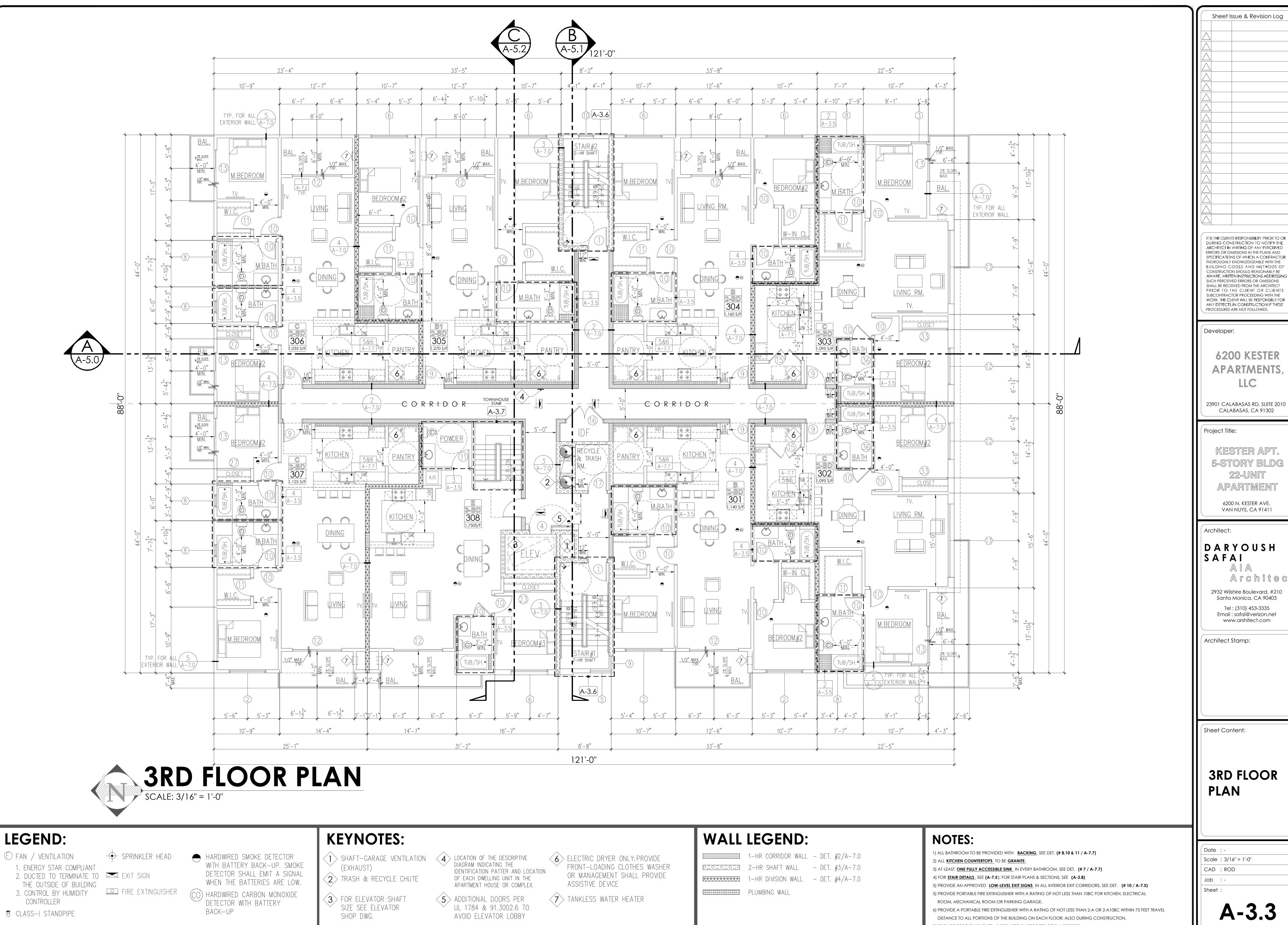
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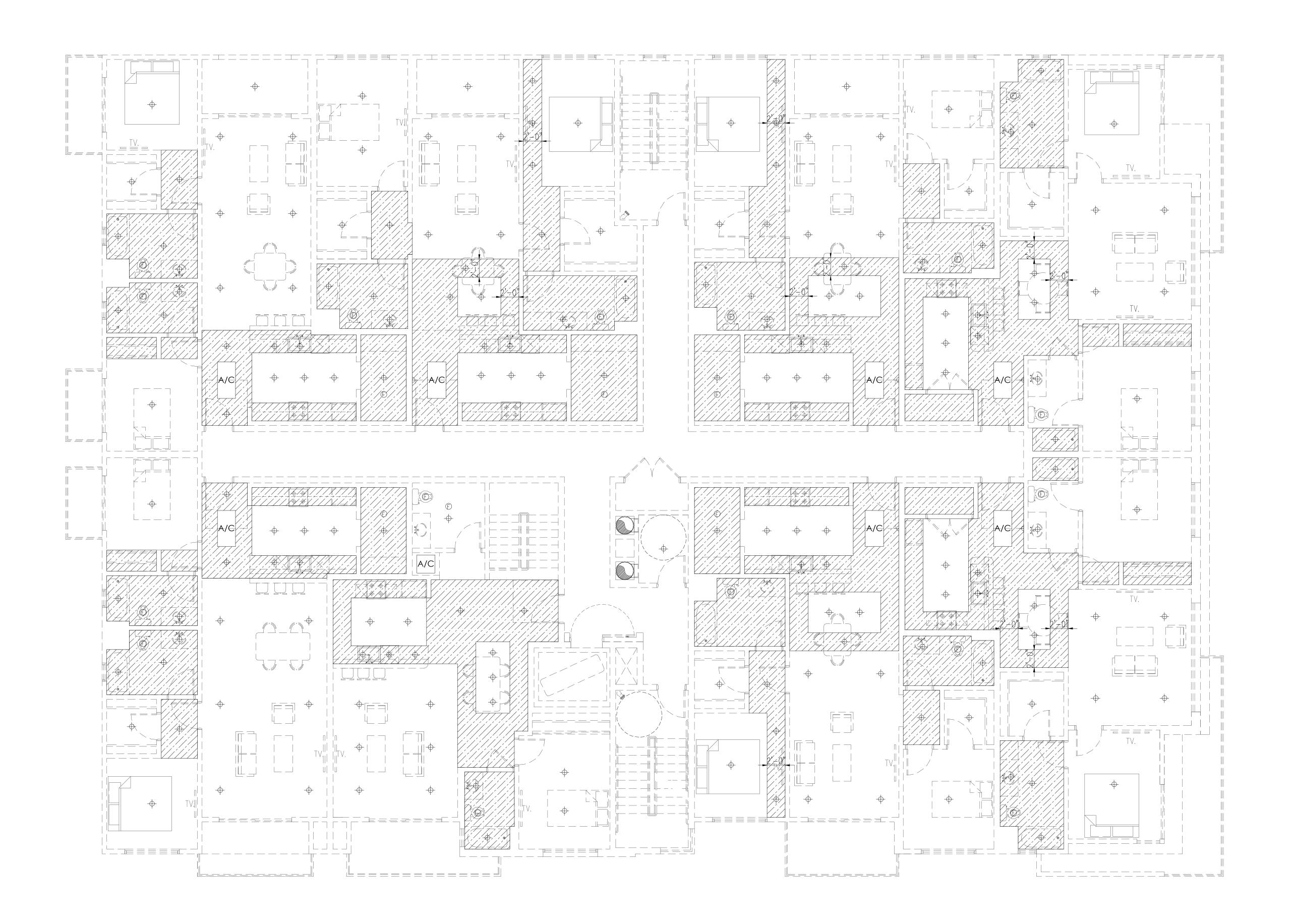
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3RD FLOOR **PLAN** 

7) PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.

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APARTMENTS
LLC

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Project Titl

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> AIA Architec

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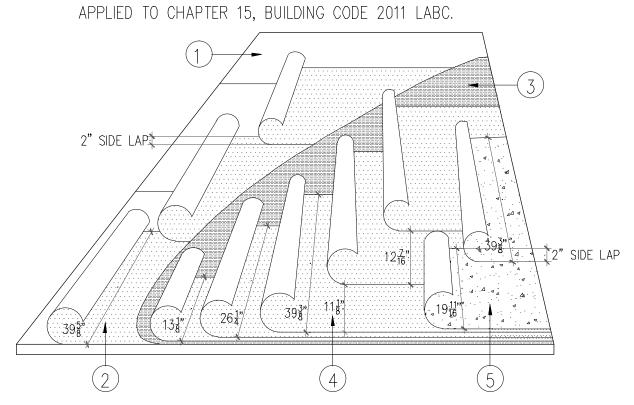
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#### CLASS "B" **ROOFING SPECIFICATION** FIVE (5) PLY BUILT-UP ROOFING SYSTEM FOR USE OVER PLYWOOD OR OTHER NAILABLE DECKS.

ALL ROOF CONSTRUCTION AND COVERING SHALL BE



20 YRS. DIAMOND PLEDGE AND SYSTEM PLEDGE SPECIFICATIONS: SPECIFICATION #: N-B-5-M/P6

BOTTOM SHEET ATTACHMENT	BASE SHEET	INTERPLY	INTERPLY
NAILED	STRATAVENT NAILABLE	FLEXPLY 6	FLEXPLY 6
NAILED	#75 BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED	#80 ULTIMA BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED	MODIFIED BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED FLEX	PLY 6 W/ SHEATHING PAPER	FLEXPLY 6	FLEXPLY 6

THE ABOVE SPECIFIED PRODUCT OFFERS UP TO 20 YEARS ALL CONSTRUCTION WORK MUST COMPLY WITH BUILDING CODE NRCA ROOFING AND THE OWNER WILL EMPLOY A ROOFING AND WATERPROOFING

ELASTOMERIC COATING FOR DECK OR ROOF.

WATERPROOFING ON PLANTERS.

WATERPROOFING ON OPEN SPACES ABOVE THE STRUCTURAL DECK. D. WATERPROOFING ON PERIMETER EXTERIOR WALL OF BASEMENT.

1) GUARANTEE FROM GAF MATERIALS CORPORATION OR SIMILAR. OWNER OR GENERAL CONTRACTOR OR ROOFER MUST BUY SUCH A GUARANTEE AND MAIL CERTIFICATE TO ARCHITECT'S OFFICE.

2) AND USE THE RECOMMENDATIONS OF THE WATERPROOFING MANUAL

3) CONSULTANT SERVICE TO INSPECT INSTALLATION OF THE FOLLOWING:

4) PRE-INSTALLATION MEETING:

PRIOR TO START OF INSTALLATION, ARRANGE A PRE-INSTALLATION MEETING BETWEEN THE MANUFACTURER OF THE WATERPROOFING COMPANY AND THE TRADE(S) RESPONSIBLE FOR THEIR INSTALLATION SUCH AS ROOFER, SHEET METAL FRAMER, SUPERINTENDENT, GENERAL CONTRACTOR AND ROOFER CONSULTANT.

5) APPLY WATERPROOFING MATERIALS ONLY IN DRY WEATHER WHEN THE OUTSIDE TEMPERATURE IS ABOVE 45 DEGREES FAHRENHEIT. DO NOT APPLY WATERPROOFING MATERIALS ON DAMP, WET OR FROST COVERED SURFACE.

6) FOR MORE INFORMATION REGARDING THIS PRODUCT, SEE APPLICATION AND SPECIFICATION MANUAL FOR GAF MANUFACTURING.

GAF MATERIALS CORPORATION 11800 INDUSTRY AVE. FONTANA, CA. 92337 TEL. (951)360-4200 TECHNICAL SUPPORT 1(800) 766-3411

#### ROOF, SUN DECK & BALCONY WATERPROOFING FIRE RETARDANT TUFFLEX RR # 25567

1) APPLY POLYURETHANT SEALANT FOR EXPANSION JOINTS AND CRACKS. 2) APPLY FIBERGLASS MASH.

3) APPLY ONE COAT OF ELASTO DECK TO SEAL THE DECK

4) APPLY TWO COAT OF ELASTO DECK 500 FOR WATERPROOFING.

5) APPLY ONE COAT OF ELASTO GLAZE 6001 AL FOR FINISHING.

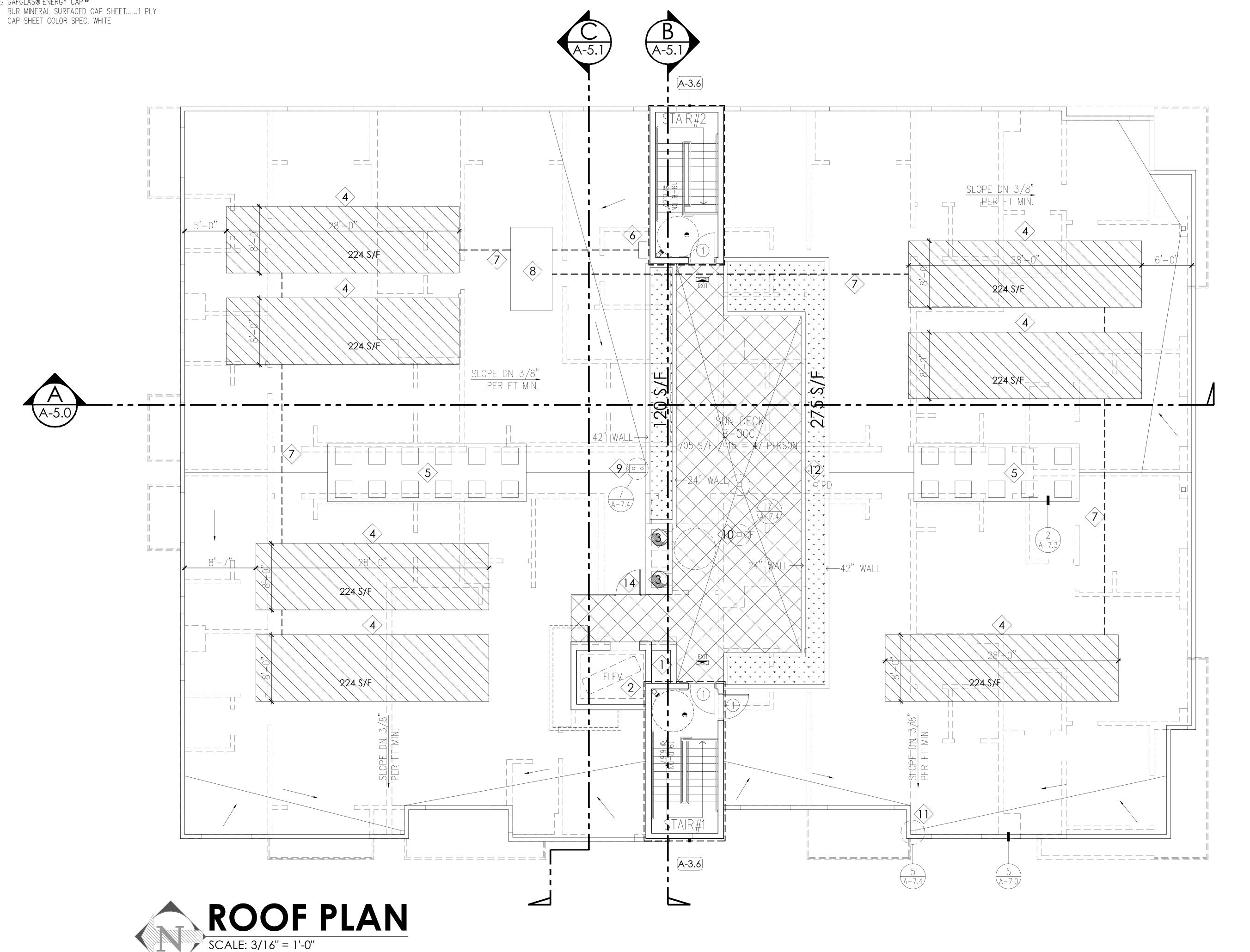
6) NON-SKID FOR FOOT TRAFFIC BROADCAST TOUCH FILLER #36

INTO FINISH COAT WHILE STILL WET.

#### **KEYNOTES:**

(1) NAILABLE DECK (SHEATHING PAPER REQUIRED) 2) base sheet.... 3 ROOFING ASPHALT......25 LBS./100 S/F 4) GAFGLAS INTERPLY SHEETS...... PLIES 5) GAFGLAS® ENERGY CAP™

#### ATTACH PDF ROOF SPECS HERE



#### **LEGEND:**

- EXIT SIGN
- 8 CLASS-I STANDPIPE
- A HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.

#### **KEYNOTES:**

- 1> SHAFT-GARAGE VENTILATION (EXHAUST)
- (2) for elevator shaft size see ELEVATOR SHOP DWG.
- (3) TRASH CHUTE
- 4 SOLAR PANEL REQUIREMENTS: ROOF SQUARE FOOTAGE = 9,910 SQ FT 9,910 X 15% = 1,487 SQ FT PROVIDED 224 S/F x 6 = 1,568 SQ FT UNDER SEPARATE PERMIT
- $\langle 5 \rangle$  A/C UNIT PAD SEE PLUMBING PLAN
- 6 INVERTERS & METERING EQUIPMENT THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
- 7 PATHWAY FOR ROUTING OF PLUMBING, METERING EQUIPMENT & INVERTERS FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM. SEE PLUMBING PLAN
- 8 EQUIPMENT PLATFORM FOR RAYPAK WATER HEATER SEE FLASHING DETAIL

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- 9 COMBINATION OF FLOOR DRAIN AND OVERFLOW
- 10 OVERFLOW 2" ABOVE FLOOR DRAIN
- (1) FLOOR DRAIN & OVERFLOW
- 12 PLANTER DRAIN

 $\sqrt{3}$  3'-0" X 4'-0" DOOR WITH PADLOCK FOR SERVICE USE ONLY

- 3'-0" X 4'-0" GATE WITH PADLOCK NOTE: FOR SERVICE USE ONLY THE M.

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OFA DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"

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Architect:

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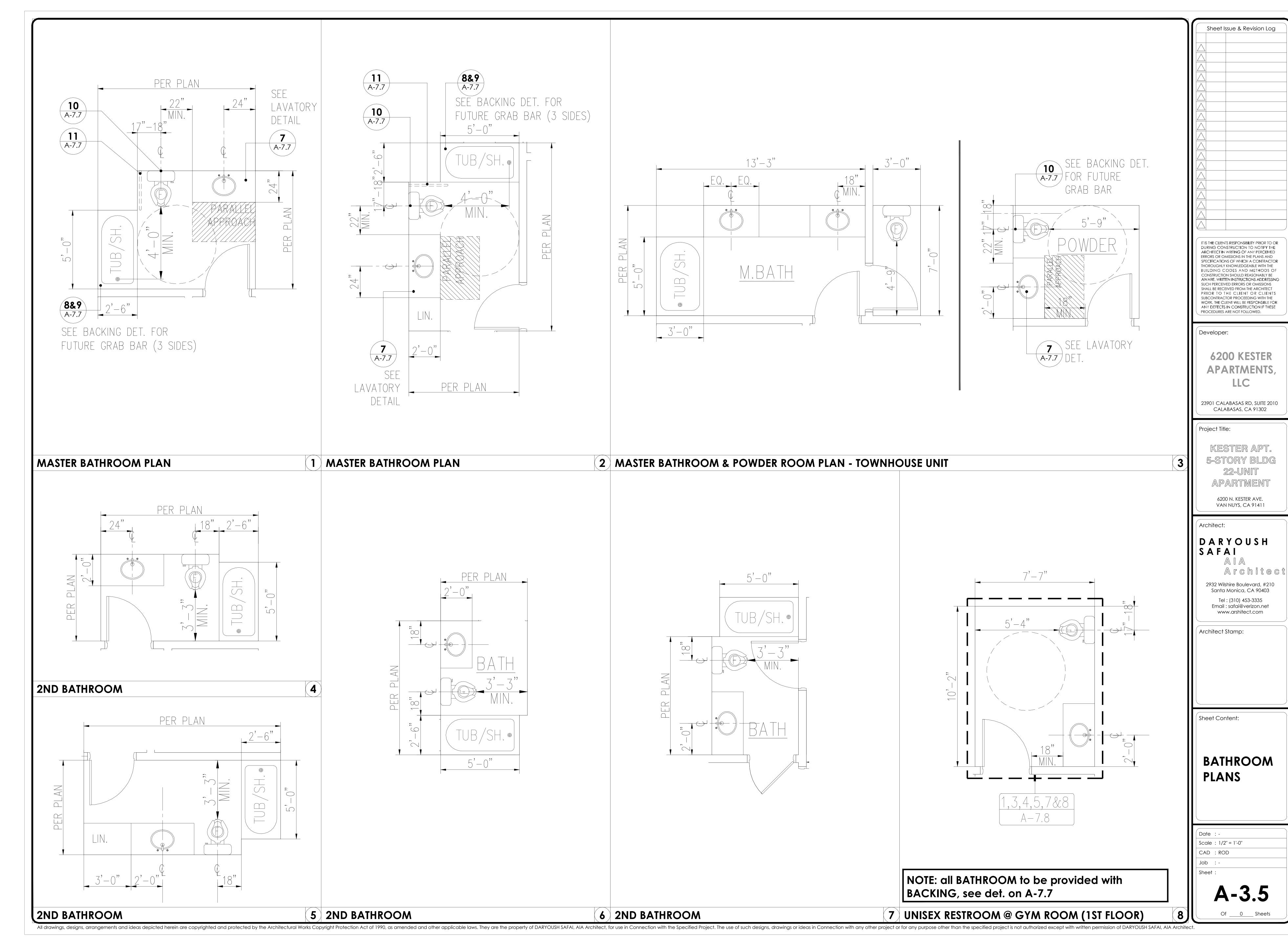
**ROOF PLAN** 

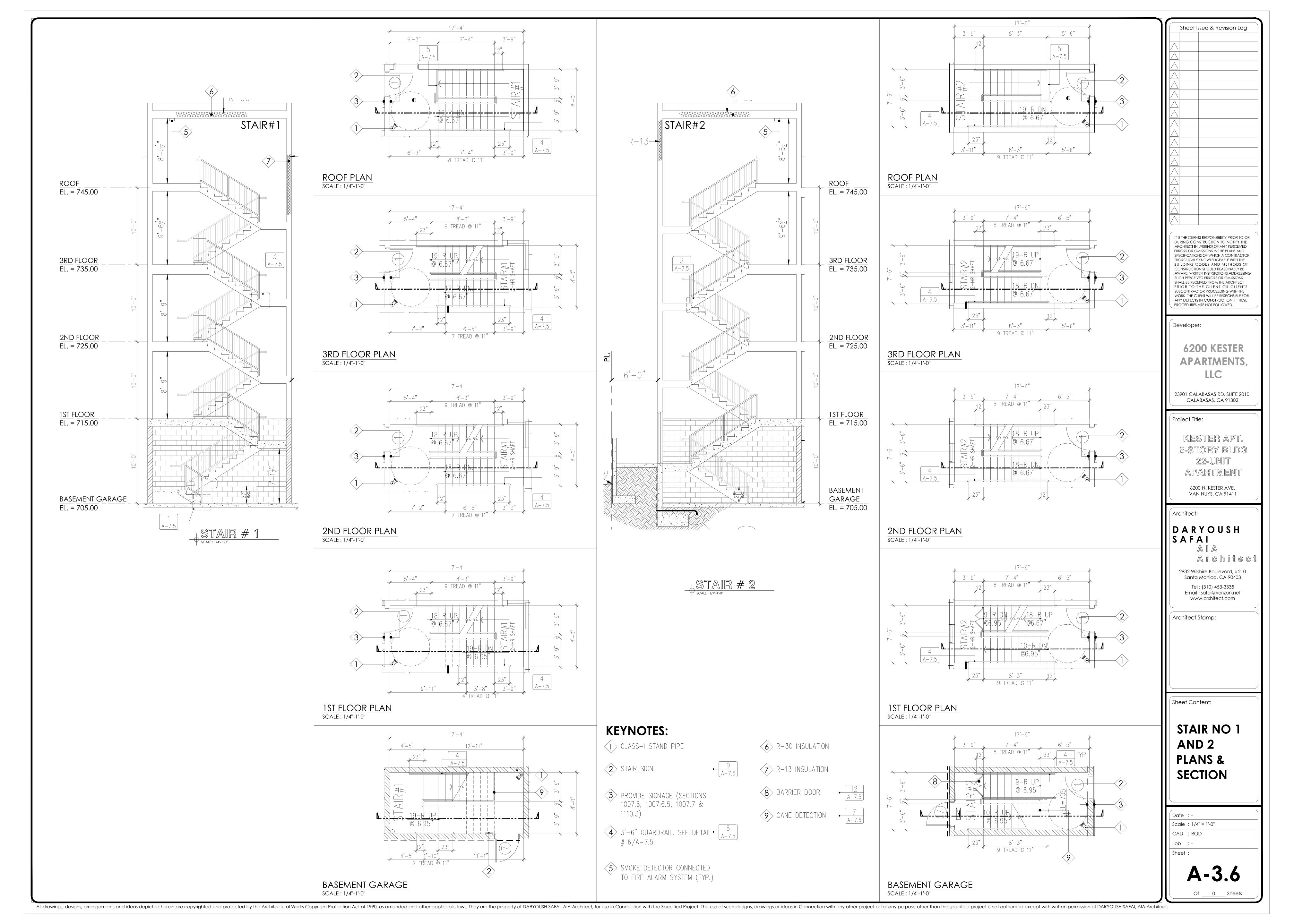
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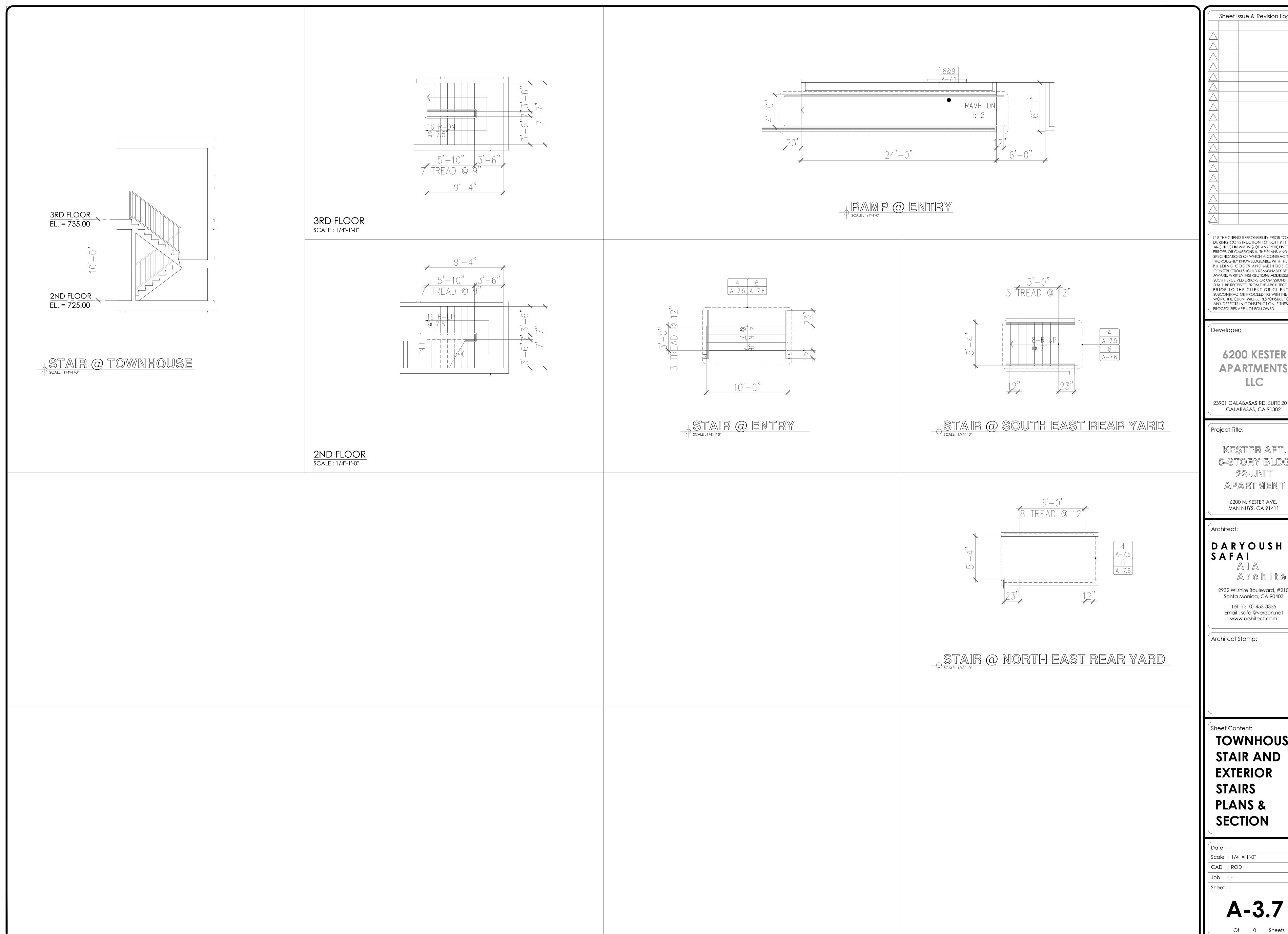
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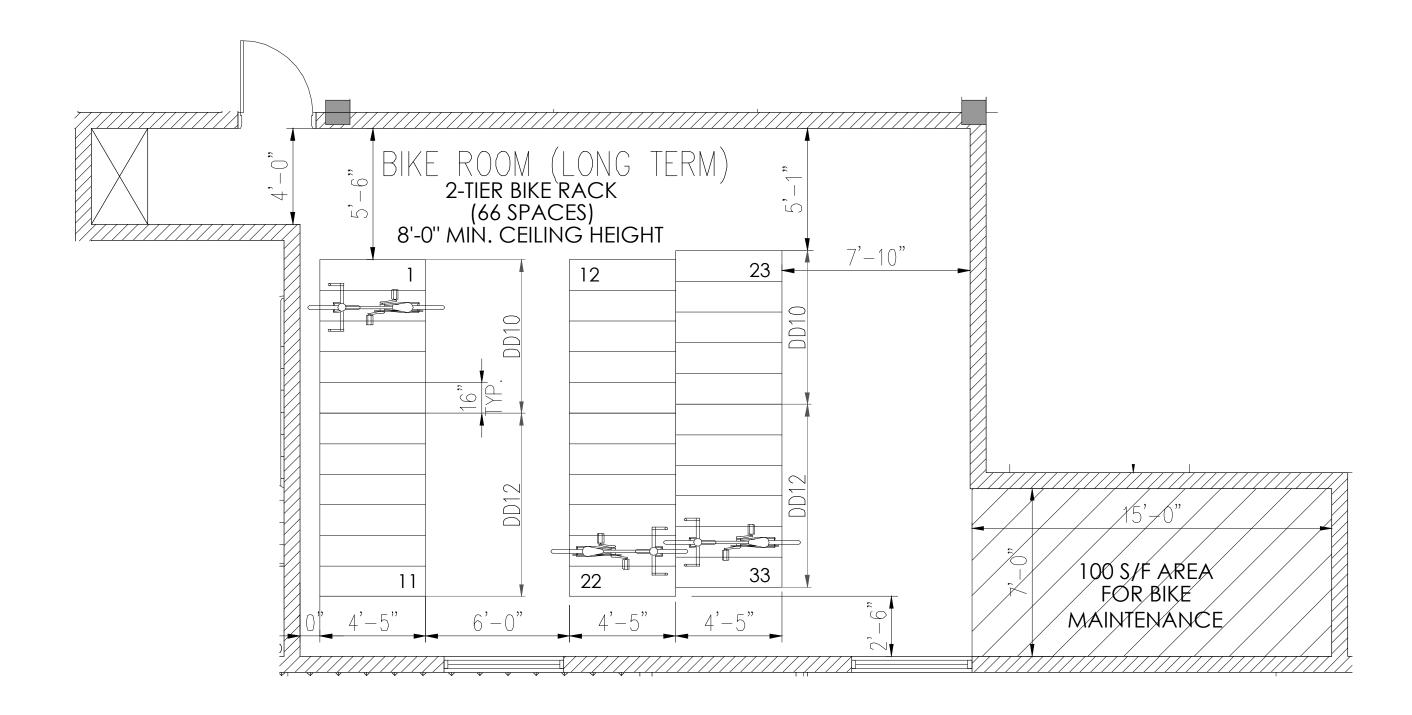
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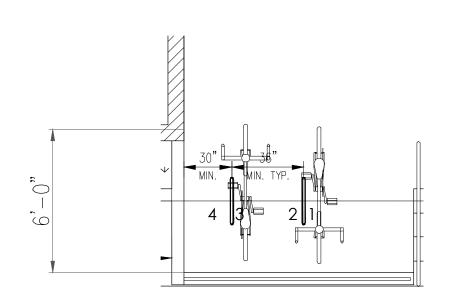
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**TOWNHOUSE** STAIR AND **EXTERIOR** PLANS &



# BIKE ROOM (LONG TERM) - BASEMENT GARAGE



- RACKS SHALL BE LOCATED OUTSIDE THE BUILDING. RACK SHALL BE SPACED A MIN. 30 INCHES ON CENTER. — RACKS INSTALLED PARALLEL TO WALLS SHALL BE A MIN. 30 - RACKS SHALL ALLOW FOR THE BICYCLE FRAME AND AT LEAST

ONE WHEEL TO BE LOCKED TO THE RACKS

— RACKS SHALL ALLOW FOR THE USE OF CABLE AS WELL AS

- RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT - SHALL BE LOCATED TO MAXIMIZE VISIBILITY FROM THE MAIN

- SHALL BE LOCATED NO FARTHER THAN 50 FEET OF WALKING

DISTANCE FROM A MAIN PEDESTRIAN ENTRANCE TO THE NEAREST OFF-STREET AUTOMOBILE PARKING SPACE, WHICHEVER IS CLOSER

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BIKE RACK (SHORT TERM) - FRONT YARD

ATTACH PDF BIKE SPECS HERE



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**BIKE ROOM** PLAN AND DETAIL

Scale : 1/4" = 1'-0"



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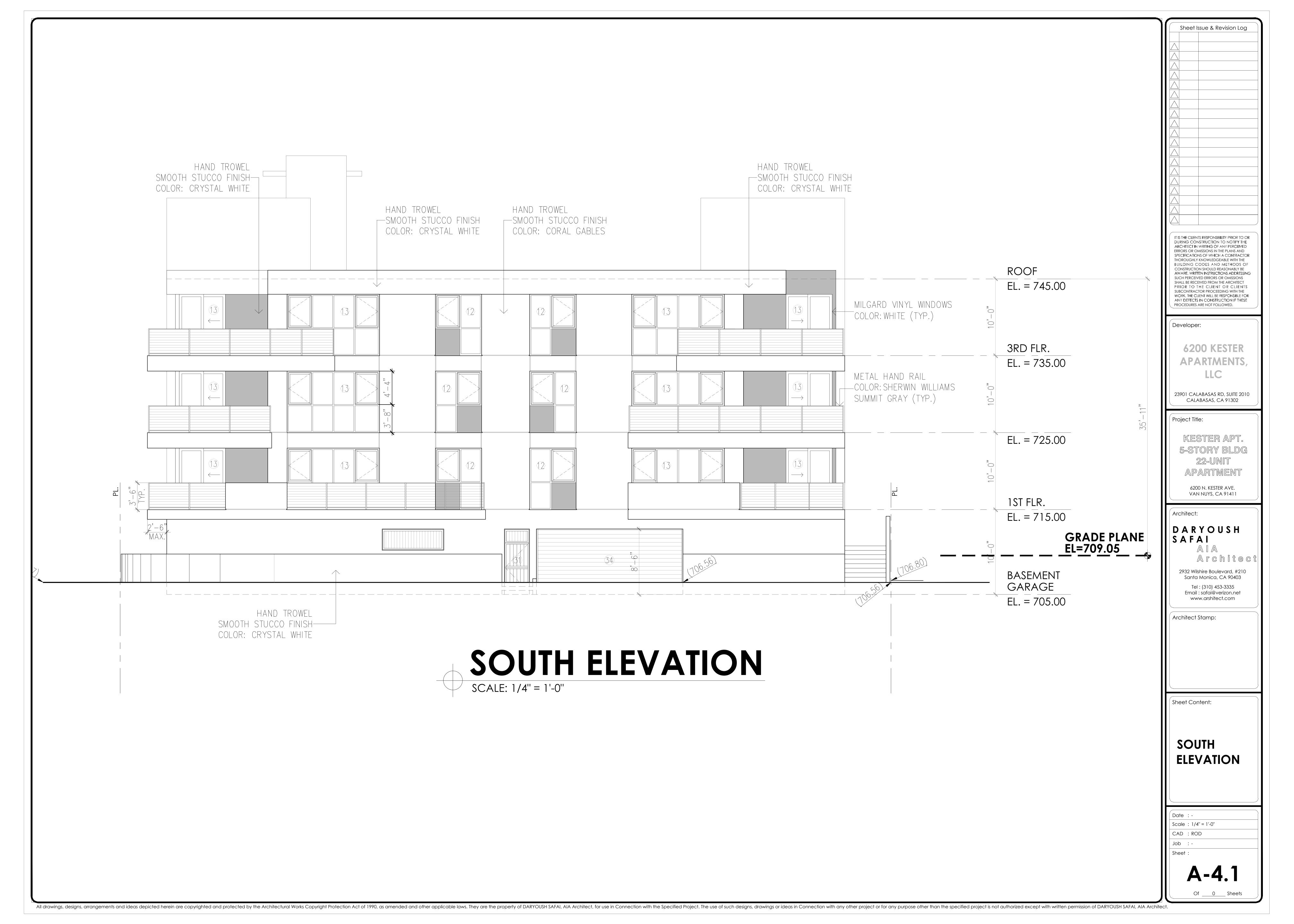
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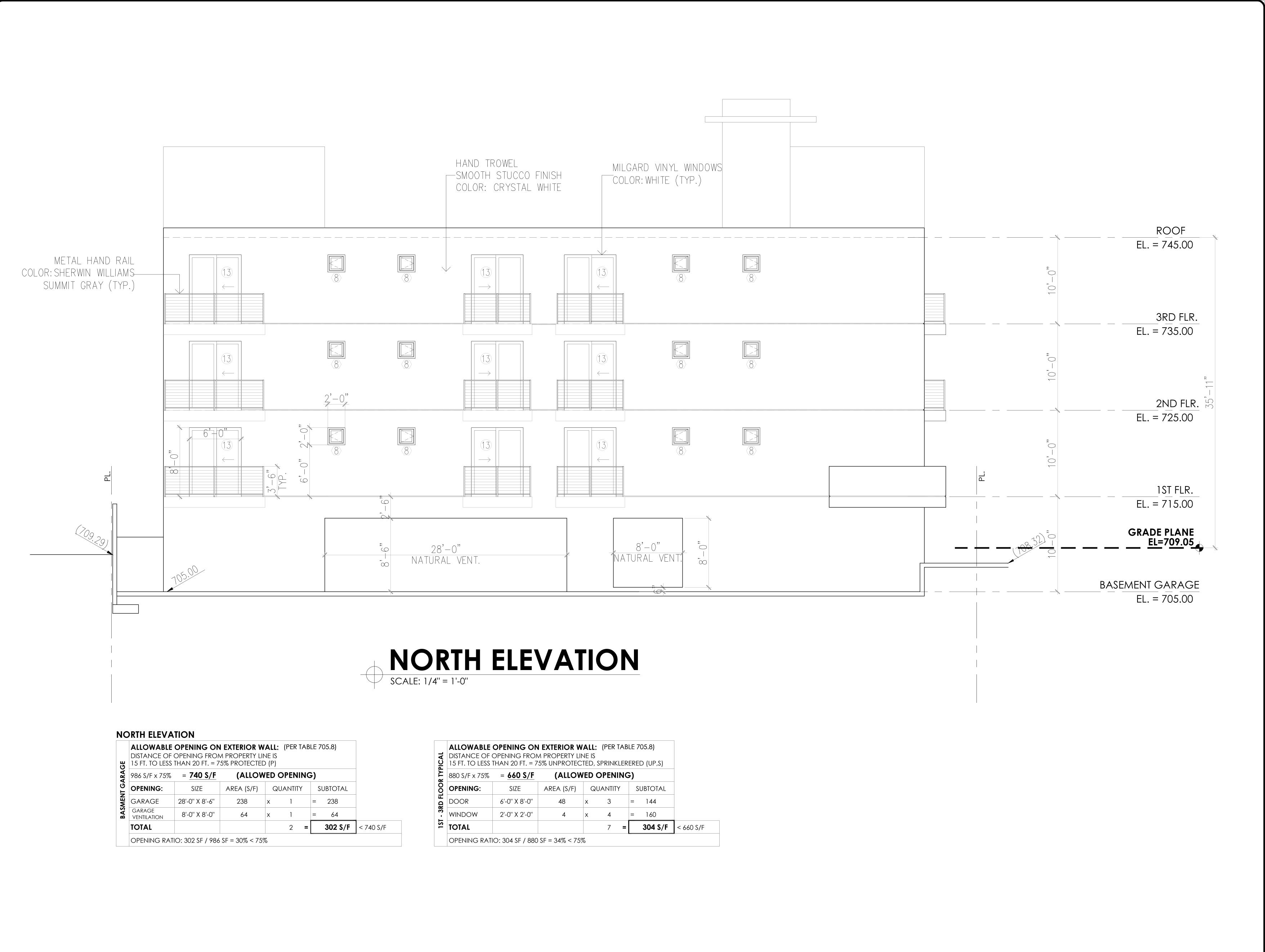
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6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

> 6200 N. KESTER AVE. VAN NUYS, CA 91411

Architect:

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NORTH ELEVATION

Date : Scale : 1/4" = 1'-0"

CAD : ROD

Job : Sheet :

A-4.2



**EAST ELEVATION** 

	O. EEE 771113					_			
GE	ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8) DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% PROTECTED (P)								
GARAGE	706 S/F x 25%	= 176 S/F	(ALLOW	ED OPENING	<b>G</b> )				
	OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL				
BASEMENT	GARAGE VENTILATION	8'-0" X 2'-6"	20	x 3	= 60				
B/	TOTAL			3 =	60 S/F	< 176 S/F			
	OPENING RATI	io: 96SF / 706 S	F = 14% < 25%			<u>'</u>			

DISTANCE OF	OPENING FROM	M PROPERTY LI	NE IS	•		•	
1,170 S/F x 25%	% = <b>293 S/F</b>	(ALLOW	/ED C	PENIN	G)		
OPENING:	SIZE	AREA (S/F)	QU	ANTITY	S	UBTOTAL	
WINDOW	2'-6" X 4'-6"	12	х	1	=	12	
WINDOW	2'-0" X 2'-0"	4	Х	1	=	4	
WINDOW	6'-0" X 4'-6"	27	X	4	=	108	
WINDOW	2'-6" X 3'-0"	8	х	1	=	8	
BALCONY	8'-0" X 5'-3"	42	х	3	=	126	
TOTAL				9 =	:	258 S/F	< 300 S/F
	DISTANCE OF 5 FT. TO LESS TO 1,170 S/F x 259  OPENING: WINDOW WINDOW WINDOW WINDOW BALCONY	DISTANCE OF OPENING FROM 5 FT. TO LESS THAN 10 FT. = 25  1,170 S/F x 25% = 293 S/F  OPENING:  SIZE  WINDOW  2'-6" X 4'-6"  WINDOW  6'-0" X 4'-6"  WINDOW  2'-6" X 3'-0"  BALCONY  8'-0" X 5'-3"	DISTANCE OF OPENING FROM PROPERTY LII         5 FT. TO LESS THAN 10 FT. = 25% UNPROTECT         1,170 S/F x 25% = 293 S/F       (ALLOW         OPENING:       SIZE       AREA (S/F)         WINDOW       2'-6" X 4'-6"       12         WINDOW       2'-0" X 2'-0"       4         WINDOW       6'-0" X 4'-6"       27         WINDOW       2'-6" X 3'-0"       8         BALCONY       8'-0" X 5'-3"       42	DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SF         1,170 S/F x 25% = 293 S/F       (ALLOWED C         OPENING:       SIZE       AREA (S/F)       QU         WINDOW       2'-6" X 4'-6"       12       x         WINDOW       2'-0" X 2'-0"       4       x         WINDOW       6'-0" X 4'-6"       27       x         WINDOW       2'-6" X 3'-0"       8       x         BALCONY       8'-0" X 5'-3"       42       x	DISTANCE OF OPENING FROM PROPERTY LINE IS         5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERI         1,170 S/F x 25% = 293 S/F       (ALLOWED OPENING)         OPENING:       SIZE       AREA (S/F)       QUANTITY         WINDOW       2'-6" X 4'-6"       12       x       1         WINDOW       2'-0" X 2'-0"       4       x       1         WINDOW       6'-0" X 4'-6"       27       x       4         WINDOW       2'-6" X 3'-0"       8       x       1         BALCONY       8'-0" X 5'-3"       42       x       3	DISTANCE OF OPENING FROM PROPERTY LINE IS         5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED         1,170 S/F x 25% = 293 S/F       (ALLOWED OPENING)         OPENING:       SIZE       AREA (S/F)       QUANTITY       S         WINDOW       2'-6" X 4'-6"       12       x       1       =         WINDOW       2'-0" X 2'-0"       4       x       1       =         WINDOW       6'-0" X 4'-6"       27       x       4       =         WINDOW       2'-6" X 3'-0"       8       x       1       =         BALCONY       8'-0" X 5'-3"       42       x       3       =	5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED (UP,S)  1,170 S/F x 25% = 293 S/F (ALLOWED OPENING)  OPENING: SIZE AREA (S/F) QUANTITY SUBTOTAL  WINDOW 2'-6" X 4'-6" 12 x 1 = 12  WINDOW 2'-0" X 2'-0" 4 x 1 = 4  WINDOW 6'-0" X 4'-6" 27 x 4 = 108  WINDOW 2'-6" X 3'-0" 8 x 1 = 8  BALCONY 8'-0" X 5'-3" 42 x 3 = 126

	DISTANCE OF	OPENING ON OPENING FROM THAN 10 FT. = 25	M PROPERTY LI	NE IS	·		•	
O <sub>R</sub>	1,170 S/F x 25	% = <b>293 S/F</b>	(ALLOV	VED (	OPENIN	G)		
FLOC	OPENING:	SIZE	AREA (S/F)	QI	JANTITY	S	UBTOTAL	_
1ST	WINDOW	2'-6" X 3'-6"	9	Х	1	=	9	_
	WINDOW	2'-0" X 2'-0"	4	Х	1	=	4	
	WINDOW	6'-0" X 3'-6"	21	Х	4	=	84	
	WINDOW	2'-6" X 3'-0"	8	Х	1	=	8	_
	BALCONY	8'-0" X 3'-6"	28	Х	3	=	84	
	TOTAL				9 =	•	189 S/F	< 300 S

	DISTANCE OF	OPENING ON OPENING FROM THAN 10 FT. = 25	M PROPERTY LI	NE IS				
O <sub>R</sub>	1,170 S/F x 259	% = <b>293 S/F</b>	(ALLOW	/ED (	OPENIN	G)		
FLOOR	OPENING:	SIZE	AREA (S/F)	QI	JANTITY	S	UBTOTAL	
3RD	WINDOW	2'-6" X 4'-6"	12	Х	1	=	12	
	WINDOW	2'-0" X 2'-0"	4	Х	1	=	4	
	WINDOW	6'-0" X 4'-6"	27	X	4	=	108	
	WINDOW	2'-6" X 3'-2"	8	Х	1	=	8	
	BALCONY	8'-0" X 6'-6"	52	Х	3	=	156	
	TOTAL				9 =	:	288 S/F	< 300 S/F

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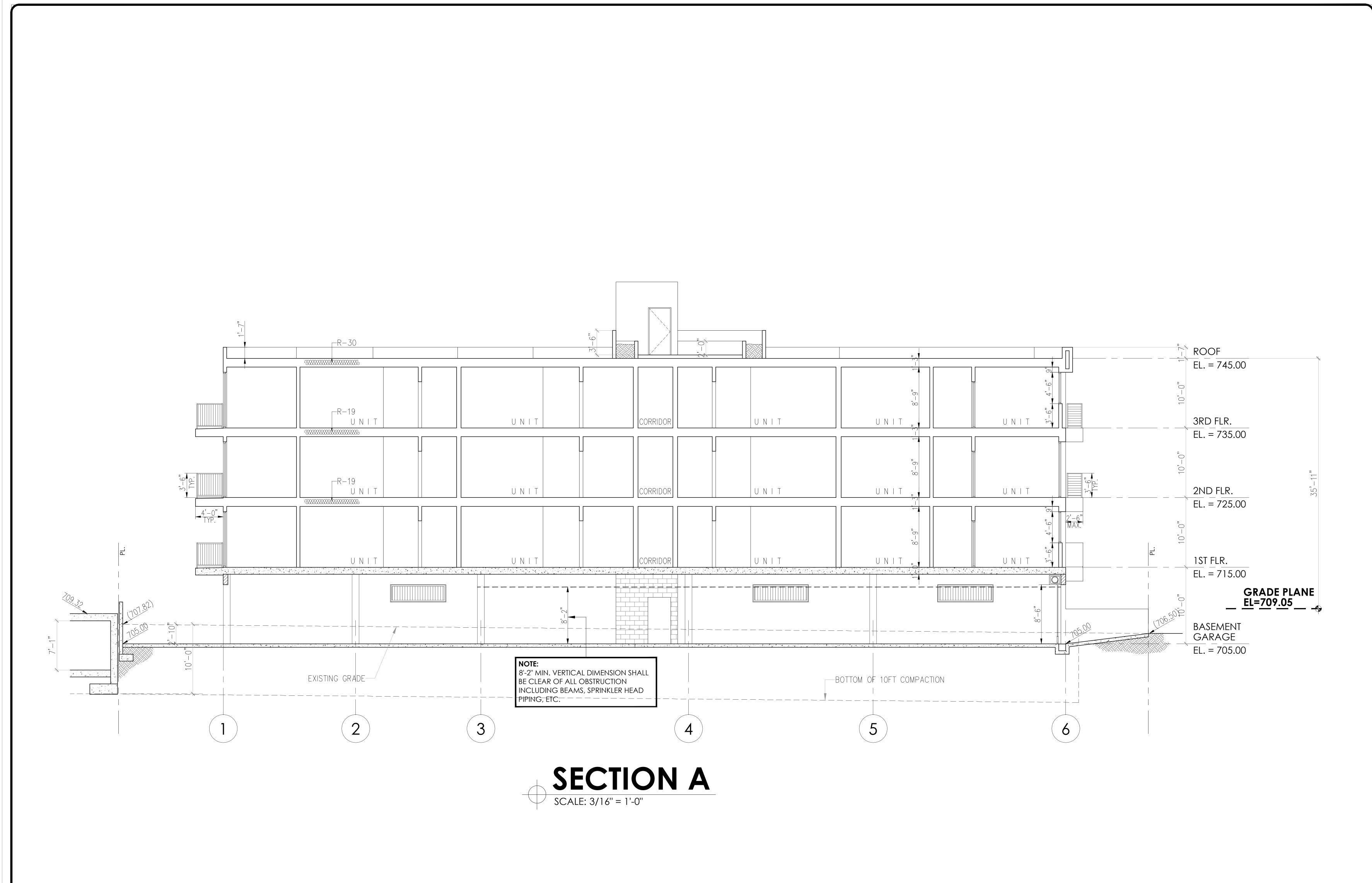
EAST ELEVATION

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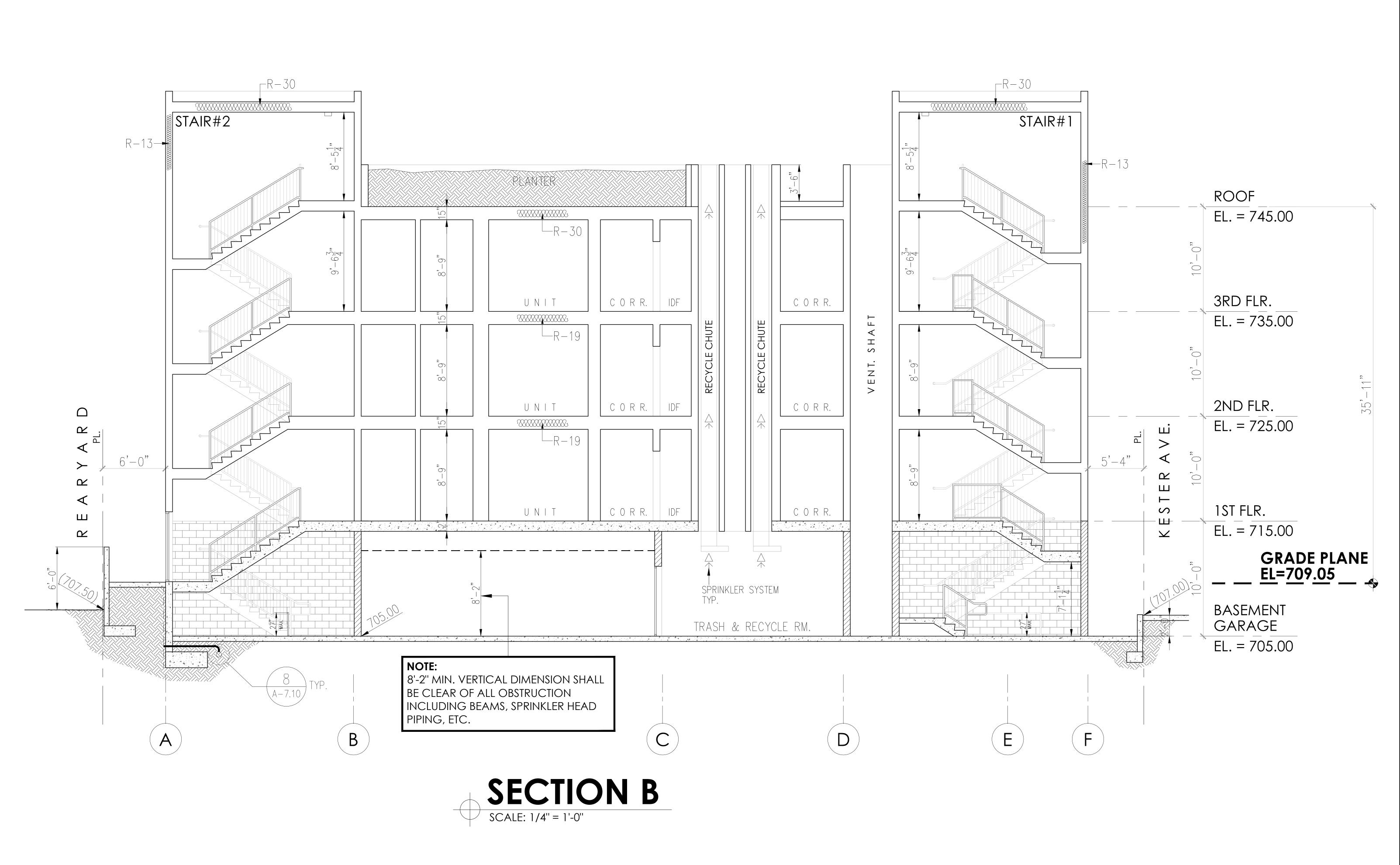
SECTION A

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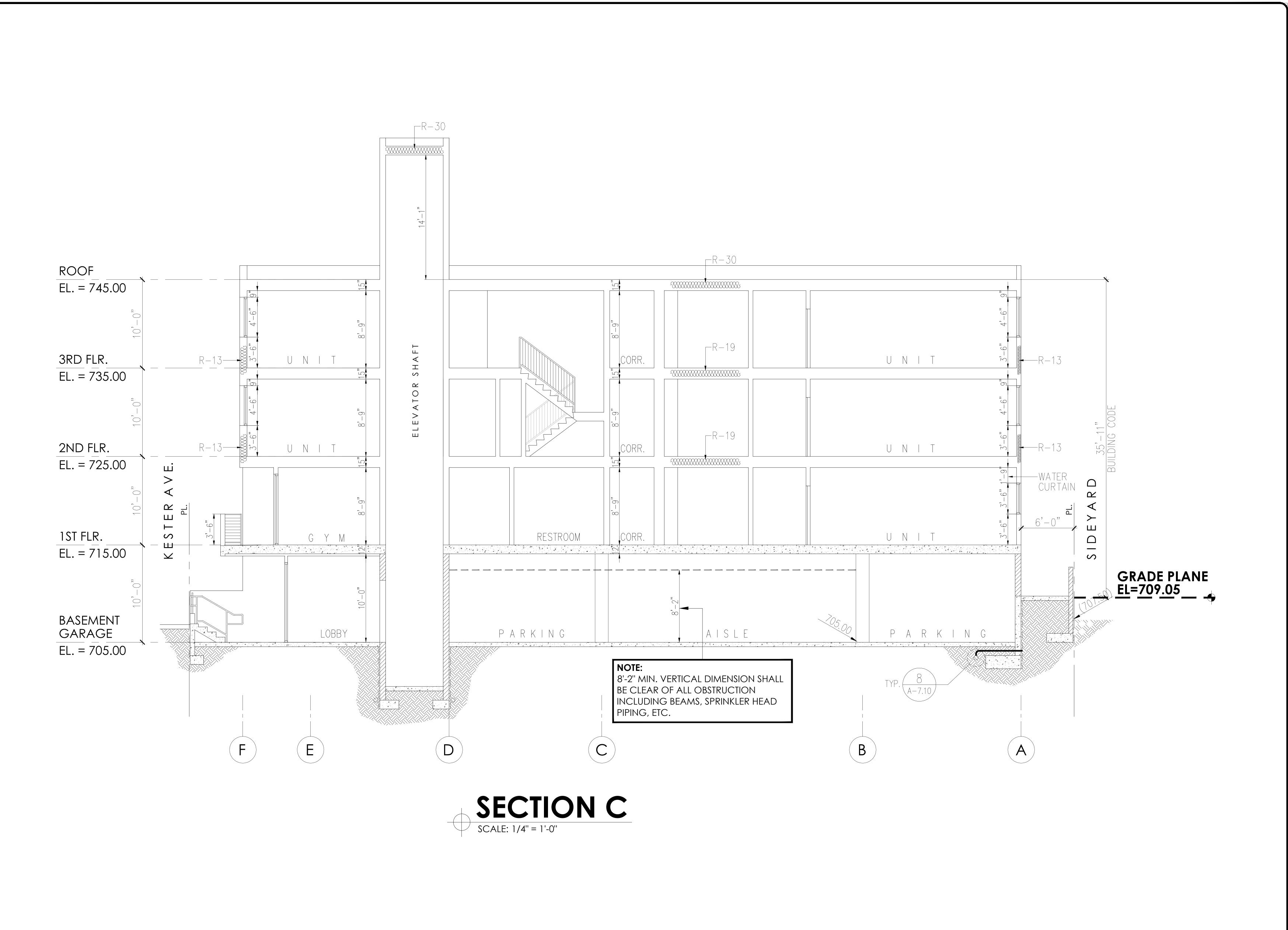
SECTION B

Date : 
Scale : 1/4" = 1'-0"

CAD : ROD

Job : 
Sheet :

A-5.1



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SECTION C

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Job : 
Sheet :

A-5.2

#### DOOR SCHEDULE NO WIDTH HEIGHT TYPE THICK MATERIAL CORE RATE MATERIAL GLASS SCREEN THRESH- FINISH REMARKS WITH PANIC HARDWARE LOCATION STAIR EXIT | 3'-0" | 6'-8" | (A) |1- 3/4"| METAL | H/M |1-1/2 HR.| METAL | ------ | ------ | YES | PAINT | EXIT DOOR / SELF-CLOSING STORAGE EQUIPMENT ROOM TRASH ROOM H/M |1-1/2 HR. | METAL | ----- | YES | PAINT | SELF-CLOSING ELEVATOR DOOR H/M |1-1/2 HR. | METAL | ----- | YES | PAINT | SELF-CLOSING S/G ELEVATOR DOOR H/M |1-1/2 HR.| METAL | ----- | YES | PAINT | SELF-CLOSING ELECTRICAL ROOM 1ST FLR. - STAIR EXIT 45 MIN. | METAL | ----- | YES | PAINT | SELF-CLOSING PANTRY/WASHER DRYER 20 MIN. | ALUM. | ----- | YES | PAINT | SELF-CLOSING SMOKE CASKETED UNIT ENTRY DOOR UNIT - BEDROOM & BATHROOM RESIDENTAIL BALCONY & PATIO RESIDENTAIL BALCONY & PATIO GYM BALCONY & PATIO WASHER & DRYER IDF CLOSET TRASH ROOM | 1- 3/4" | METAL | H/M |1-1/2 HR. | METAL | ----- | ----- | YES | PAINT | SELF-CLOSING (A) | 1- 3/4" | WOOD | S/C | 20 MIN. | WOOD | ----- | ----- | PAINT REC. RM & GYM @ 1ST FLR. INTERIOR 7'-0" | (E) | PER MANUF. | ALUM / GLASS | ---- | ----- | ALUM. | TEMP. REC. RM EXTERIOR 8'-0" | (E) | ------ | ALUM/GLASS| ---- | ------ | ALUM. | TEMP. CORRIDOR @ 1ST FLR. (F) | ------ | ALUM/GLASS| ----- | ALUM. | TEMP. LOBBY ENTRY (E) | ------ | ALUM/GLASS| ---- | ------ | ALUM. | TEMP. CLOSET DOOR. GARAGE ROLL-UP | VESTIBULE DOOR @ P-1 GARAGE H/M |1-1/2 HR.| METAL | ---- | ---- | YES | PAINT | SELF-CLOSING / SMOKE DEVICE RELEASED VESTIBULE DOOR @ P-1 GARAGE H/M |1-1/2 HR.| METAL | ----- | YES | PAINT | SELF-CLOSING / SMOKE DEVICE RELEASED CLOSET DOOR. UNIT ENTRY DOOR 1 HR | ALUM. | ------ | YES | PAINT | SELF-CLOSING SMOKE CASKETED UNIT BALCONY (F) | ----- | ALUM/GLASS| ---- | ----- | ALUM. | TEMP. CLOSET DOOR. GARAGE 3'-0" | 8'-6" | (L) | ----- | METAL | ---- | ----- | ----- | ----- | PAINT 1-3/8" WOOD H/C ---- WOOD ---- PAINT CLOSET DOOR. CLOSET DOOR. CLOSET DOOR. GARAGE ROLL-UP DOOR C --- PVC --- PVC TEMP. --- BAKED ENAMEL RESIDENTAIL BALCONY & PATIO 3'-0" | 6'-8" | A | 1- 3/8" | WOOD | H/C | ----- | WOOD | ----- | ----- | PAINT | PRIVACY LOCK; 2'-10" MIN. CLEAR OPENING UNIT - 2ND BATHROOM

# TEMP. | TEMP. 3'-0" 3'-0" NOTE: LEVER HARDWARE (TYP.) ON ALL DOORS © SLIDING GLASS DOOR (TEMPERED) B DOUBLE SWING DOOR DOUBLE SWING GLASS DOOR (TEMPERED) E STORE FRONT GLASS DOOR (A) SWING DOOR F SWING GLASS DOOR (TEMPERED) © SLIDING WARDROBE DOOR RATED ROLL-UP DOOR H SWING LOUVER DOOR (J) ROLL-UP DOOR FIXED 3'-0" M SWING GATE DOOR **Q** SWING & FIXED GLASS DOOR R SLIDING WARDROBE DOOR L SWING DOOR SLIDING WARDROBE DOOR

#### NOTE: SHOP DRAWINGS REQUIRED PER ALL FABRICATION

NOTE # 1 THIS SIGN MUST BE INSTALLED ABOVE THE DOOR, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

# WINDOW SCHEDULE

NO WIDTH	HEIGHT TYPE FRAME MATERIAL GLASS SCREEN	FINISH REMARKS	LOCATION	DOOR AND WINDOW NOTES	_3'-0" CLEAR_	<u>PER SCHEDULE</u>	_3'-0" CLEAR_		PER SCHEDULE
(1) 8'-0"	8'-0" (A) PVC ———————————————————————————————————	MILGARD RE	ESIDENTIAL FLRS.	1. DOORS TO UNITS FROM THE INTERIOR CORRIDORS ARE REQUIRED TO HAVE MINIMUM S.T.C. RATING OF 30. USE RESILIENT STOPS AND					
<b>2</b> 6'-0"	8'-0" (A) PVC ———————————————————————————————————	MILGARD RE	ESIDENTIAL FLRS.	GASKETS.(LAMINATED 1 3/4" SOLID-CORE DOORS WITH RESILIENT STOPS AND GASKETS OR 18 GAUGE INSULATED STEEL SLAB DOORS WITH		X WSGHED	X O O O	SCHED	SCHED X
<b>3</b> 2'-6"	4'-6" (E) PVC	MILGARD RE	ESIDENTIAL FLRS.	COMPRESSION SEALS ALL AROUND, INCLUDING THRESHOLDS WILL MEET	8'-0"	8'-0" PERR	8, -0, ER	PER	8, -0, BER
<b>4</b> 8'-0"	4'-6" (C) PVC	MILGARD RE	ESIDENTIAL FLRS.	THIS REQUIREMENT). 91.1208A.A  2. ALL OPENING (DOORS & WINDOWS) IN ENERGY INSULATED WALLS	O(T) O(T) MIN. HGT.	OR	MIN. HGT. ← FROM FLOOR	MIN. HGT. ← FROM FLOOR	MIN. HGT.  FROM FLOOR
<b>(5)</b> 3'-6"	5'-0" \( \overline{D} \) PVC \\ \(\)	MILGARD ST	TAIR	SHALL BE WEATHER STRIPPED AND GASKETED TO LIMIT AIR INFILTRATION.  3. GLASS DOORS, ADJACENT GLASS PANELS AND ALL GLAZED OPENINGS	F.F. MAX. 44"	MAX. 44"	TO OPENING MAX. 44"	TO OPENING MAX. 44"	TO OPENING MAX. 44"
<b>6</b> '-0"	4'-6" (C) PVC — — —	MILGARD RE	ESIDENTIAL FLRS.	WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD.	PER SCHEDULE	PER SCHEDULE			
<b>₹ 7 2 ' 6 "</b>	8'-0" (B) PVC	MILGARD RE	ESIDENTIAL FLRS.	4. OPENINGS MARKED WITH * ARE SECURITY OPENINGS AND SHALL BE APPROVED WITH SUBSTANTIAL APPROPRIATE LOCKING DEVICES.	SWING & FIXED (TEMP) GLASS WINDOW	SWING & FIXED (TEMP) GLASS WINDOW	SWING & FIXED (TEMP) GLASS WINDOW	FIXED (TEMP) GLASS WINDOW	SWING GLASS WINDOW
<b>8</b> 2'−0"	2'-0" (E) PVC	MILGARD RE	ESIDENTIAL FLRS.	5. PROVIDE "PEEP-HOLE" DOOR VIEWERS AT ALL UNIT ENTRY DOORS.			3'-0" CLEAR		
<b>9</b> 2'-6"	5'-0" \( \overline{D} \) PVC \\ \(\)	MILGARD ST	TAIR	6. CLOSING DEVICES ARE NOT REQUIRED ON UNIT ENTRY DOORS. 7. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE	NOTE:	3'-0" CLEAR	J O CLEAN		
<b>10</b> 2'-6"	3'-0" \( \overline{D} \) PVC \\ \(\)	MILGARD ST	TAIR	OF A KEY OR ANY SPECIAL KNOWLEGDE. 8. EXIT DOOR TO SELF—CLOSING.	WINDOW LEVER CONTROL HEIGHT IS 48" MAX. FROM FINISH FLOOR.	HEDRICI OF THE STATE OF THE STA			
<u>(11)</u> 5'-0"	3'-0" (D) PVC	MILGARD BII	KE ROOM	9. ALL DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THE THRESHOLD (IF THRESHOLD IS REQUIRED).		ER SGI			
<b>√12</b> 6'-0"	8'-0" (F) PVC	MILGARD RE	ESIDENTIAL FLRS.	10. MANUALLY OPERATED EDGE - OR SURFACE - MOUNTED FLUSH		MIN. HGT.	MIN. HGT.		
<b>13</b> 12'-0"	8'-0" (G) PVC	MILGARD RE	ESIDENTIAL FLRS.	BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE		O(T) WALL MIN. HGT.  FE WALL  MIN. HGT.  FROM FLOOR  TO OPENING  MAX. 44"	R O(T) O(T) O(T) O(T) O(T) MIN. HGT.  CF FROM FLOOR TO OPENING MAX. 44"		
<b>14</b> 2'-6"	3'-9" (E) PVC	MILGARD RE	ESIDENTIAL FLRS.	MOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE—MOUNTED HARDWARE. THE UNLATCHING OF ANY		PER SCHEDULE	PER SCHEDULE		
(15) 6'-0"	3'-9" (C) PVC ———————————————————————————————————	MILGARD RE	ESIDENTIAL FLRS.	LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.  1. EVERY PRIMARY ENTRANCE TO AN ADAPTABLE DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME, OR EQUIVALENT		SWING & FIXED (TEMP) GLASS WINDOW	SWING & FIXED (TEMP) GLASS WINDOW		
				INSTALLATION, MOUNTED A MAXIMUM OF 48" ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING.					
				12. PROVIDE UNIT NUMBER ON ENTRY DOOR. 13. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND					
				LABELED IN COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL					
				WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS AND ALL OTHER OPENING IN THE ENVELOPE. ALL EXTERIOR OPENINGS					
				SHALL BE PROPERLY WEATHERSTRIPPED, CERTIFIED AND LABELED.					

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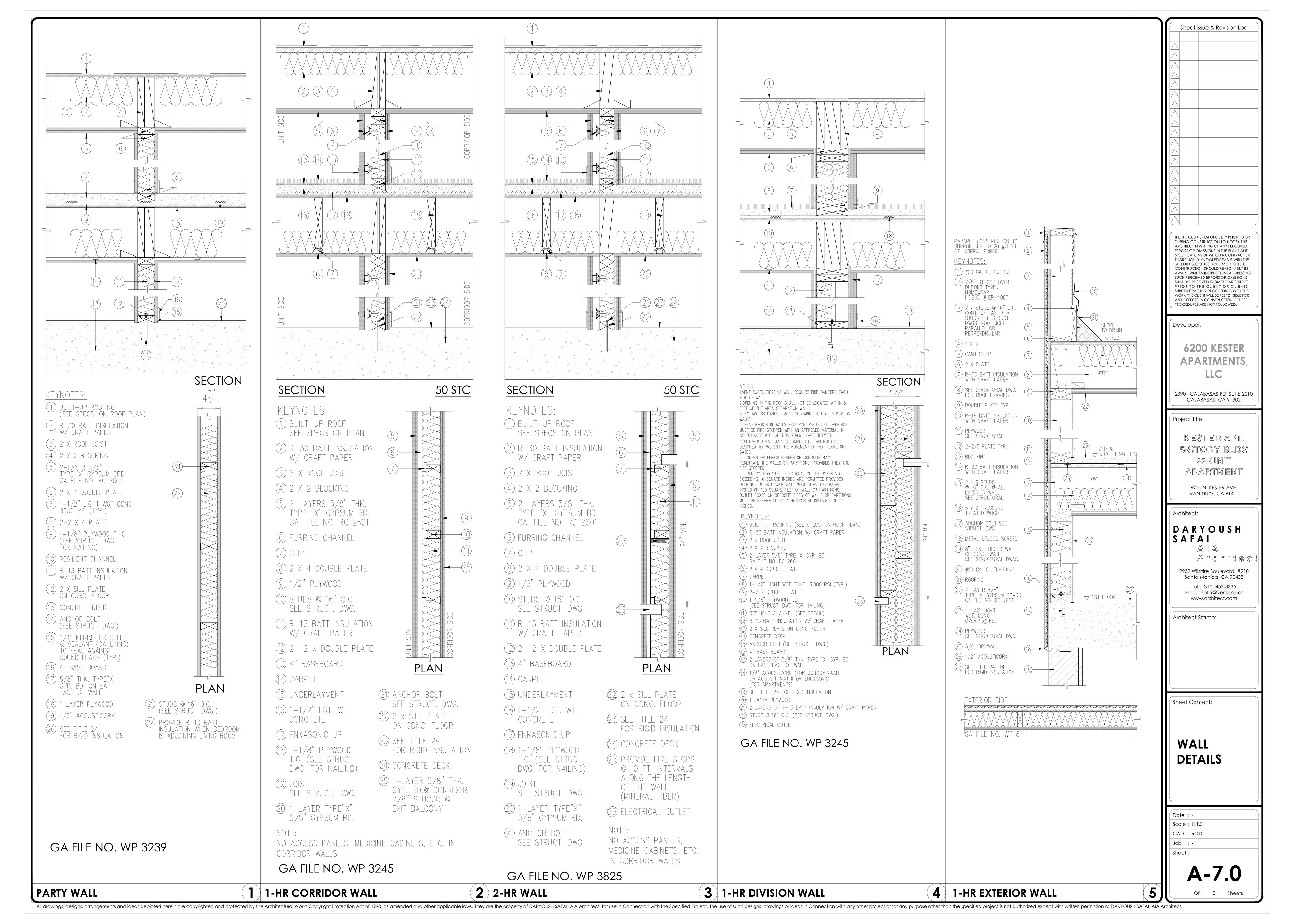
DOOR & WINDOW SCHEDULE

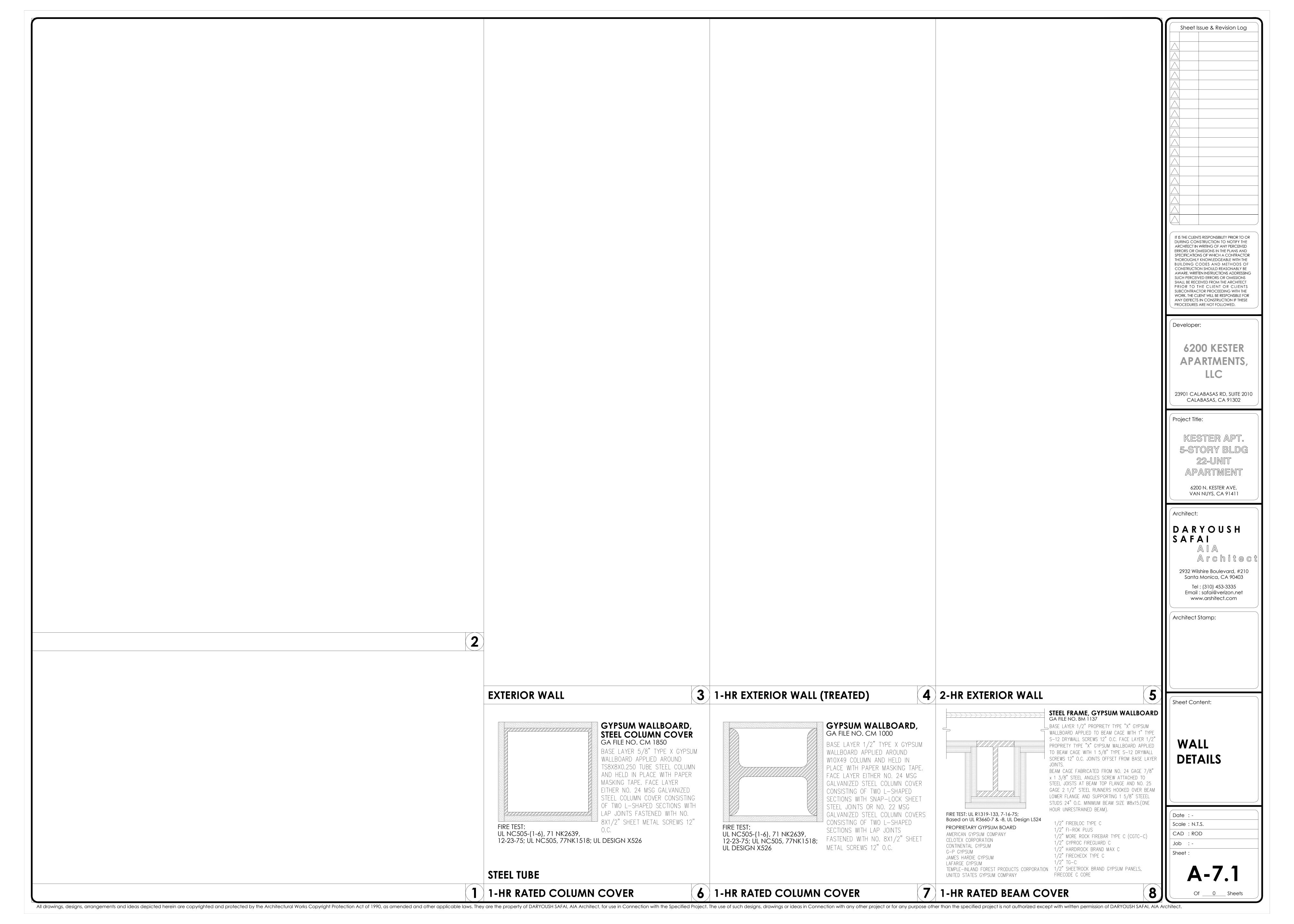
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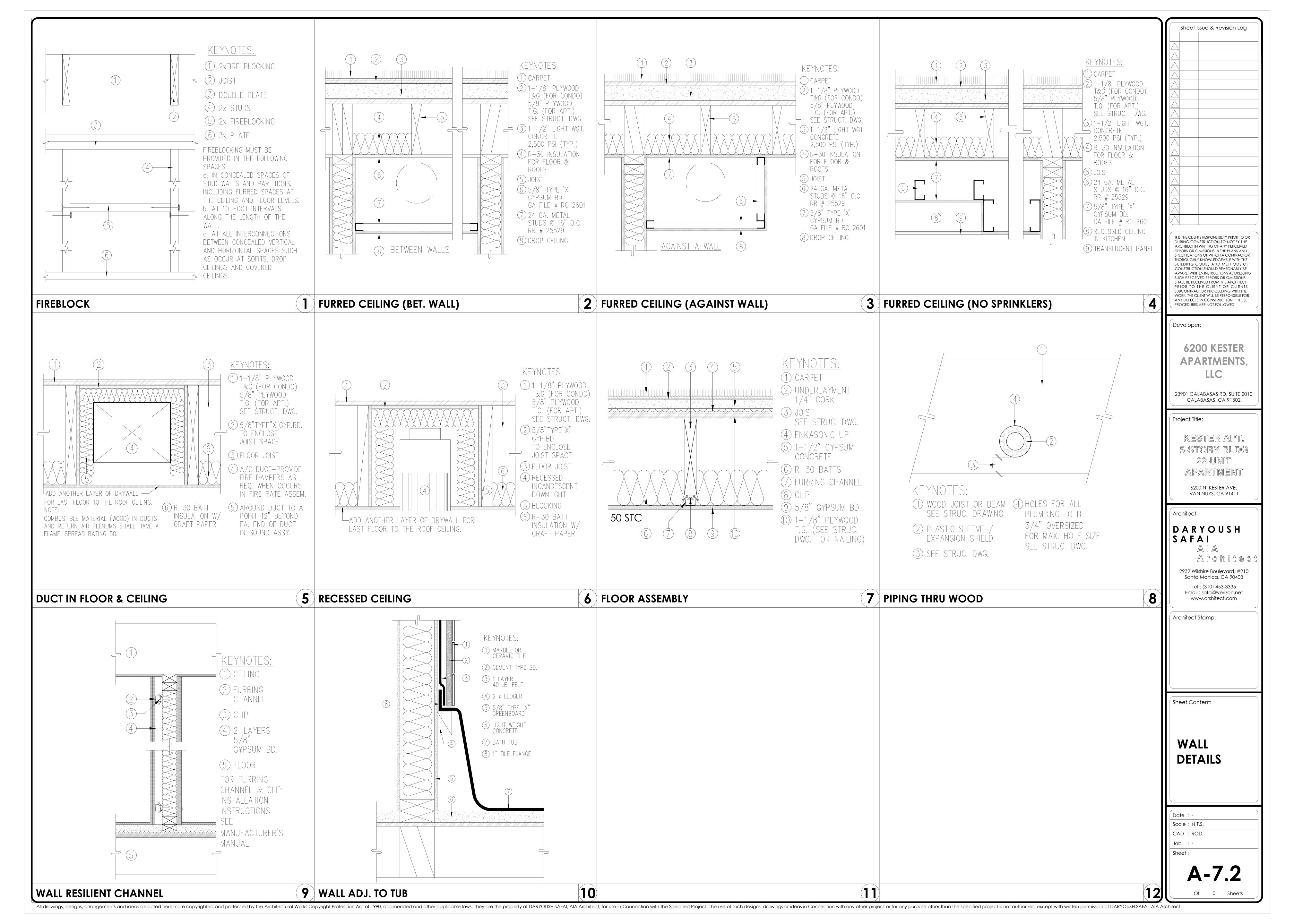
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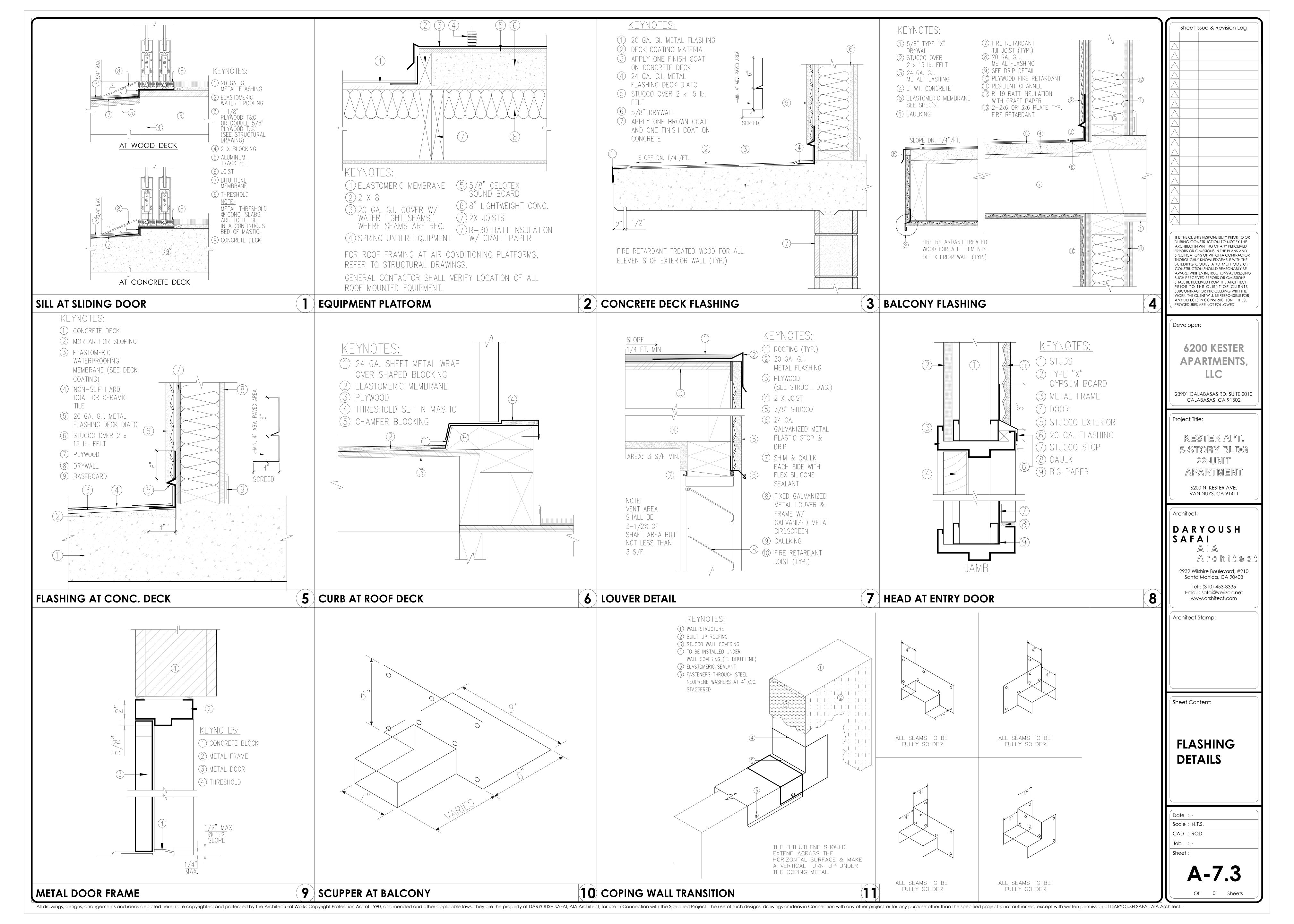
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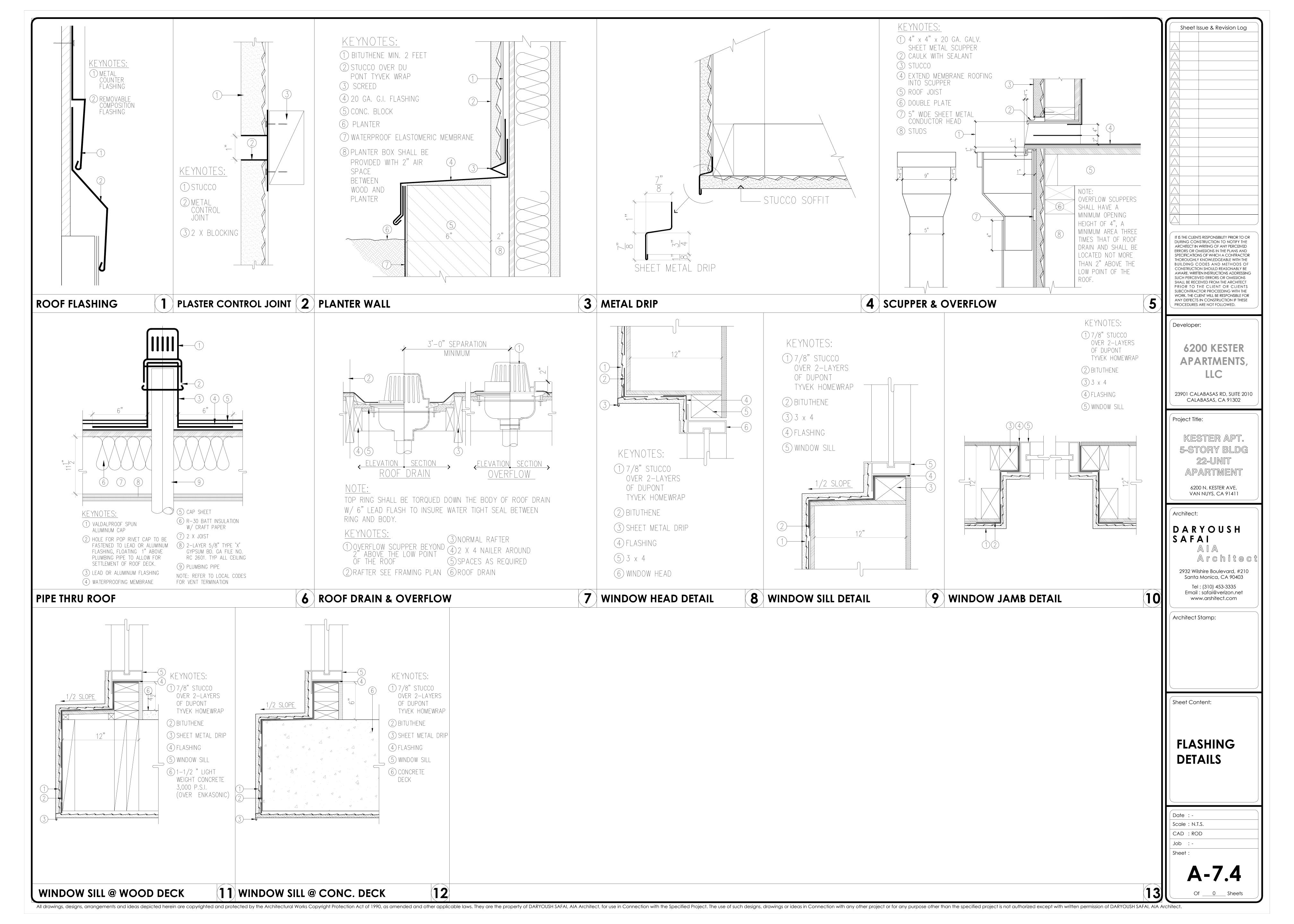
A-6.0

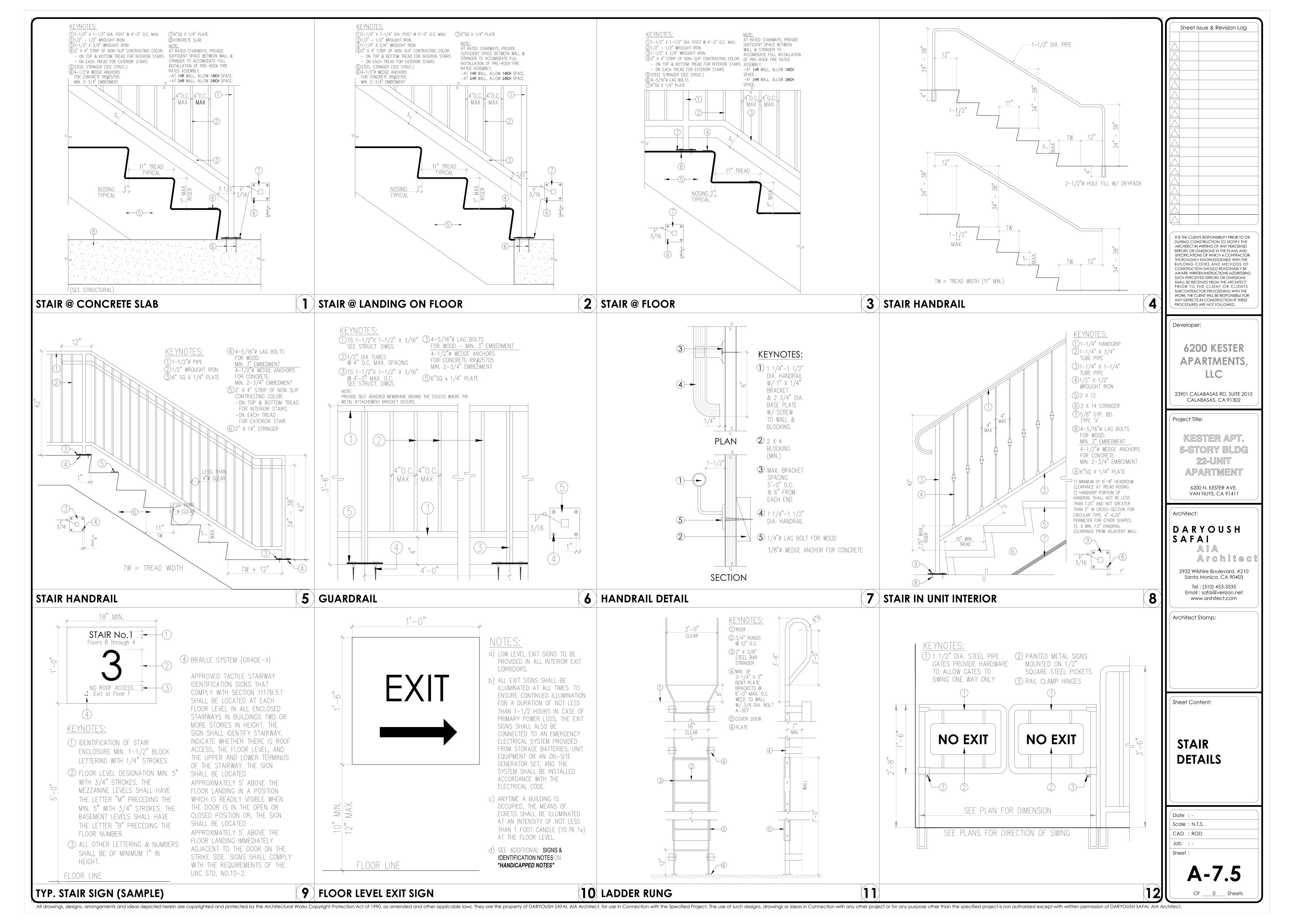


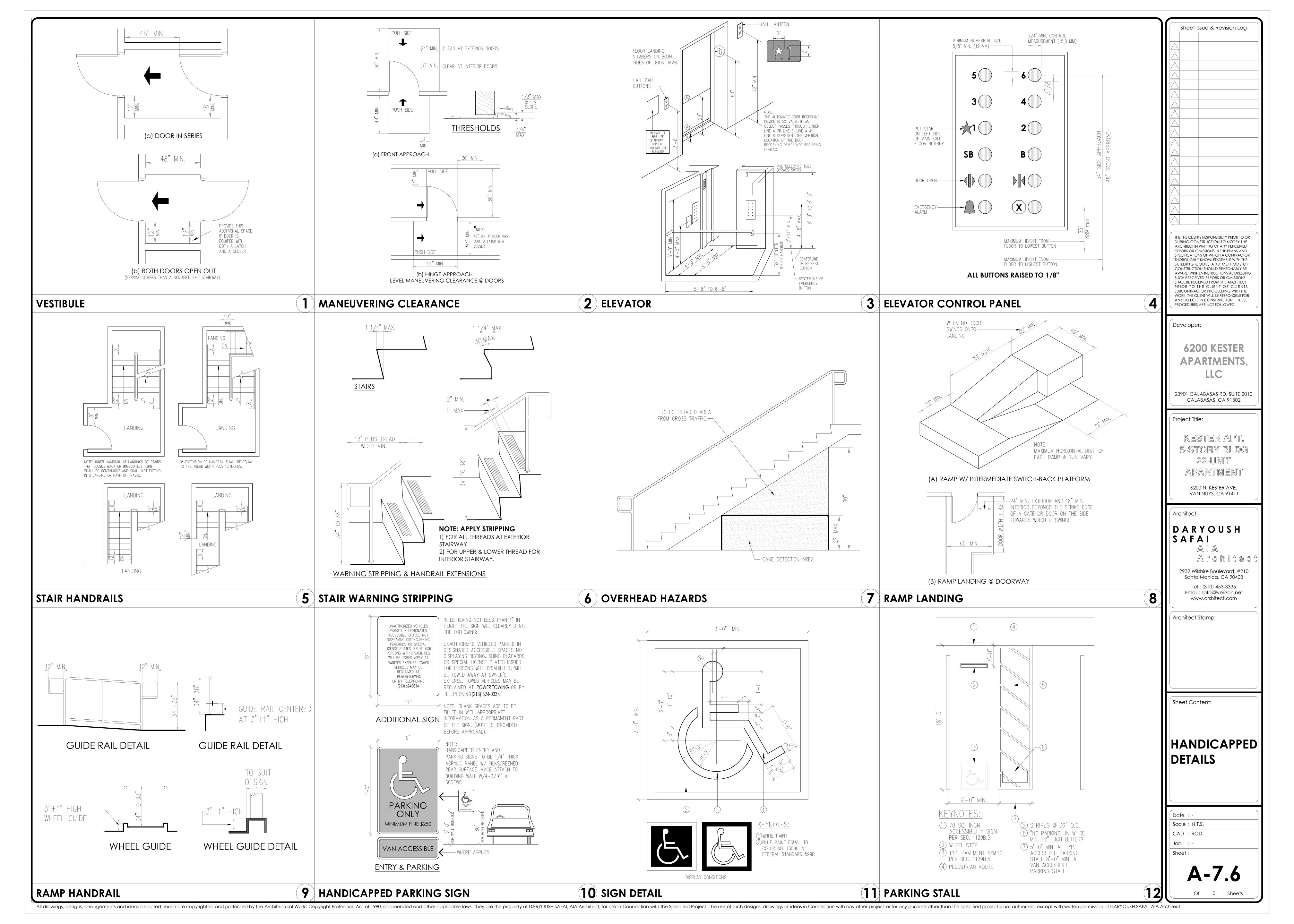


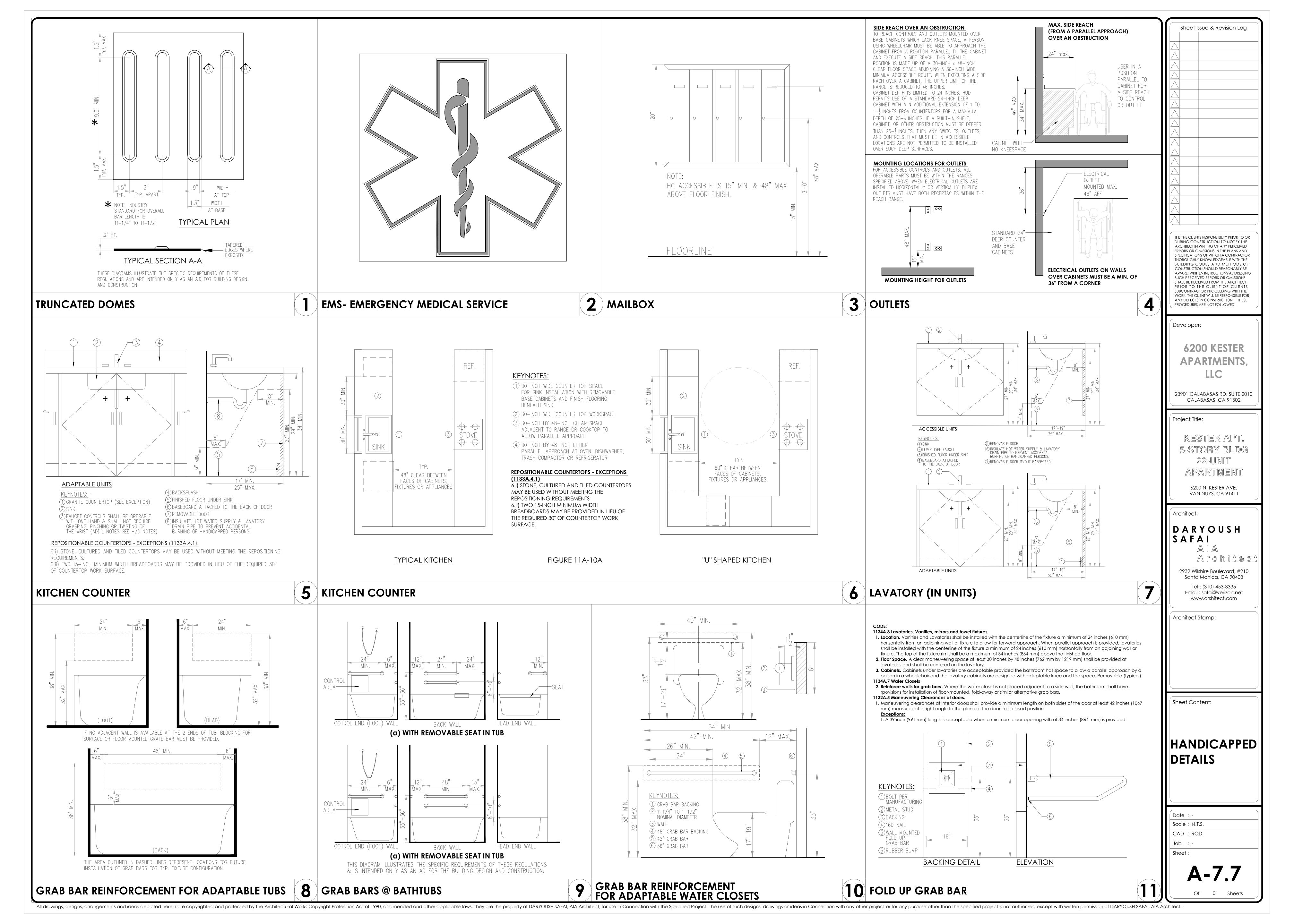


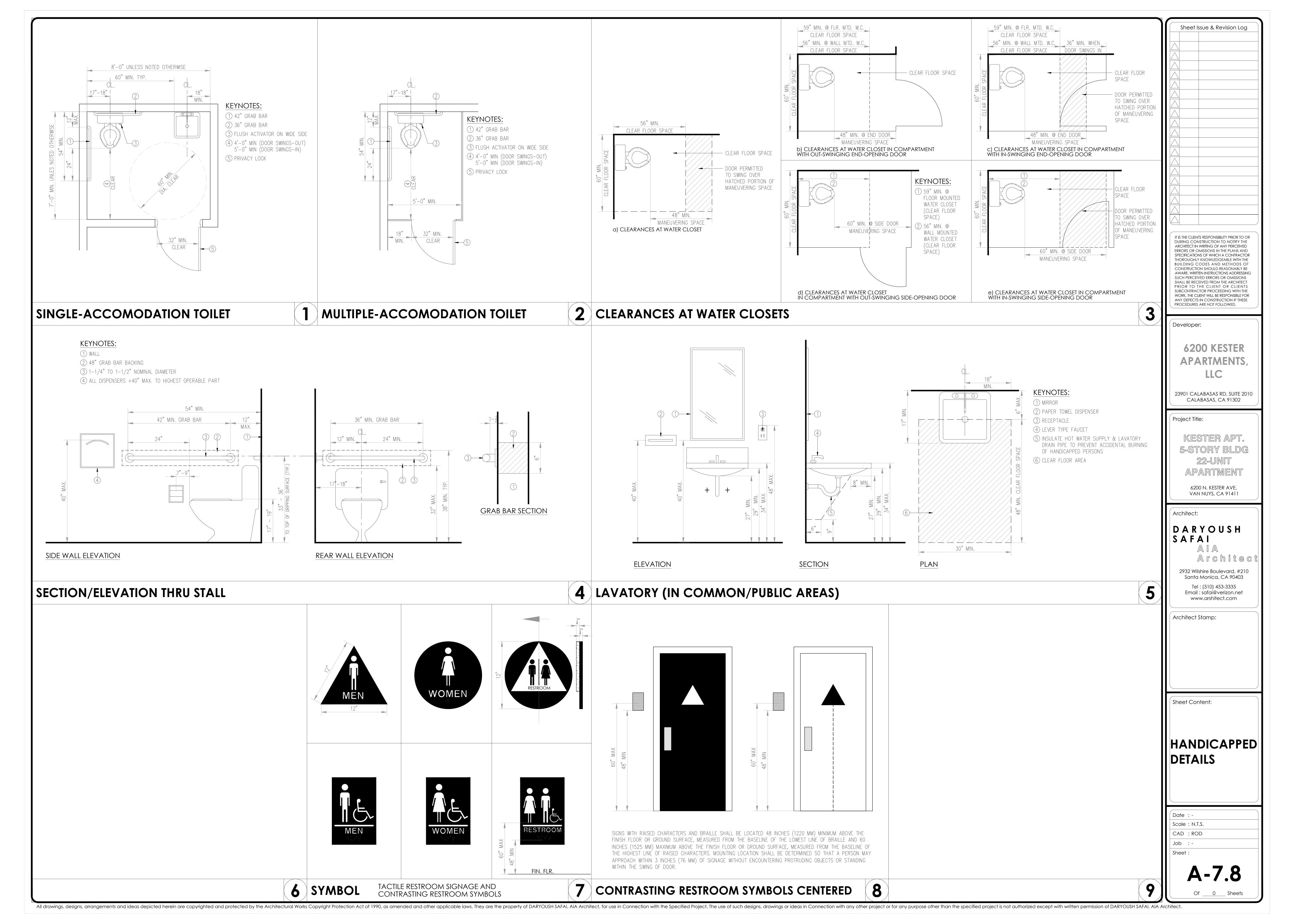


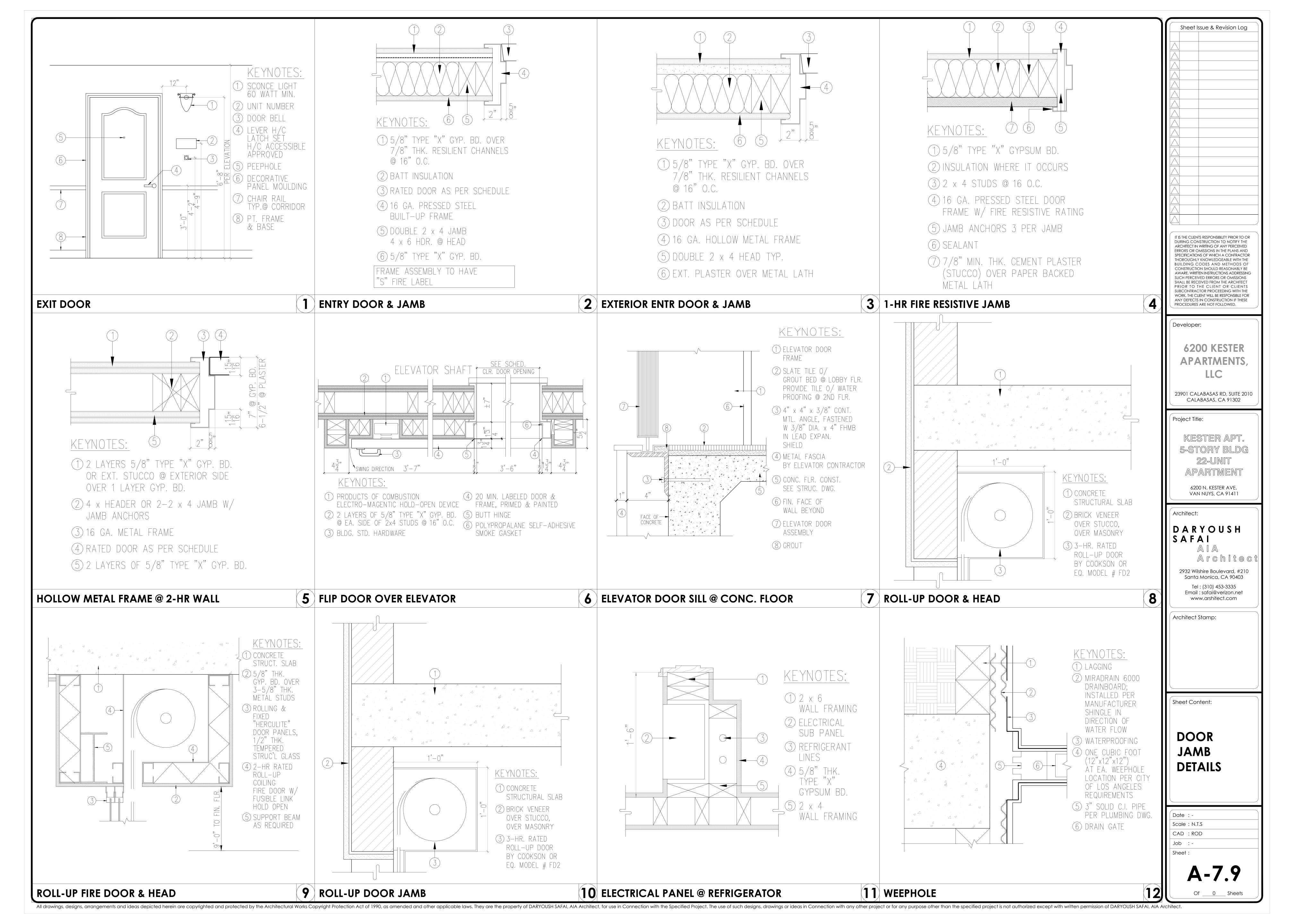


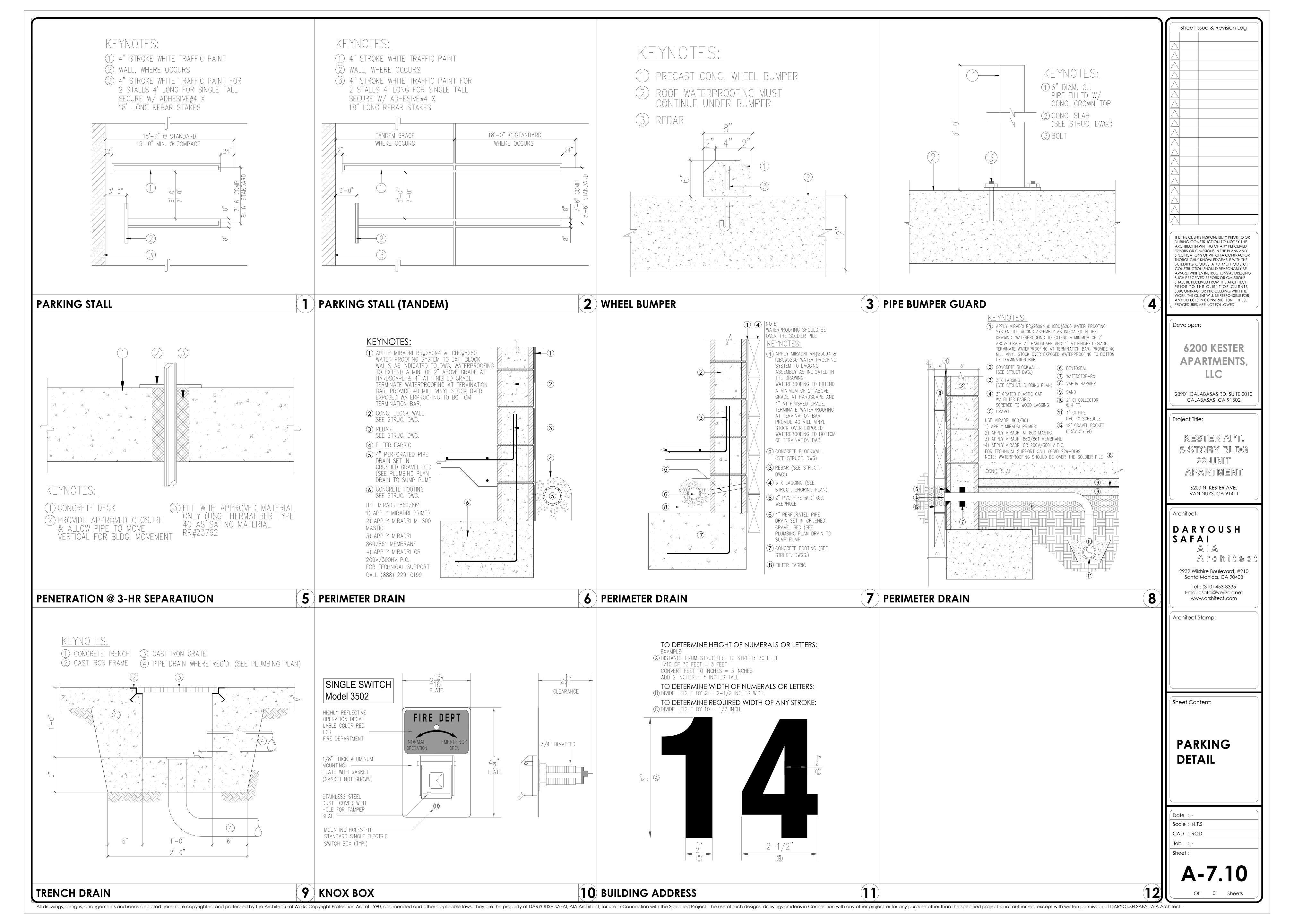


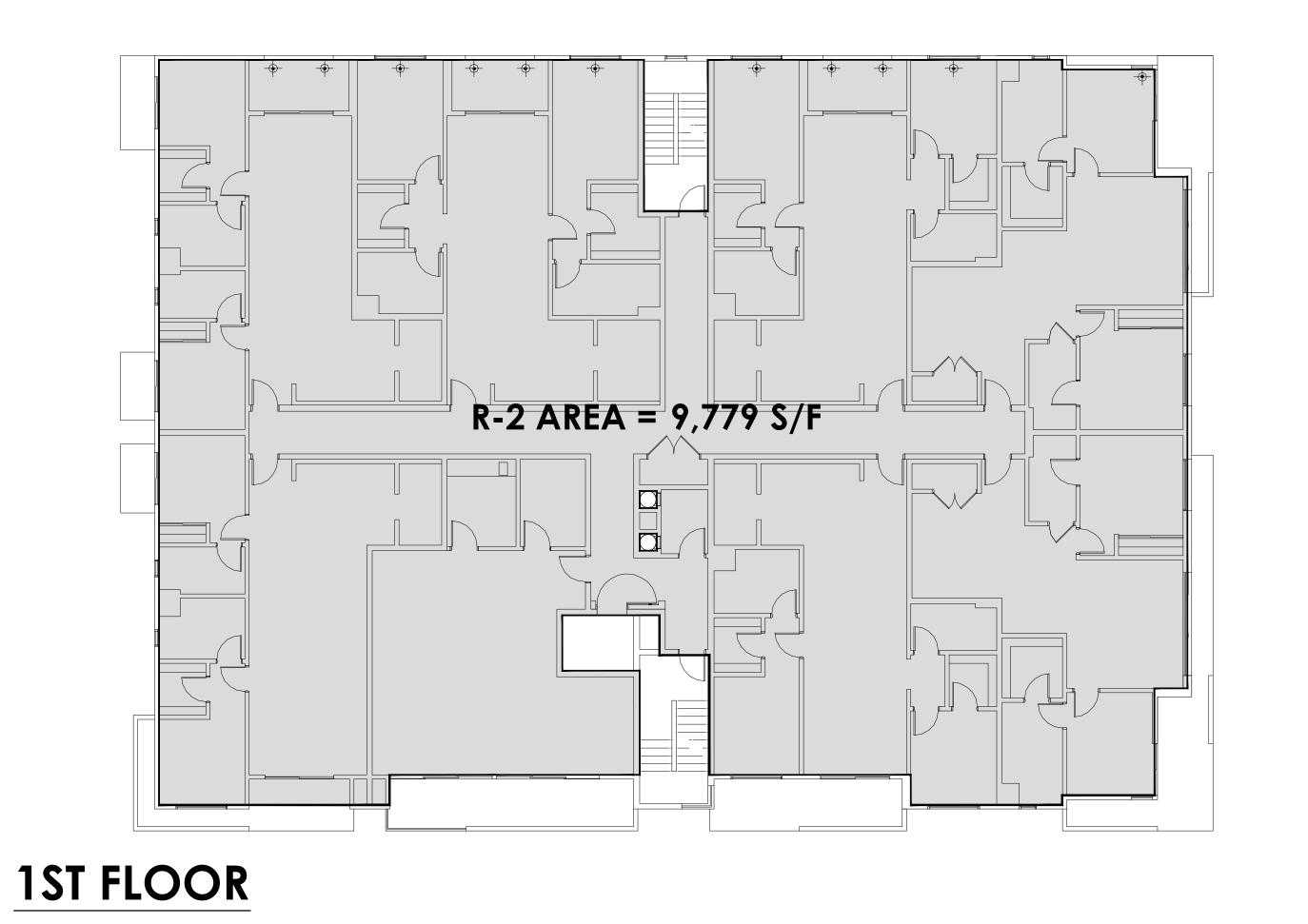


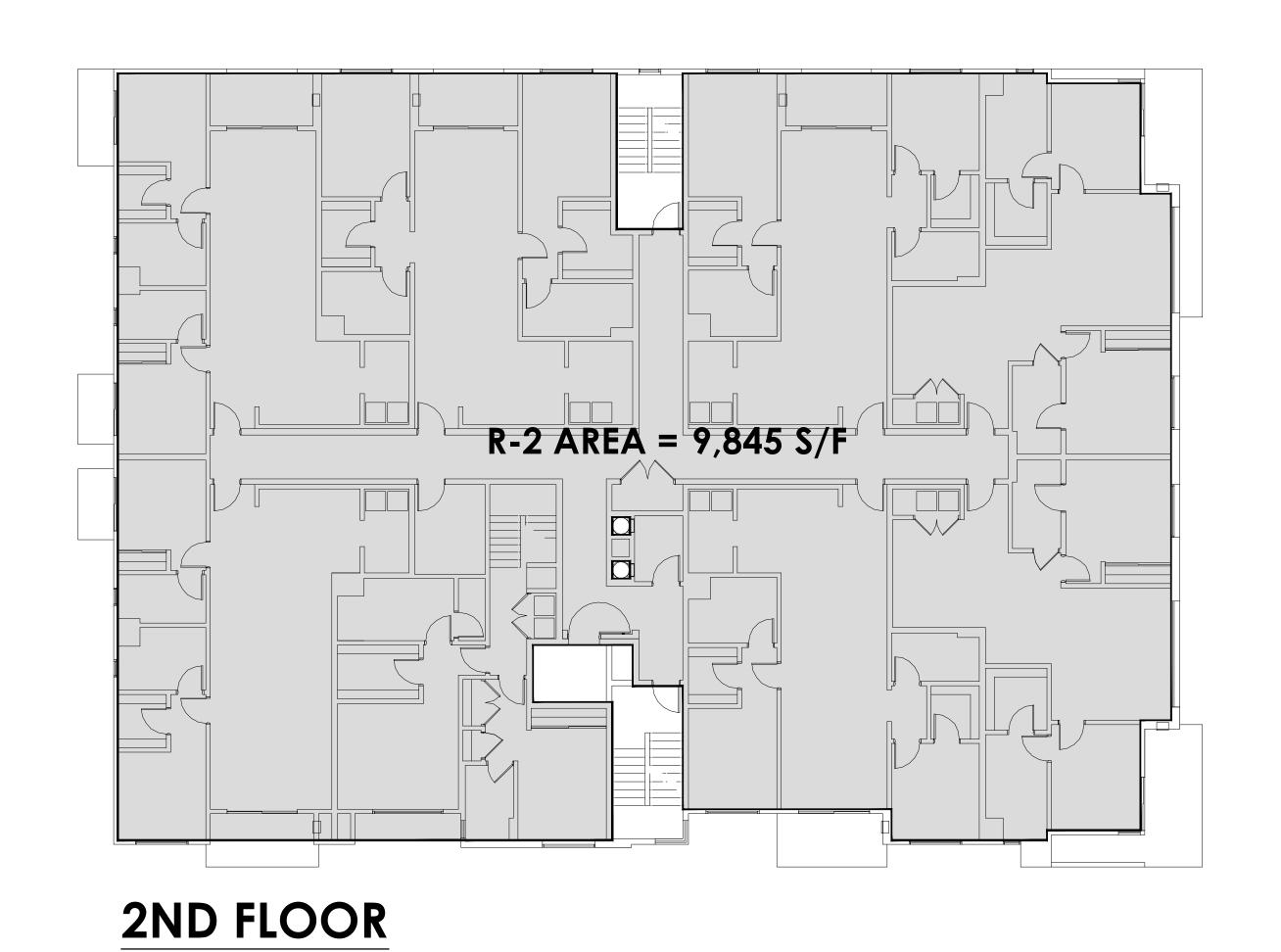




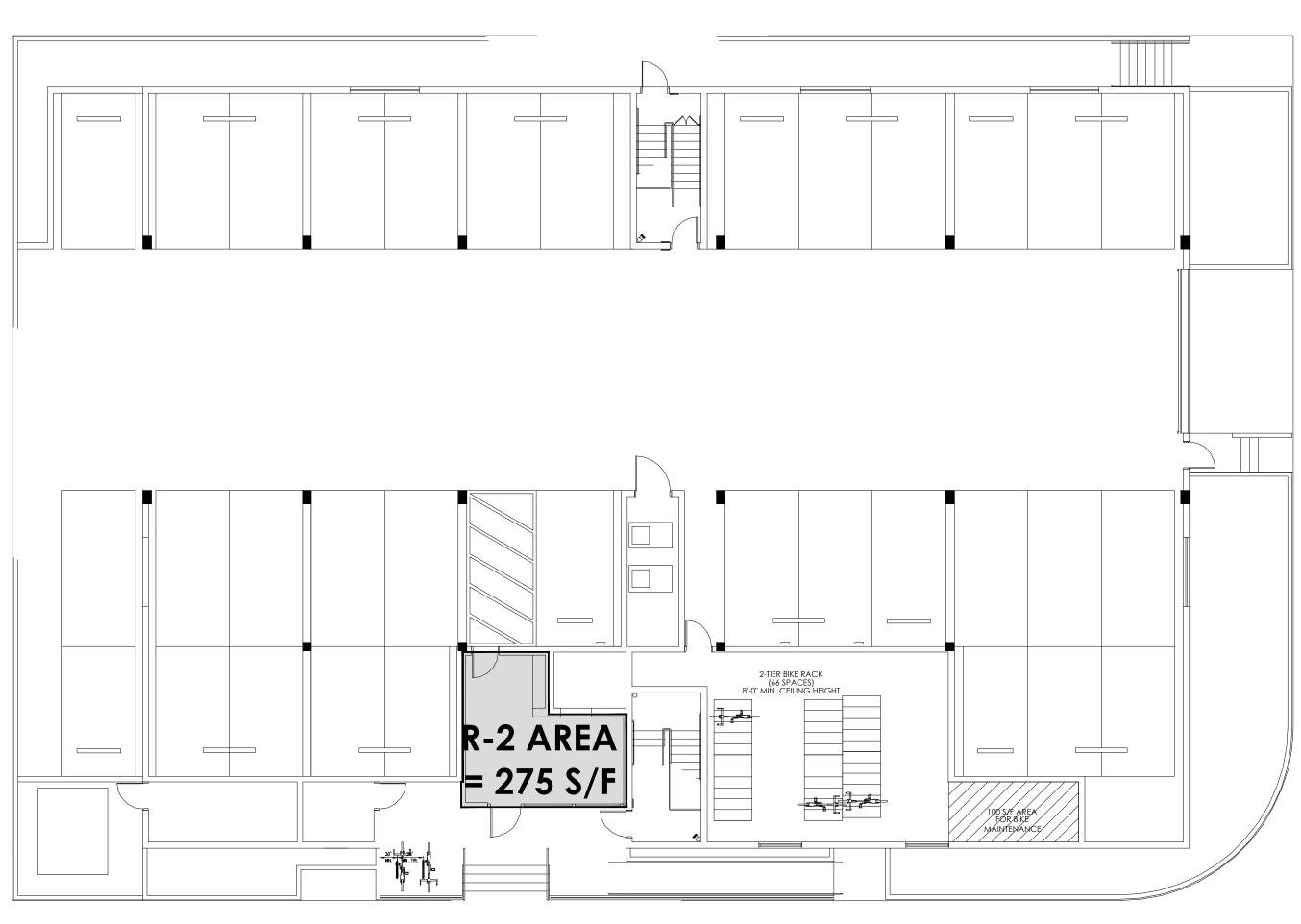








R-2 AREA = 9,845 S/F



2nd Floor

3rd Floor

TOTAL

29,744 S/F < 36,000 S/F

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BASEMENT GARAGE

3RD FLOOR 9,779 S/F 9,845 S/F 9,845 S/F

Sheet Issue & Revision Log IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE CONSTRUCTION SHOULD REASONABLY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS
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PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED. Developer: 6200 KESTER APARTMENTS, 23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

KESTER APT. 5-STORY BLDG APARTMENT

> 6200 N. KESTER AVE. VAN NUYS, CA 91411

# DARYOUSH SAFAI

Architect

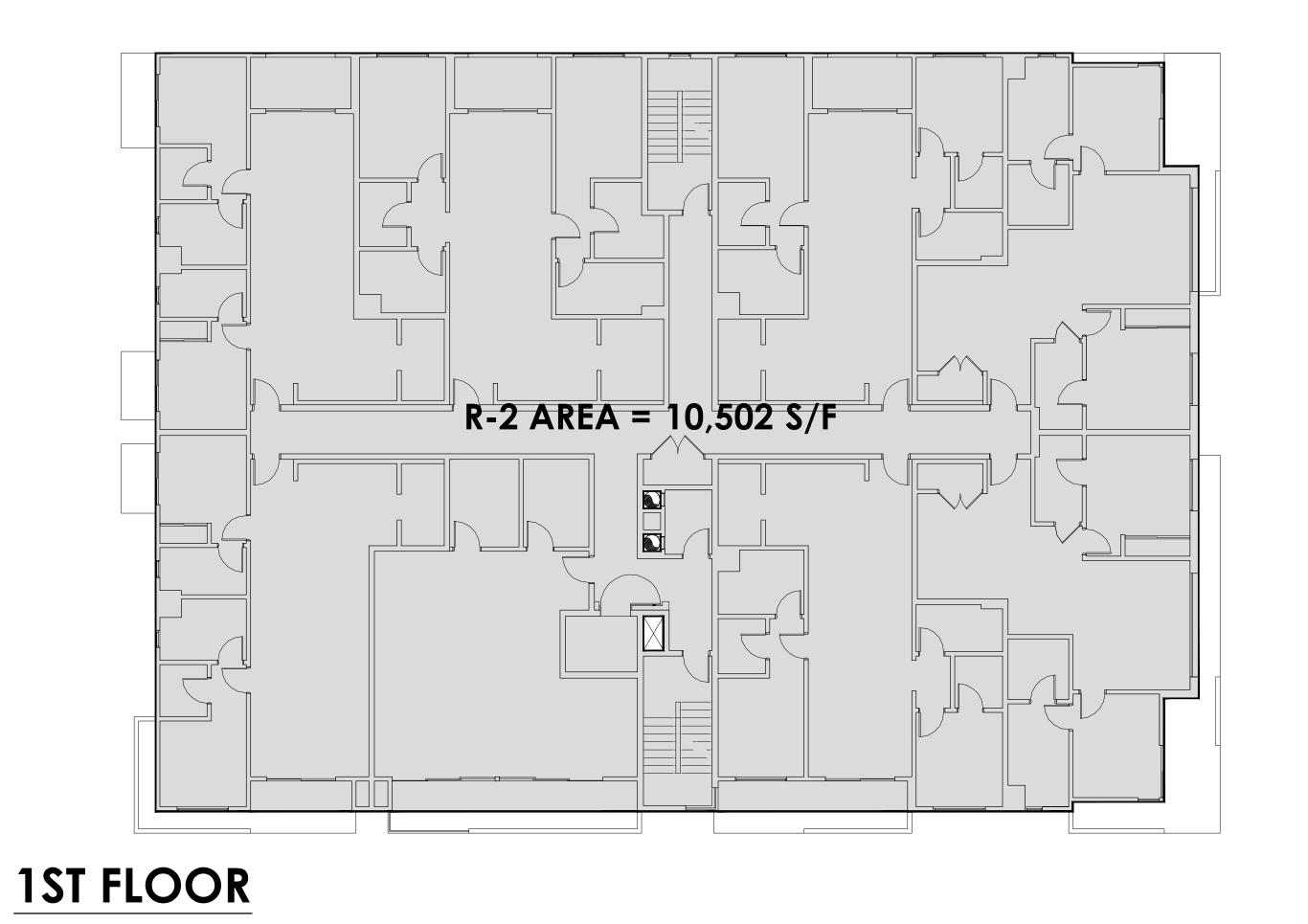
2932 Wilshire Boulevard, #210 Santa Monica, CA 90403 Tel : (310) 453-3335 Email : safai@verizon.net www.arshitect.com

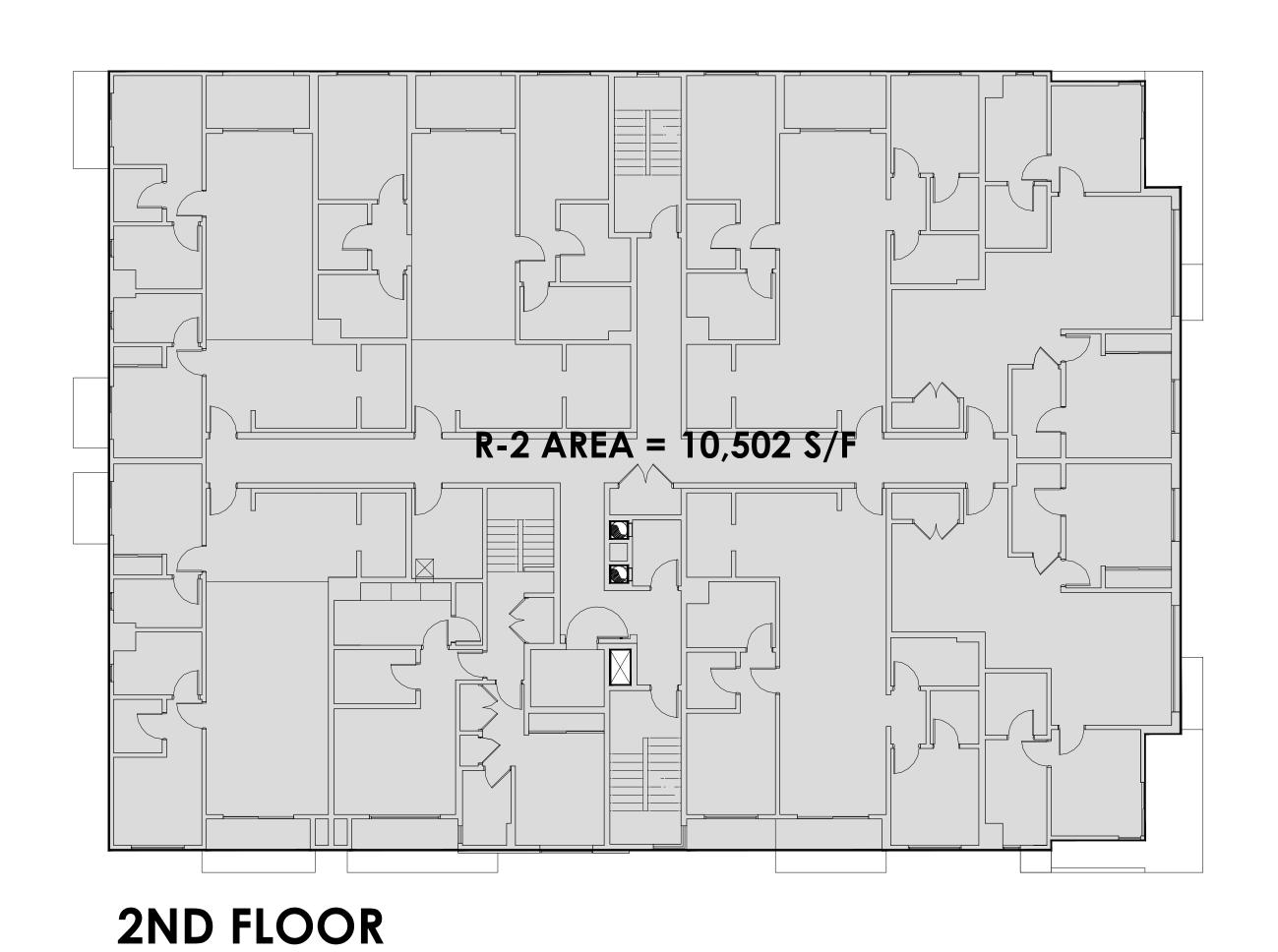
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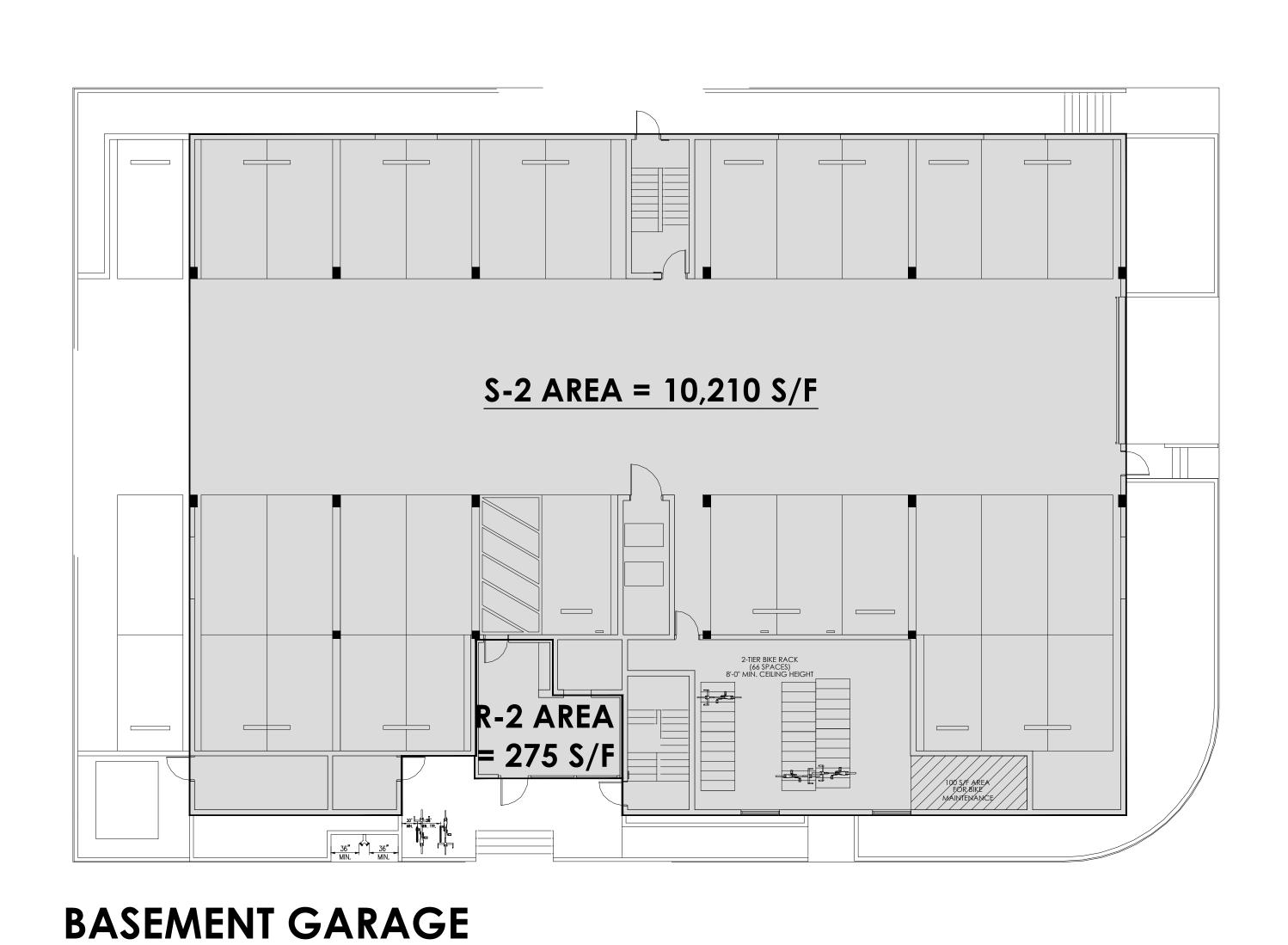
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FAR CALCULATION

A - 8.0

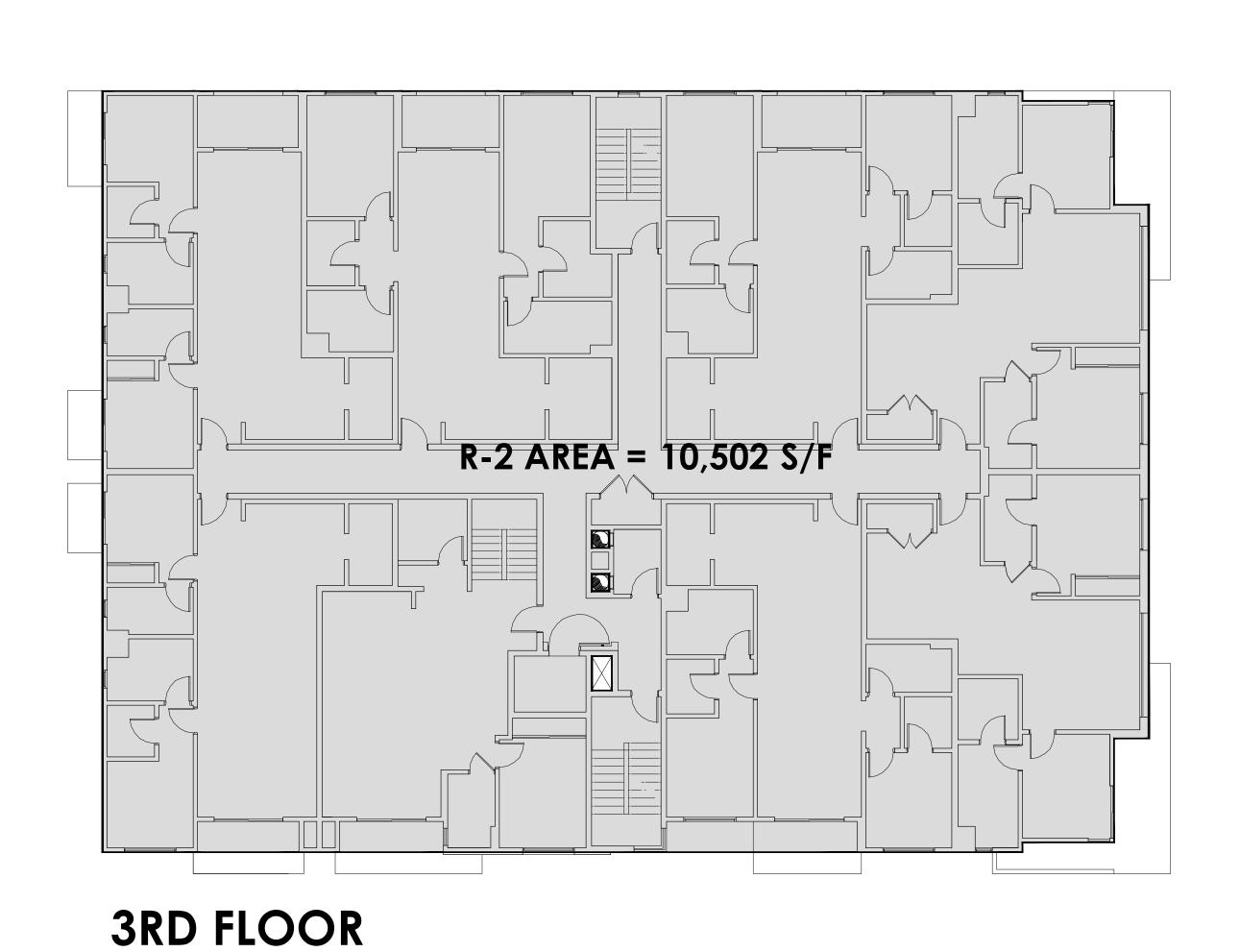






FLOOR			S-2		R-2	
Basement Garage	S-2		10,210	S/F		
Basement Lobby		R-2			275	S/F
1st Floor		R-2			10,502	S/F
2nd Floor		R-2			10,502	S/F
3rd Floor		R-2			10,502	S/F
TOTAL			10,210	S/F	31,781	S/F

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Developer:

## 6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Titl

KESTER APT.
5-STORY BLDG
22-UNIT
APARTMENT

6200 N. KESTER AVE. VAN NUYS, CA 91411

Architect:

### D A R Y O U S H S A F A I

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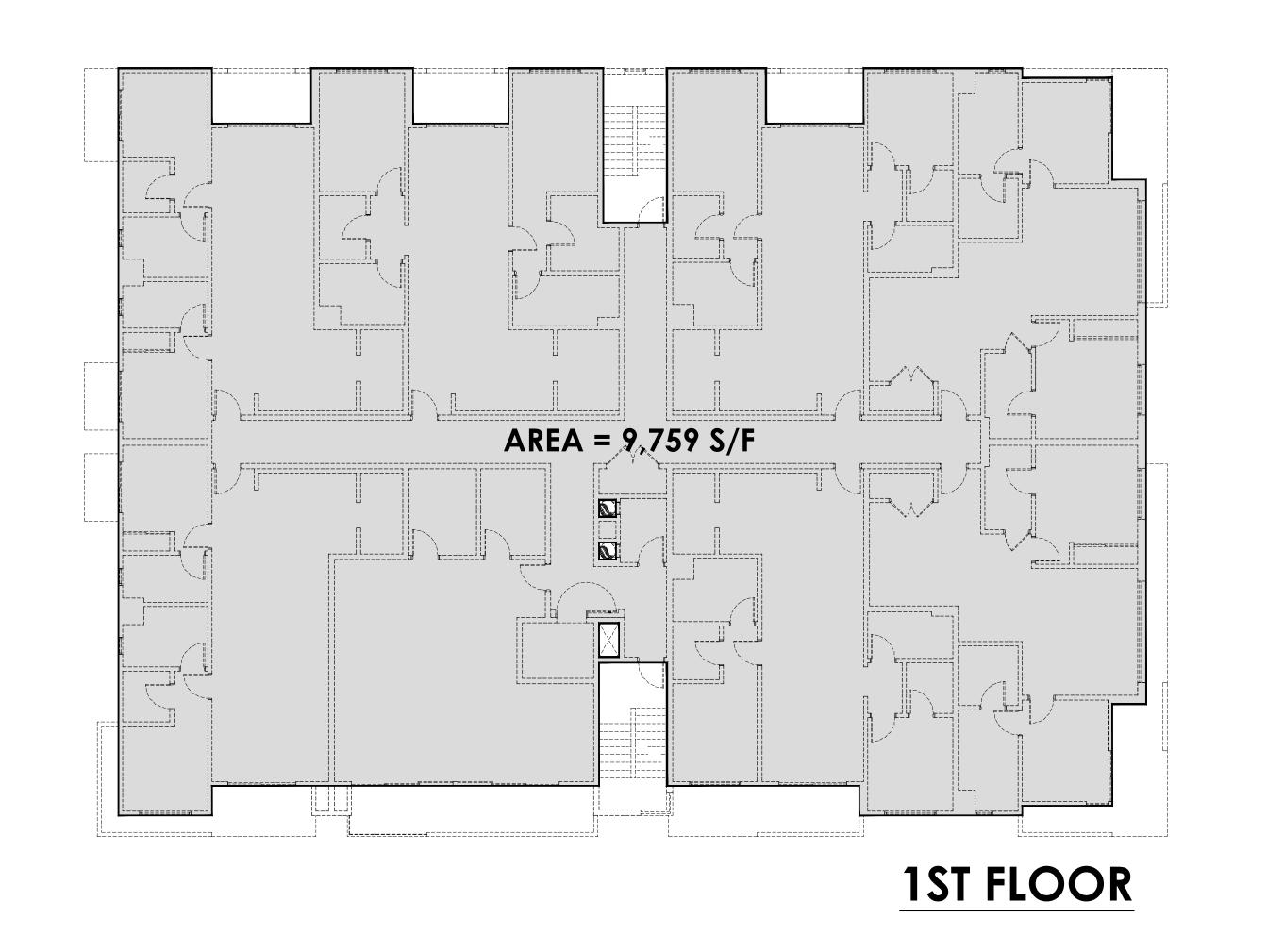
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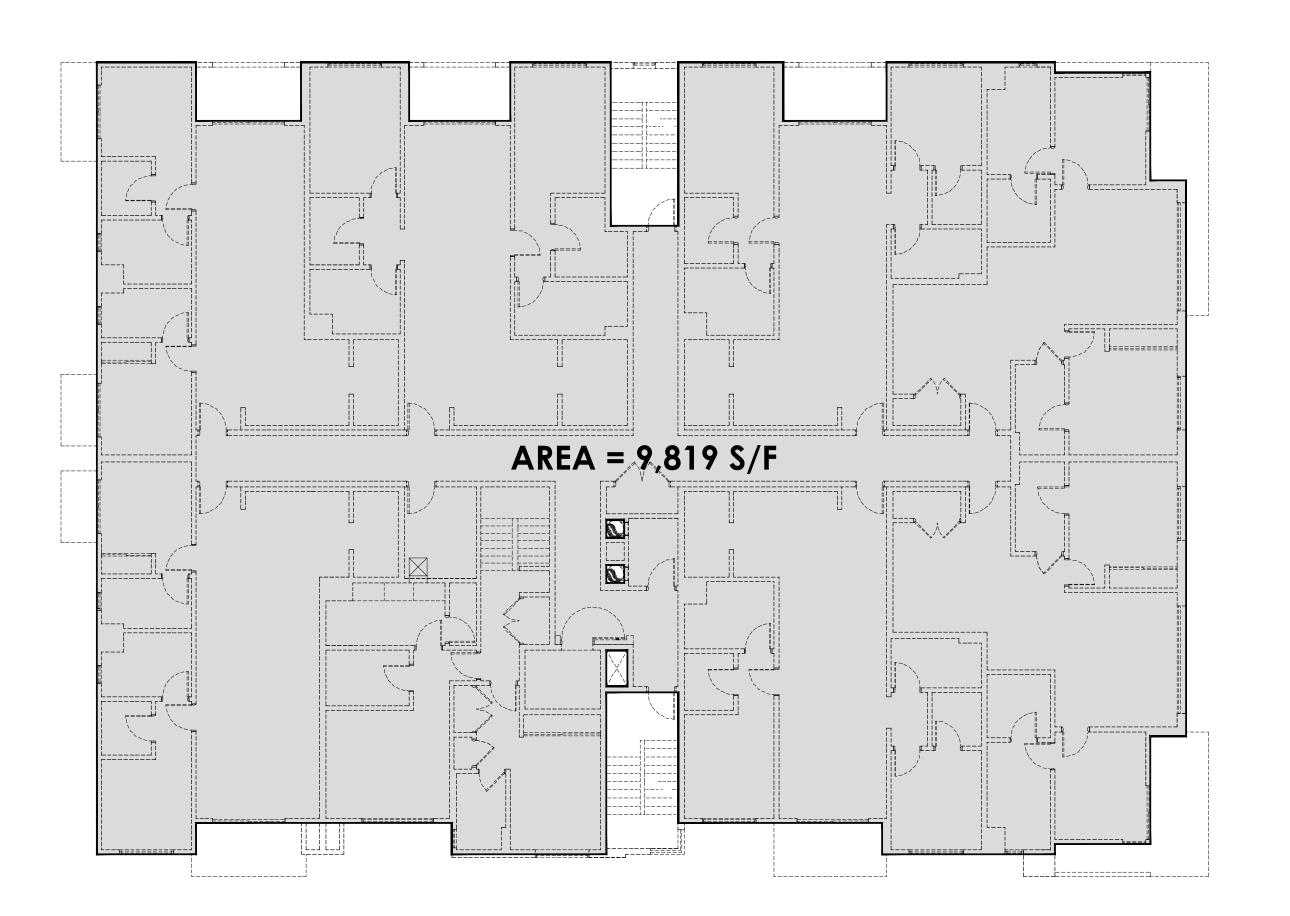
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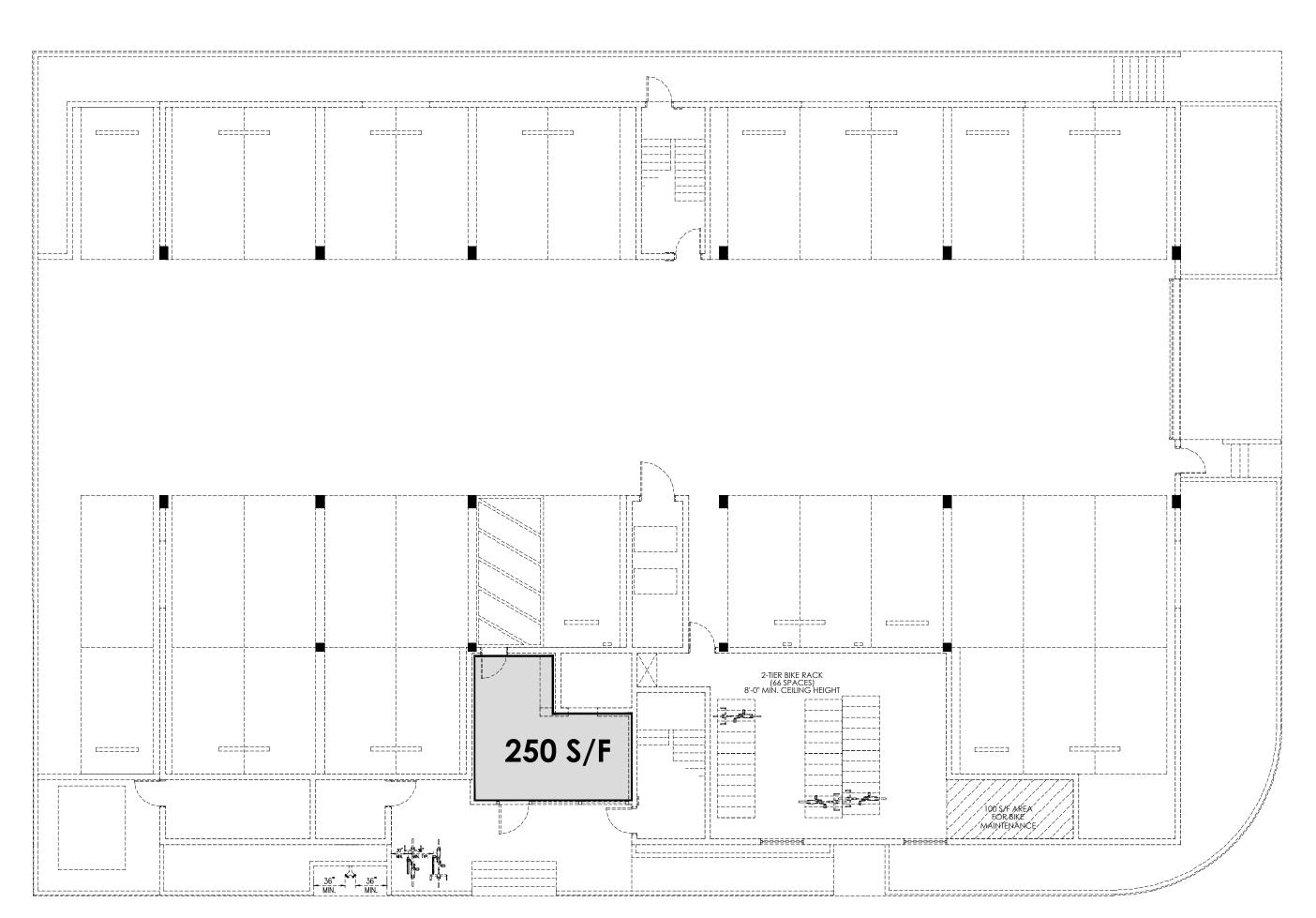
Job : Sheet :

**A-8.**1





# 2ND FLOOR



BASEMENT GARAGE



3RD FLOOR

PROVIDED		
Basement Lobby	250	S/F
1st Floor	9,759	S/F
2nd Floor	9,819	S/F
3rd Floor	9,819	S/F
TOTAL	29,647	S/F

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Developer:

## 6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

> 6200 N. KESTER AVE. VAN NUYS, CA 91411

Architect:

### D A R Y O U S H S A F A I

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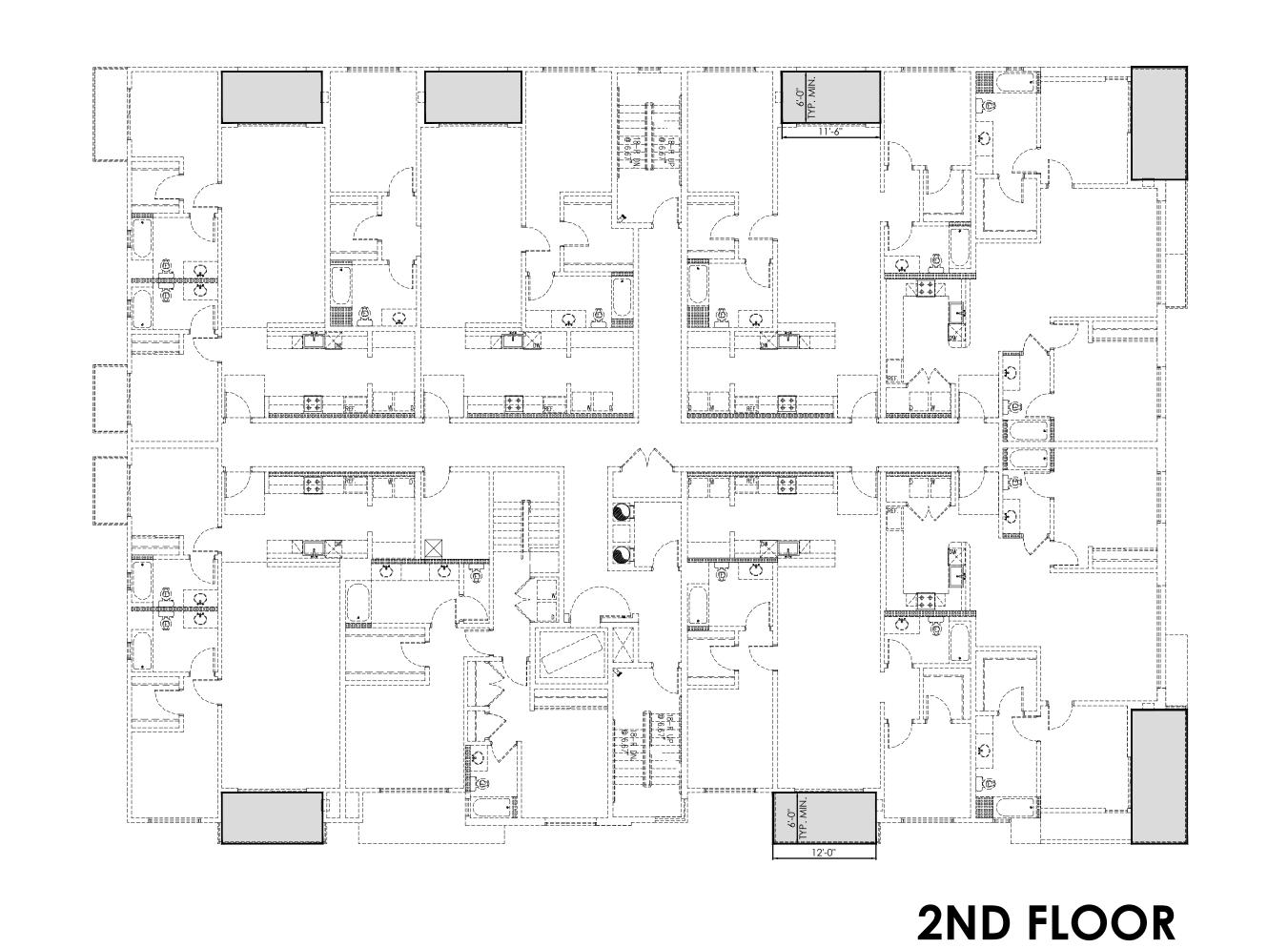
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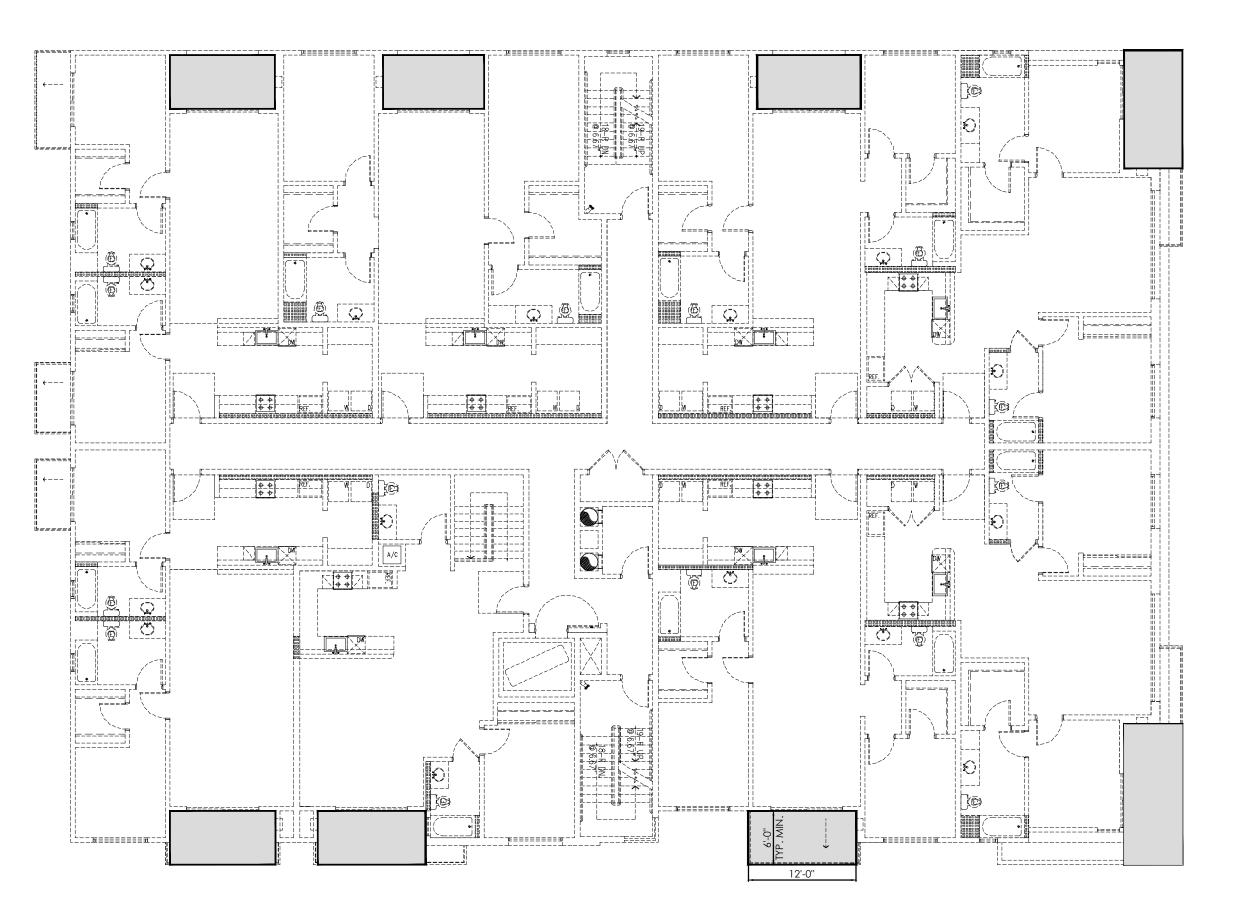
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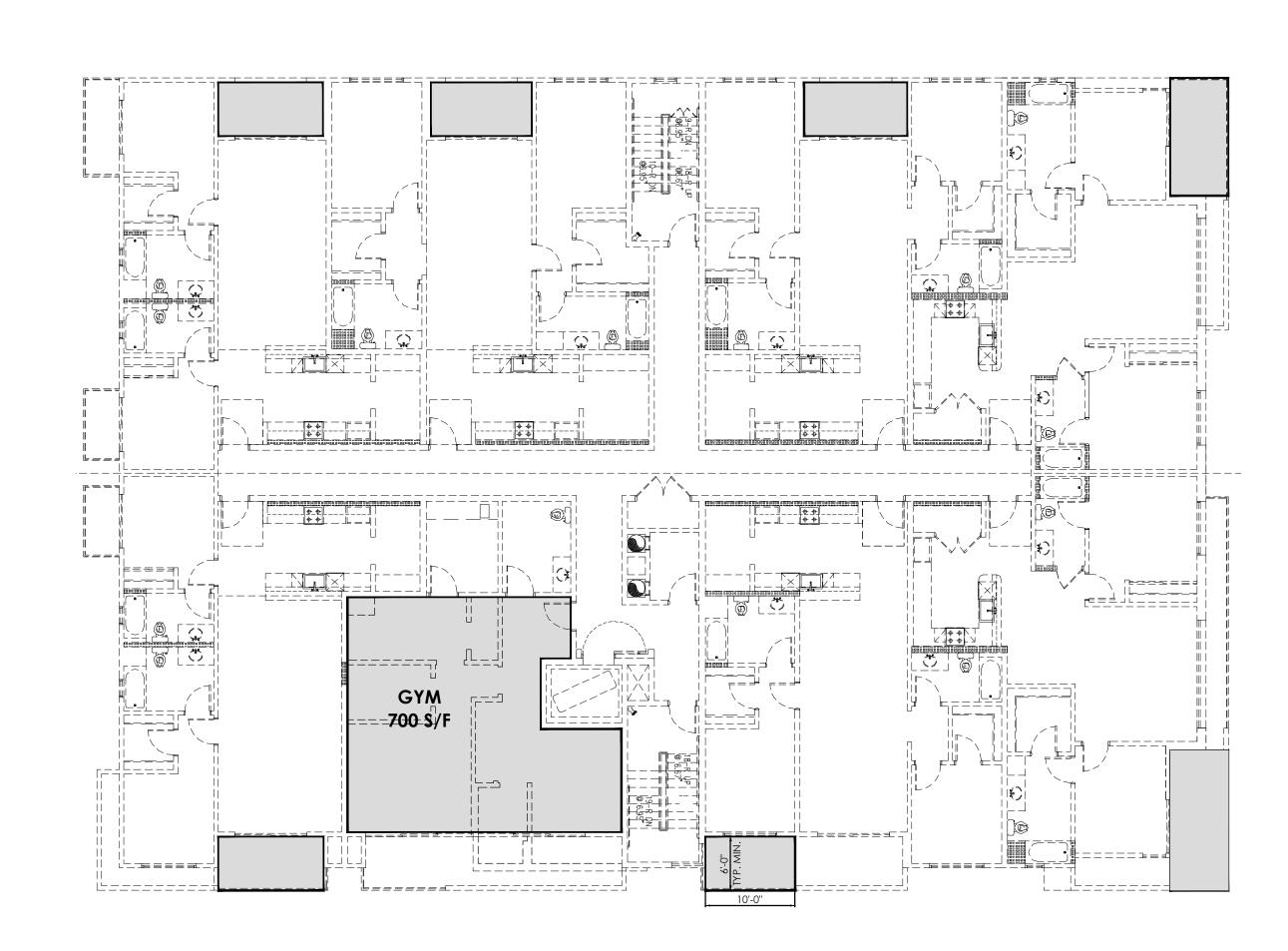
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A-8.2

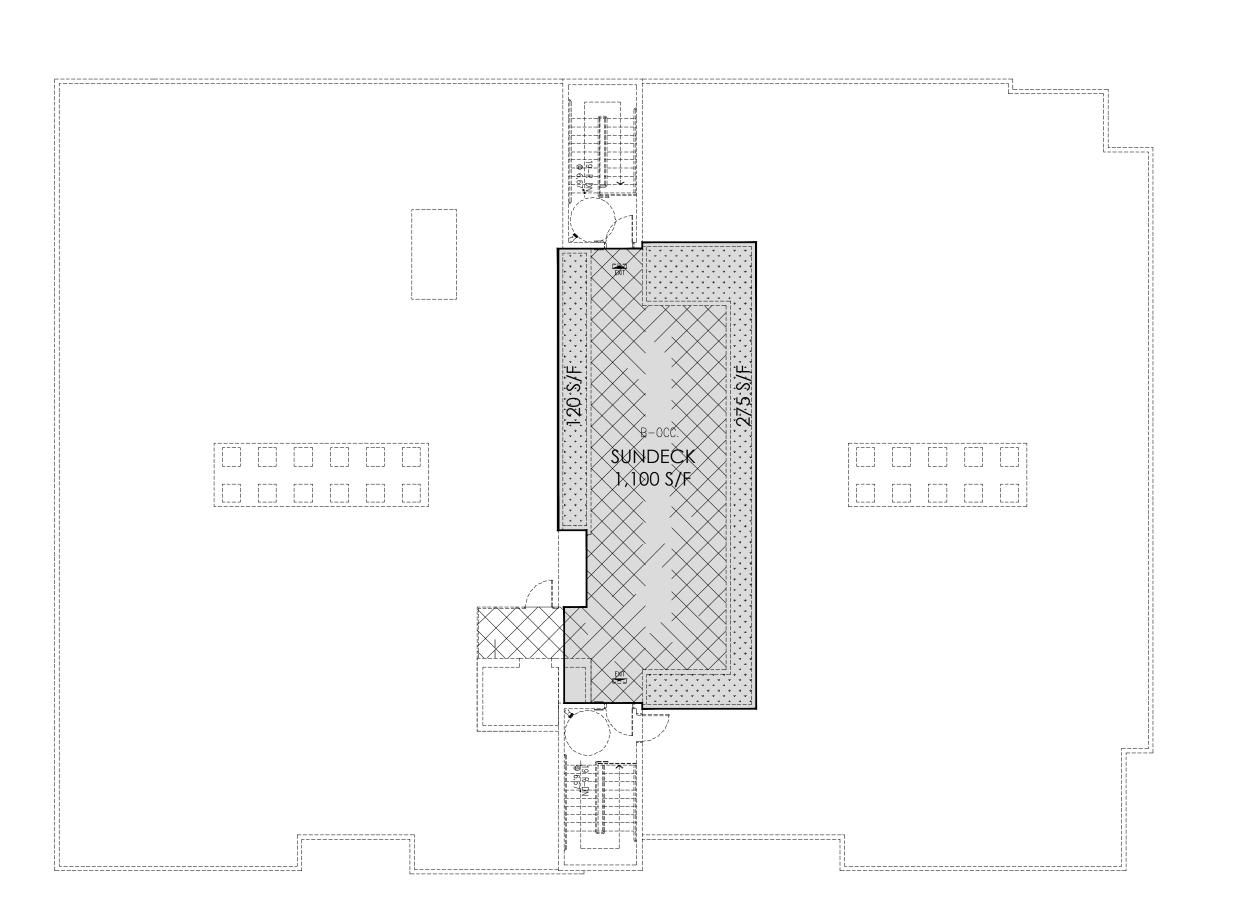




# 3RD FLOOR



1ST FLOOR



ROOF

PROVIDED		
1st Floor	GYM	700 S/F
1st Floor	(7 BALCONY x 50 S/F)	350 S/F
2nd Floor	(7 BALCONY x 50 S/F)	350 S/F
3rd Floor	(8 BALCONY x 50 S/F)	400 S/F
Roof	(SUNDECK)	1,100 S/F
TOTAL		<b>2,900</b> S/F

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Developer:

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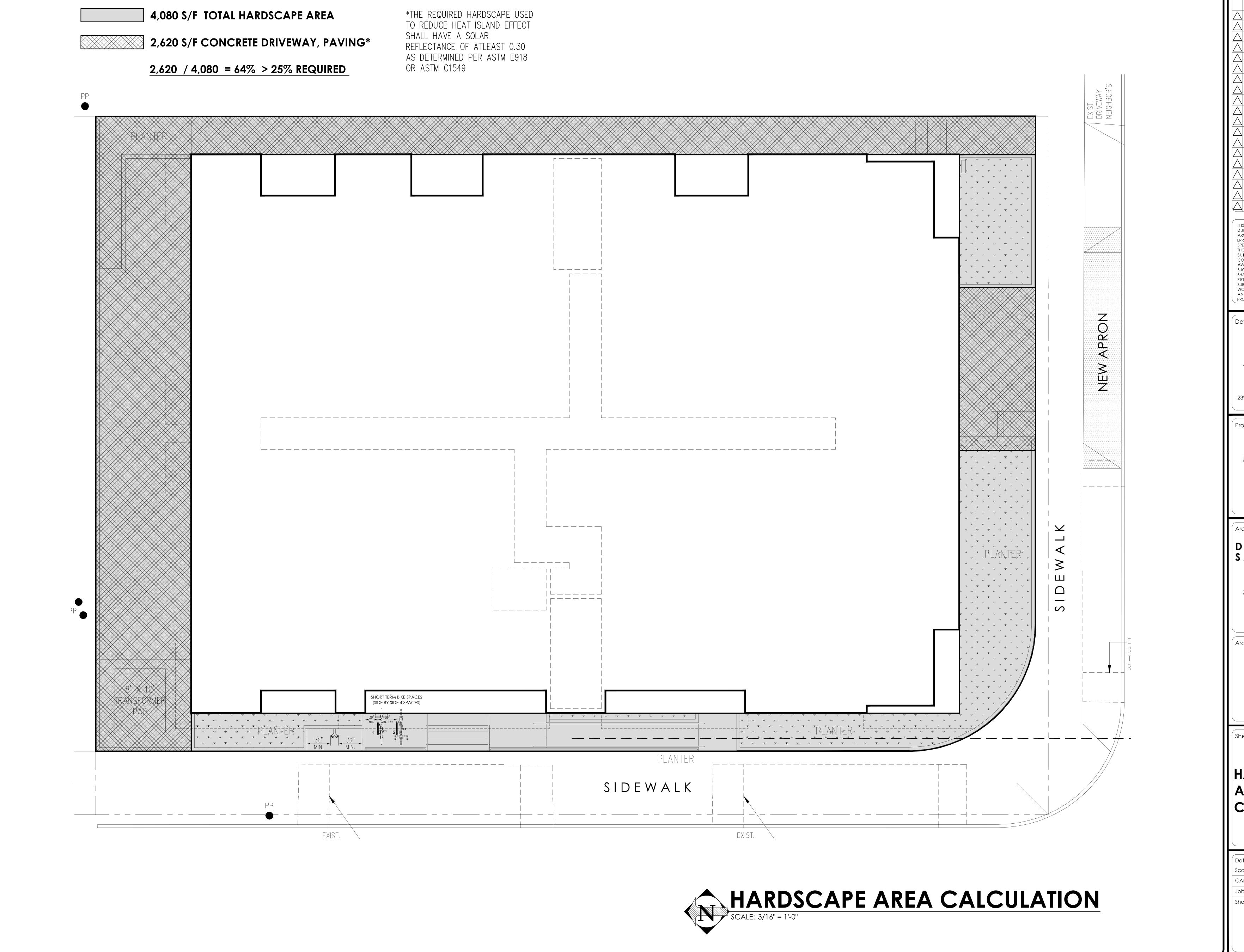
# OPEN SPACE CALC

Date : 
Scale : 3/32" = 1'-0"

CAD : ROD

Job : 
Sheet :

**A-8.3** 



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Developer:

## 6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

> 6200 N. KESTER AVE. VAN NUYS, CA 91411

Architect:

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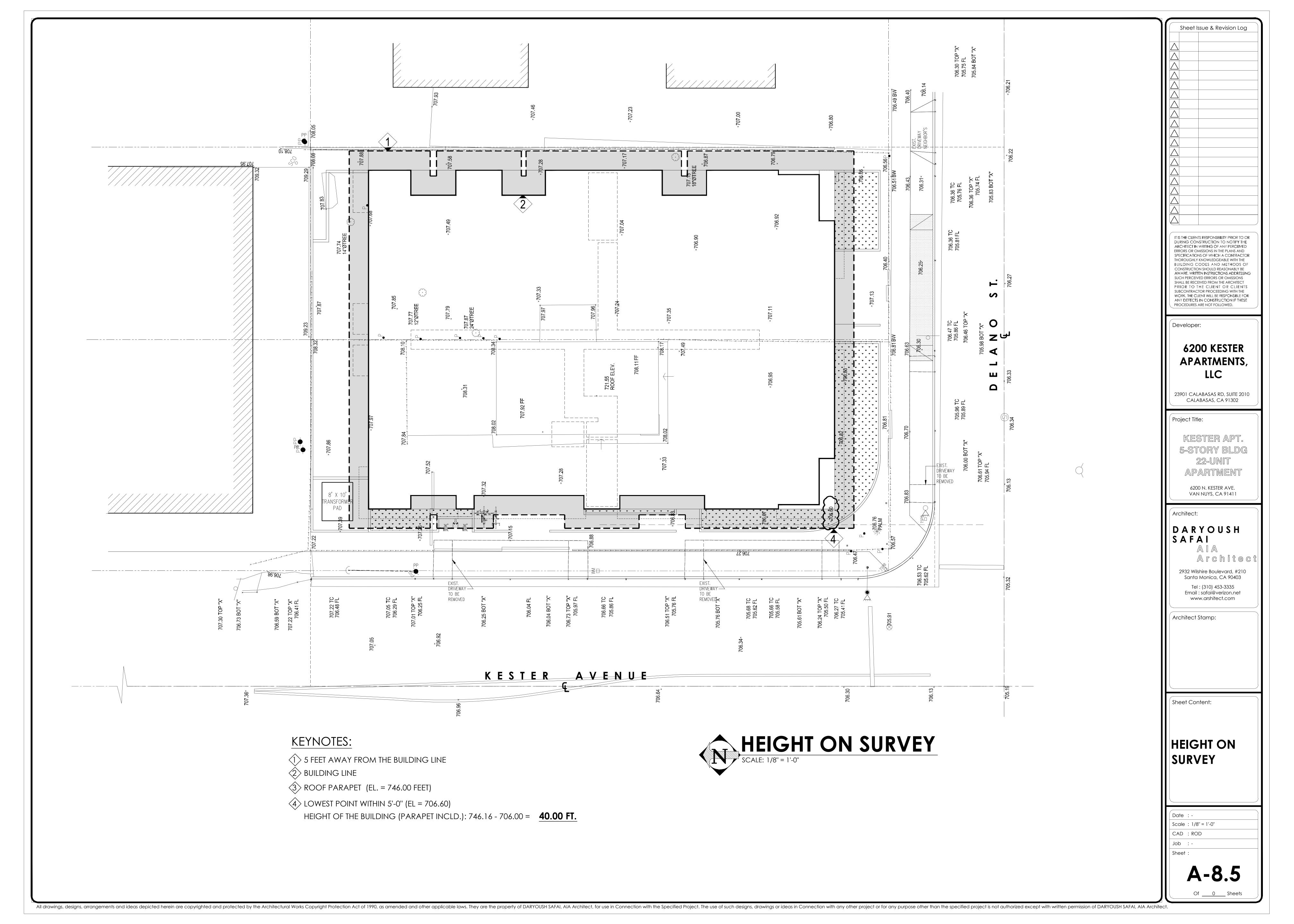
HARDSCAPE
AREA
CALCULATION

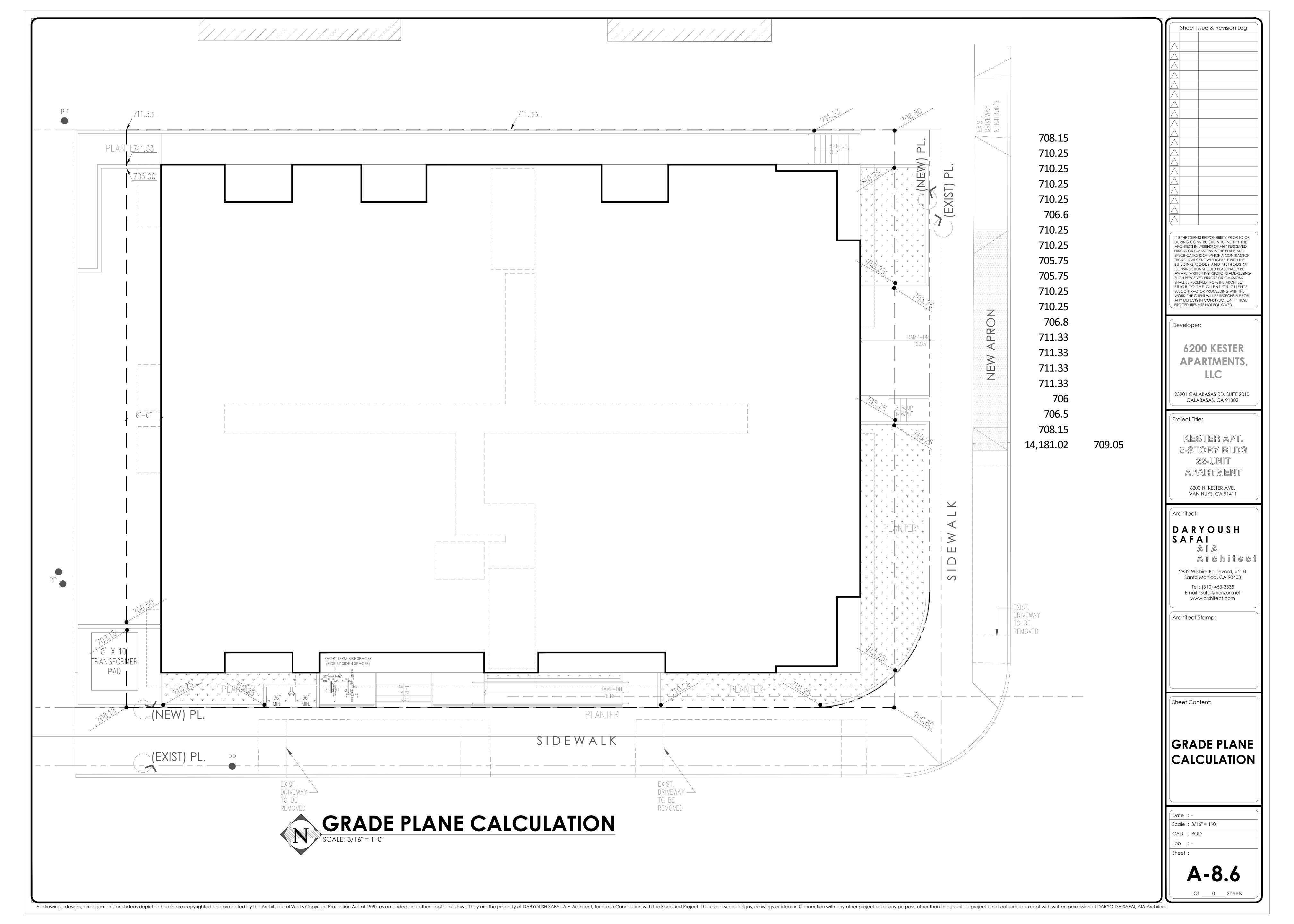
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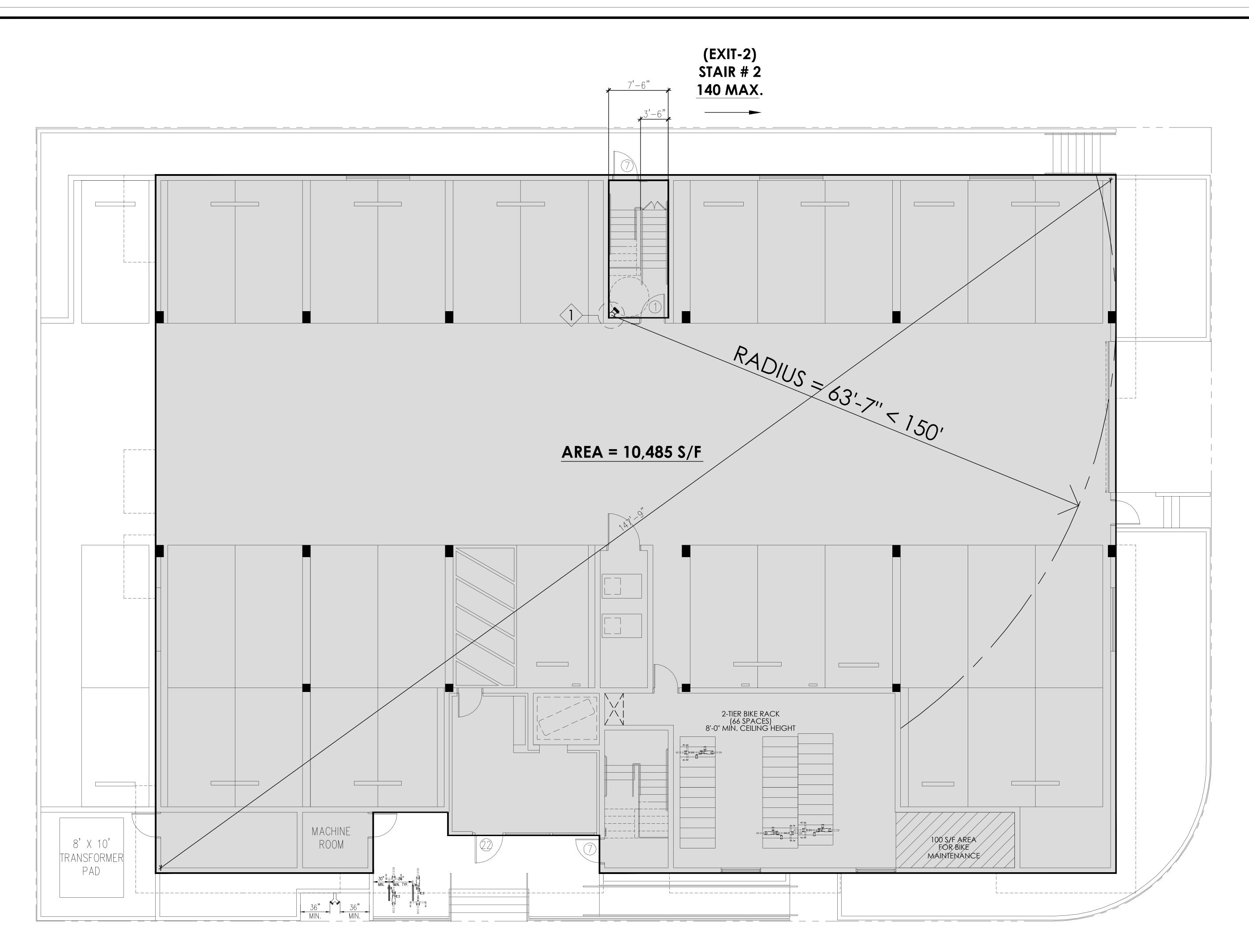
CAD : ROD

Job : Sheet :

A-8.4









OCCUPANCY	LOA	DCA	ALCULAT	ION:		
		AREA			R AREA IN SQ. FT. COCCUPANT	TOTAL OCCUPANT
BASEMENT GARAC	ЭΕ =	10	,485 S/F	/	200 =	<u>53</u>
REQUIRED EXIT	=	2				
PROVIDED EXIT	=	<u>2</u>	STAIRS			
FOR STAIRS FACT FOR EGRESS CO	OR IS	0.3" PI	ER OCCUP	PANT		
53 (OCC.) /2 (ST/	AIR/E	KIT PRC	OVIDED) =	27 OCC.	PER STAIR/EXIT	
					REQUIRED WIDTH	PROVIDED WIDTH
STAIR # 2	=			27 x .3 =	8.1"	<u>42"</u>
COMPONENT	=			27 x .2 =	5.4"	<u>36"</u>

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### **EXIT DISTANCE**

DIAGONAL = 112'-6" 1/3 OF DIAGONAL = 37'-6"

DISTANCE BETWEEN 2 EXIT DOORS = 82'-5" > 37'-6"

Date : Scale : 3/16" = 1'-0"

CAD : ROD

Job : Sheet :

Sheet Issue & Revision Log

DURING CONSTRUCTION TO NOTIFY THE

ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR

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6200 KESTER

APARTMENTS,

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

KESTER APT.

5-STORY BLDG

22-UNIT

APARTMENT

6200 N. KESTER AVE. VAN NUYS, CA 91411

DARYOUSH

Architect

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SAFAI

Architect Stamp:

Sheet Content:

**EXIT** 

**BASEMENT** 

GARAGE

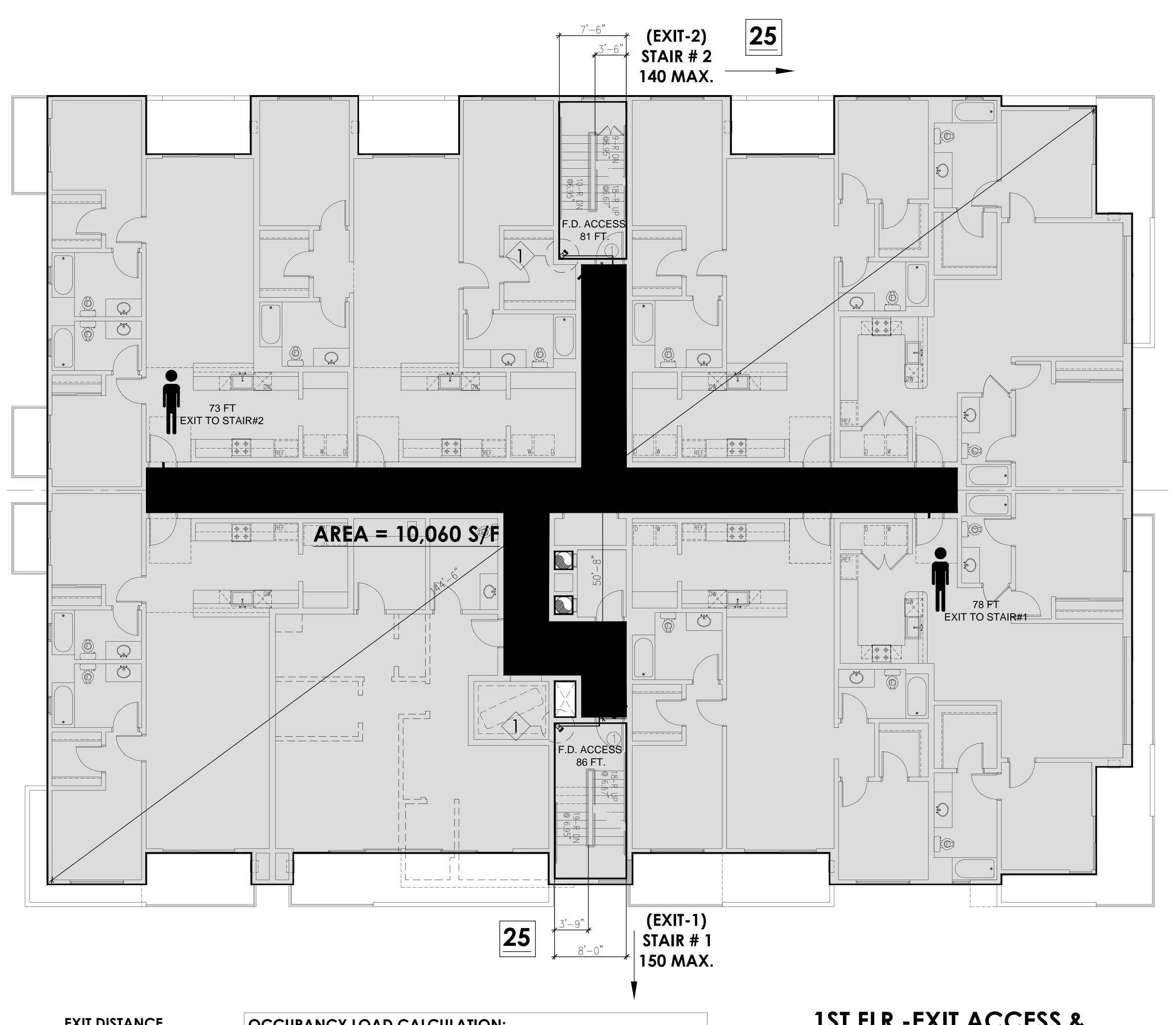
ACCESS &

OCC. LOAD

Developer:

Project Title:

LSP-1.0



**EXIT DISTANCE** 

**DIAGONAL = 144'-6"** 1/3 OF DIAGONAL = 48'-2" DISTANCE BETWEEN 2 EXIT DOORS =

50'-8" > 48'-2"

**KEYNOTE:** 

1 CLASS-I WET STANDPIPE

OCCUPANCY LOAD CALCULATION: TOTAL OCCUPANT FLOOR AREA IN SQ. FT. PER OCCUPANT AREA 1ST FLOOR 10,060 S/F 200 **50** REQUIRED EXIT 2 STAIRS PROVIDED EXIT EGRESS WIDTH CALC. PER SECTION 1005.1: FOR STAIRS FACTOR IS 0.3" PER OCCUPANT FOR EGRESS COMPONENT IS 0.2" PER OCCUPANT 50 (OCC.) / 2 (STAIR PROVIDED) = 25 OCC. PER STAIR PROVIDED WIDTH REQUIRED WIDTH STAIR # 1  $25 \times .3 =$ 45"  $25 \times .3 =$ STAIR # 2 **42**"  $25 \times .2 =$ COMPONENT

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1ST FLR -EXIT ACCESS & EGRESS PER OCC. LOAD Sheet Issue & Revision Log

DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE CONSTRUCTION SHOULD REASONABLY BE AWARE, WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK, THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

Developer:

# 6200 KESTER APARTMENTS,

23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

# DARYOUSH

SAFAI Architect

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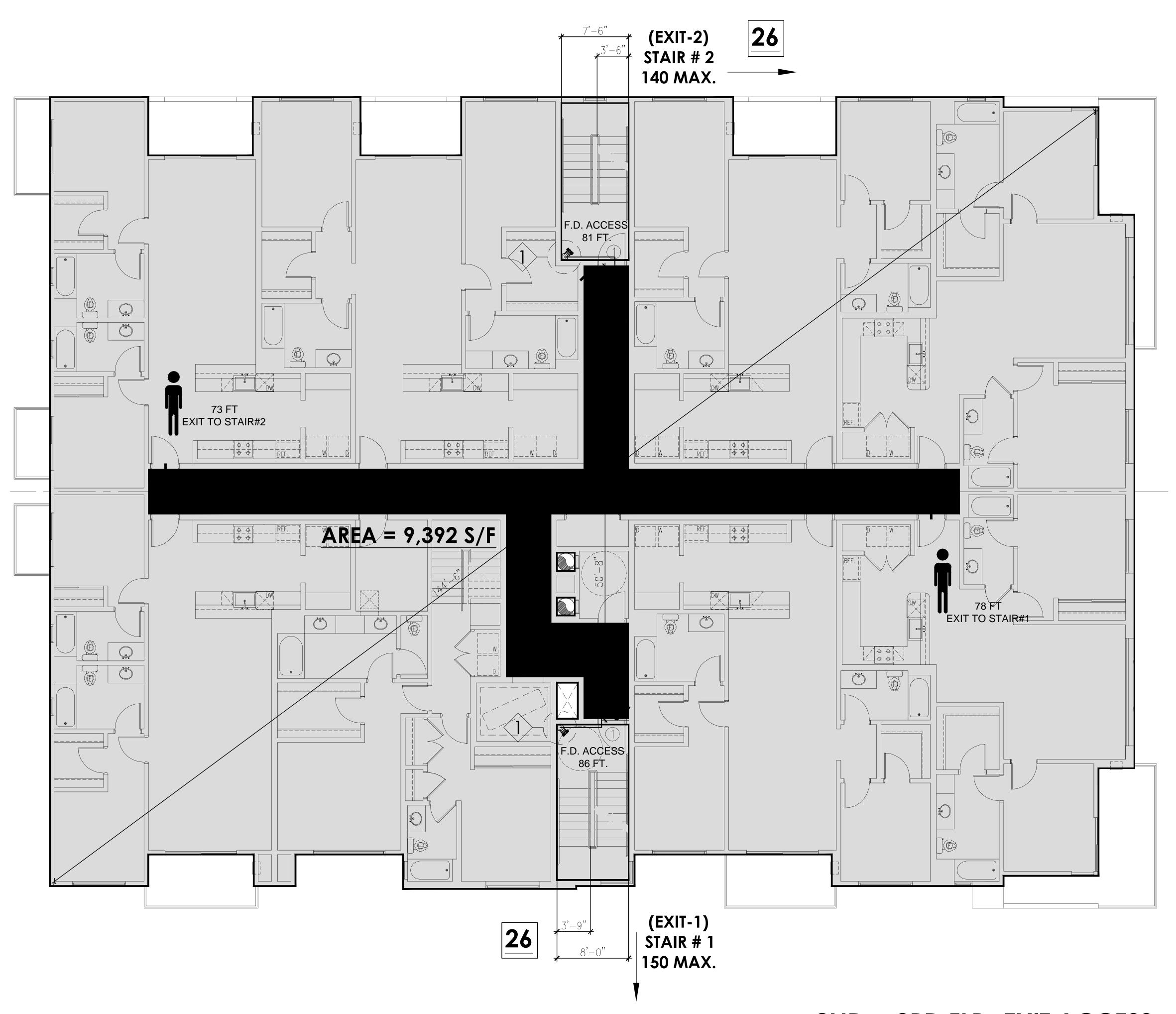
Architect Stamp:

Sheet Content:

1ST FLOOR EXIT ACCESS **| & EGRESS PER** 

Scale: 3/16" = 1'-0"

LSP-1.1



EXIT DISTANCE

DIAGONAL = 144'-6"

1/3 OF DIAGONAL = 48'-2"

1/3 OF DIAGONAL = 48'-2"

DISTANCE BETWEEN 2 EXIT DOORS = 50'-8" > 48'-2"

# **KEYNOTE:**

CLASS-I WET STANDPIPE

		AREA	FLOOR PER	AREA IN S COCCUPAI	TOTAL OCCUPANT	
2ND & 3RD FLOC	OR =	10,124 S/F	/	200	=	<u>51</u>
REQUIRED EXIT	=	2				
PROVIDED EXIT	=	2 STAIRS				
FOR STAIRS FACTOR EGRESS CO	TOR IS ( MPONI	0.3" PER OCCUP ENT IS 0.2" PER C	ANT OCCUPA	.NT		
				REQUIR WIDTI		PROVIDED WIDTH
STAIR # 1	=		26 x .3 =	7.8	3''	<u>45"</u>
CTAID # O	_	,	)	7.0	) I I	40"
STAIR # 2	=		$26 \times .3 =$	7.8	)	42"

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2ND & 3RD FLR -EXIT ACCESS & EGRESS PER OCC. LOAD

SCALE: 3 /16" = 1'-0"

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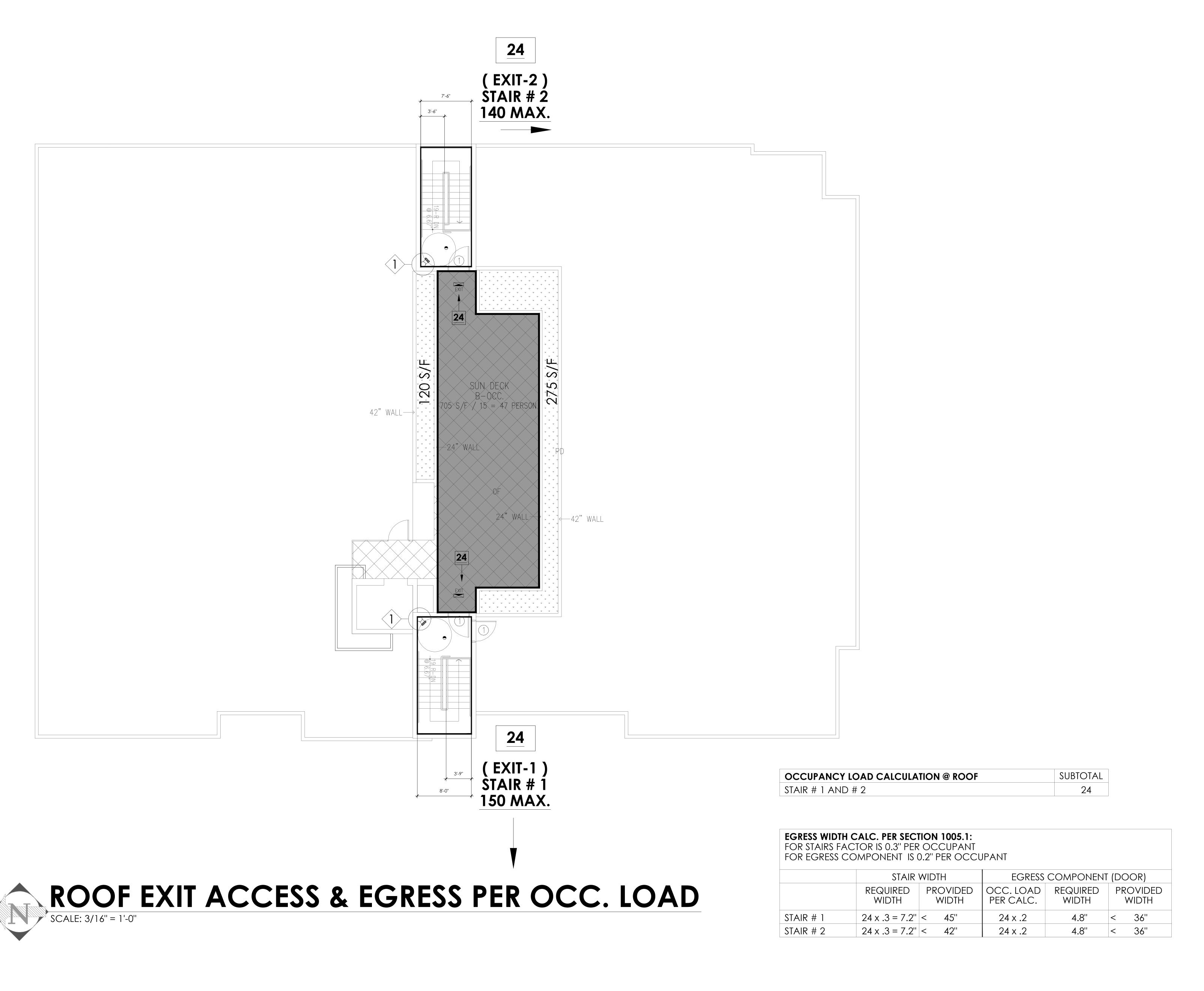
2ND & 3RD FLOOR EXIT ACCESS & EGRESS PER OCC. LOAD

Date : Scale : 3/16" = 1'-0"

CAD : ROD

Job : Sheet :

LSP-1.2



Sheet Issue & Revision Log

Sh

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Project lifte:

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> 6200 N. KESTER AVE. VAN NUYS, CA 91411

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Santa Monica, CA 90403

Tel: (310) 453-3335

Email: safai@verizon.net

www.arshitect.com

Architect Stamp:

Sheet Content:

ROOF EXIT
ACCESS &
EGRESS PER
OCC LOAD

Date : 
Scale : 3/16" = 1'-0"

CAD : ROD

Job : 
Sheet :

LSP-1.3

