

LEGAL DESCRIPTION:
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, DESCRIBED AS FOLLOWS:
 THE WESTERLY 110 FEET OF LOT 13 IN BLOCK 62 OF TRACT 1200, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 19, PAGE 35 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF S.D. COUNTY.
 APN: 2241-016-013
 APN: 2241-016-014

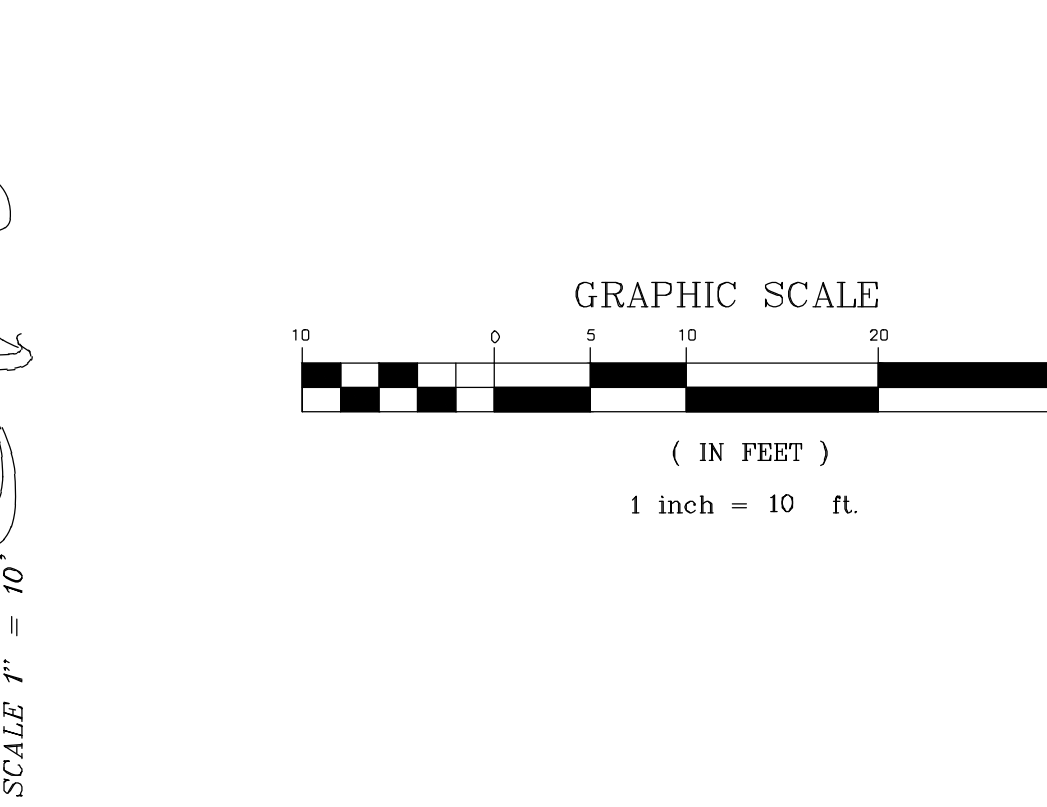
BASIS OF BEARINGS:
 THE BEARING EAST, ON THE CENTERLINE OF E STREET, NOW KNOWN AS DELANO STREET, AS SHOWN ON TRACT NO. 1200, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN M.B. 19, PAGE 35, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF S.D. COUNTY.

LAND AREA:
 APN: 2241-16-013 CONTAINING AN AREA OF 9,008.13 SQ. FT., OR 0.207 ACRES, MORE OR LESS.
 APN: 2241-16-014 CONTAINING AN AREA OF 7,506.69 SQ. FT., OR 0.172 ACRES, MORE OR LESS.
 TOTAL AREA OF 16,514.82 SQ. FT., OR 0.379 ACRES, MORE OR LESS.

BENCHMARK:
 BM ID: 08-13621 (NAVD 1988)
 DESCRIPTION: WIRE SPK IN N CURB DELANO ST; 1.5FT W OF BC CURB RET W OF KESTER AVE
 ELEV. = 706.924 FT.

- LEGEND:**
- | | | | |
|-------|----------------------------|--------|---------------------------------|
| APN | = ASSESSOR'S PARCEL NUMBER | POR | = PORTION |
| BW | = BACK OF WALK | CP | = PREPARED |
| C/CL | = CENTERLINE | PC | = PROPERTY CORNER |
| CL | = CHAIN LINK FENCE | PL | = PILE |
| CONC | = CONCRETE | PL | = PROPERTY LINE |
| DWY | = DRIVEWAY | PM | = PUNCH MARKS |
| EST | = ESTABLISH | PRO | = PRODUCED (PROLONGED) |
| FB | = FIELD BOOK | REC | = RECORD |
| FD | = FOUND | REF | = REFERENCE |
| FF | = FINISH FLOOR ELEV. | SSDM | = STANDARD SURVEY DISC MONUMENT |
| FL | = FLOORING ELEV. | SMH | = SEWER MANHOLE |
| FS | = FINISH SURFACE ELEV. | TC | = TOP OF CURB ELEV. |
| INTER | = INTERSECTION | TR | = TRACT MAP |
| L & T | = LEAD & TACK | W.I.F. | = WROUGHT IRON FENCE |
| (M) | = MEASURED | N/O | = NORTH OF |
| MB | = MAP BOOK | W/O | = WEST OF |
| POL | = POINT ON LINE | N/Y | = NORTHERLY |

- SYMBOLS:**
- | | | | |
|---|-------------------|-----|---------------------------|
| ⊕ | FIRE HYDRANT | ⊕ | TRAFFIC LIGHT CONTROL BOX |
| ⊕ | GATE | ⊕ | TRAFFIC LIGHT |
| ⊕ | PALM TREE | ⊕ | W.M. STREET LIGHT |
| ⊕ | POST | ⊕ | TREE |
| ⊕ | POWER POLE | ⊕ | WATER METER |
| ⊕ | POWER POLE ANCHOR | ⊕ | WATER VALVE |
| ⊕ | SEWER CL. OUT | --- | PROPERTY LINE |
| ⊕ | SEWER MANHOLE | --- | CENTERLINE |
| ⊕ | SIGN POST | --- | WALL |
| ⊕ | TRAFFIC LIGHT | --- | BUILDING LINE |
| | | --- | FENCE LINE |



TITLE:		TOPOGRAPHIC SURVEY	
6200 KESTER AVE. & 14849 W. DELANO ST., VAN NUYS, CA 91411			
CLIENT:	MR. KURT GIBBS	JOB NO.:	15-8905
SCALE:	1"=10'	DATE:	05/19/15
DESIGNED BY:	F.G. / D.C.	REVISION (S):	
DRAWN BY:	F.B.		
CHECKED BY:	C.D.L.		
		SHEET	1
		OF 1 SHEET	

Issue No.	Description	Date

IT IS THE CLIENT'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENT'S SUBCONTRACTOR PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

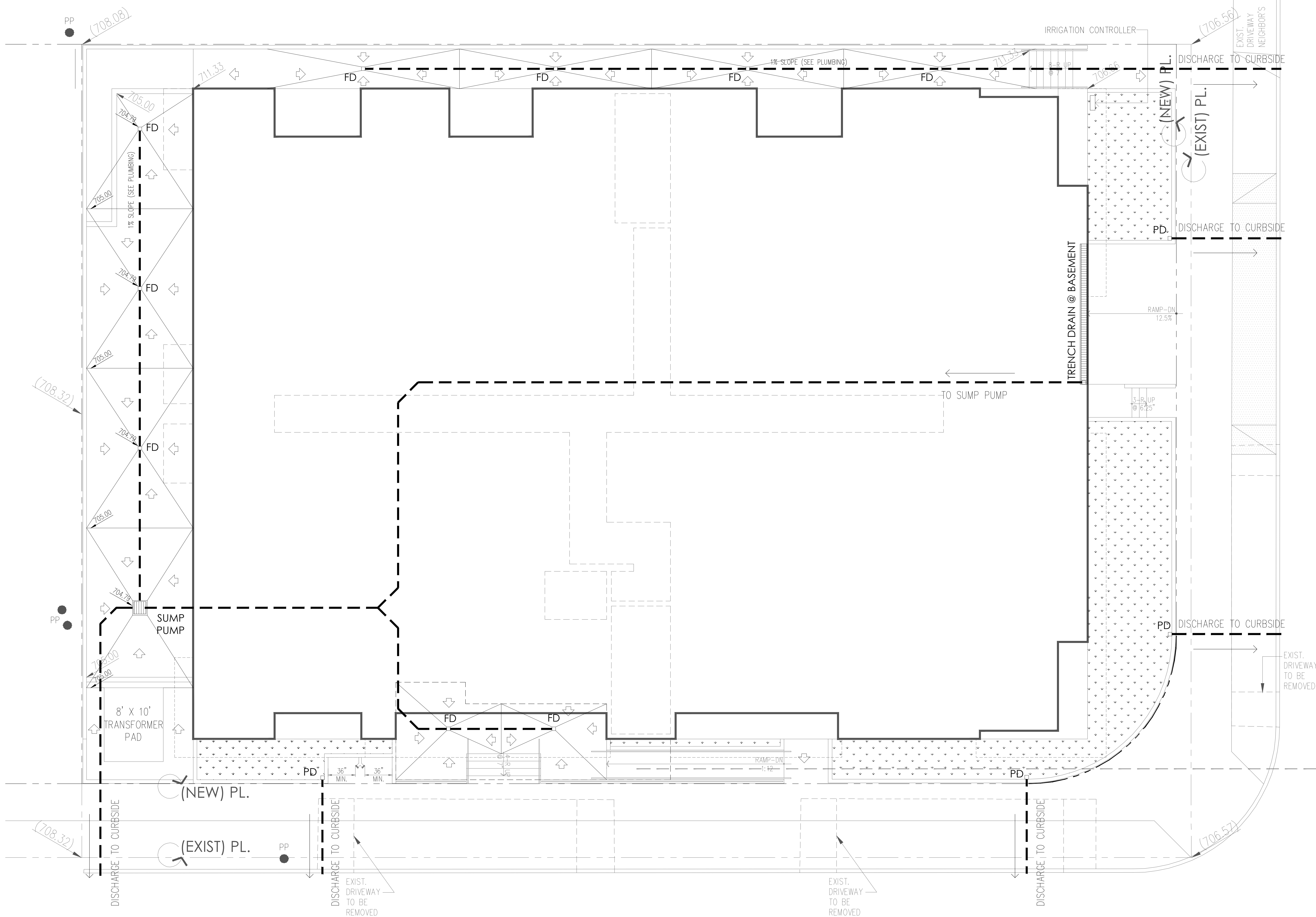
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Architect:
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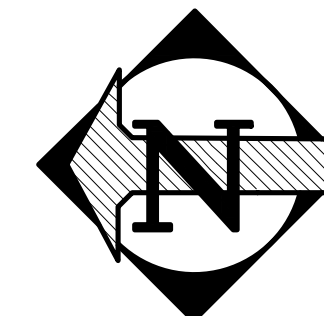
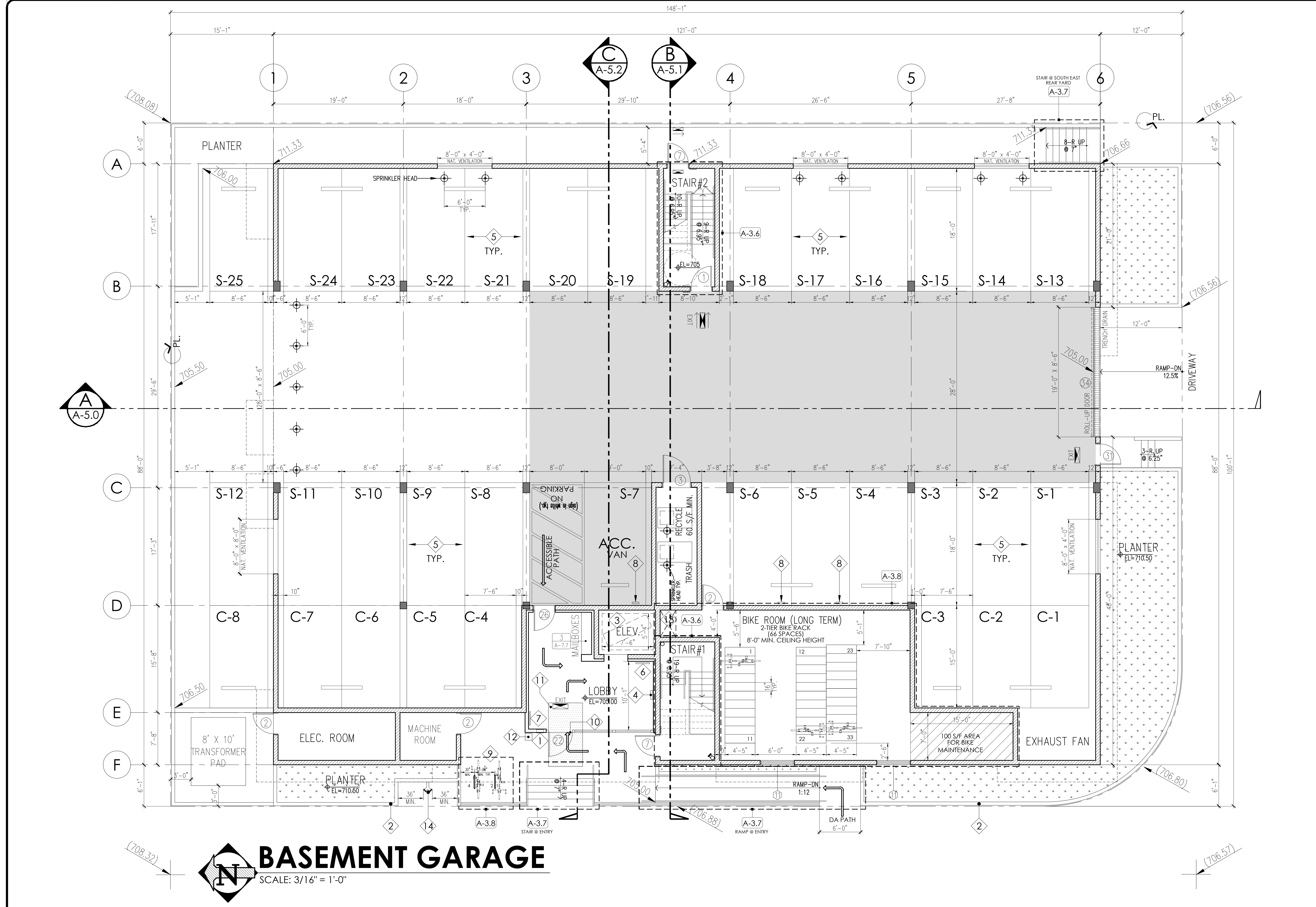
Sheet Content:
SITE DRAINAGE PLAN

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
Job : -
Sheet : **A-2.2**
Of 0 Sheets



SITE DRAINAGE PLAN

SCALE: 3/16" = 1'-0"



BASEMENT GARAGE

SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/25/23
2	REVISION: PERMITS COMMENTS	11/05/23
3	REVISION: PERMITS COMMENTS	11/15/23
4	REVISION: PERMITS COMMENTS	11/25/23
5	REVISION: PERMITS COMMENTS	12/05/23
6	REVISION: PERMITS COMMENTS	12/15/23
7	REVISION: PERMITS COMMENTS	12/25/23
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9	REVISION: PERMITS COMMENTS	1/15/24
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11	REVISION: PERMITS COMMENTS	2/05/24
12	REVISION: PERMITS COMMENTS	2/15/24
13	REVISION: PERMITS COMMENTS	2/25/24
14	REVISION: PERMITS COMMENTS	3/05/24
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47	REVISION: PERMITS COMMENTS	2/05/25
48	REVISION: PERMITS COMMENTS	2/15/25
49	REVISION: PERMITS COMMENTS	2/25/25
50	REVISION: PERMITS COMMENTS	3/05/25

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Architect Stamp:

Sheet Content:
BASEMENT GARAGE

FAN / VENTILATION	SPRINKLER HEAD
1. ENERGY STAR COMPLIANT	EXIT SIGN
2. DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING	FIRE EXTINGUISHER
3. CONTROL BY HUMIDITY CONTROLLER	FD FLOOR DRAIN
CLASS-I STANDPIPE	8" BLOCK WALL

NOTE: SHADED AREA = 8'-2" MIN. VERTICAL DIMENSION SHALL BE CLEAR OF ALL OBSTRUCTION INCLUDING BEAMS, SPRINKLER HEAD PIPING, ETC.

1 INTERCOM	4 LOCATION OF THE DESCRIPTIVE DIAGRAM INDICATING THE IDENTIFICATION PATTERN AND LOCATION OF EACH DWELLING UNIT IN THE APARTMENT HOUSE OR COMPLEX.	8 VEHICLE CHARGING STATIONS (2 SPACES + 1 ACC. SPACE) 1) WHERE MULTIPLE CHARGING SPACES ARE REQUIRED, SHOW LOCATION(S) AND TYPE OF EVSE, RACEWAY METHOD(S), ONLY UNDERGROUND RACEWAYS AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION. ELECTRICAL CALCULATIONS SHALL VERIFY THAT THE SYSTEM HAS SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. 2) THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 3 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED. 3) A LABEL STATING 'EV CAPABLE' SHALL BE POSTED IN A CONSPICUOUS PLACE AT THE SERVICE PANEL OR SUBPANEL AND THE EV CHARGING SPACE.	10 KNOX BOX ON WALL LAFD MODEL#3502
2 3'-6" MAX. HEIGHT PLANTER ADJACENT TO NATURAL GRADE	5 DOUBLE STRIPPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO.5	9 SHORT TERM BIKE PARK (SIDE BY SIDE 4 SPACES)	11 1/2" MAX. THRESHOLD TYP.
3 FOR ELEVATOR SHAFT SIZE SEE ELEVATOR SHOP DWG.	6 INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES	10 FLOOR LANDING AT EA. SIDE OF AN EXIT DOOR SHALL BE LEVEL & HAVING A LENGTH IN THE DIRECTION OF THE DOOR SWING OF AT LEAST 60" & THE LENGTH OPPOSITE THE DIRECTION OF THE DOOR SWING OF 44" AS MEAS. AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION.	12 GARAGE EXHAUST SEE MECHANICAL PLANS
	7 FIRE ALARM CONTROL PANEL & SPRINKLER SHUT-OFF		13 EXHAUST FAN

NOTES:

- 1) for **PLUMBING**, see *Plumbing plans*.
- 2) for **STAIR PLANS & SECTIONS**, see A-3.10 to A-3.11
- 3) provide **GARAGE MECHANICAL VENTILATION**, see *Mechanical Plans*.

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
Job : -
Sheet : -
A-3.0
Of 0 Sheets

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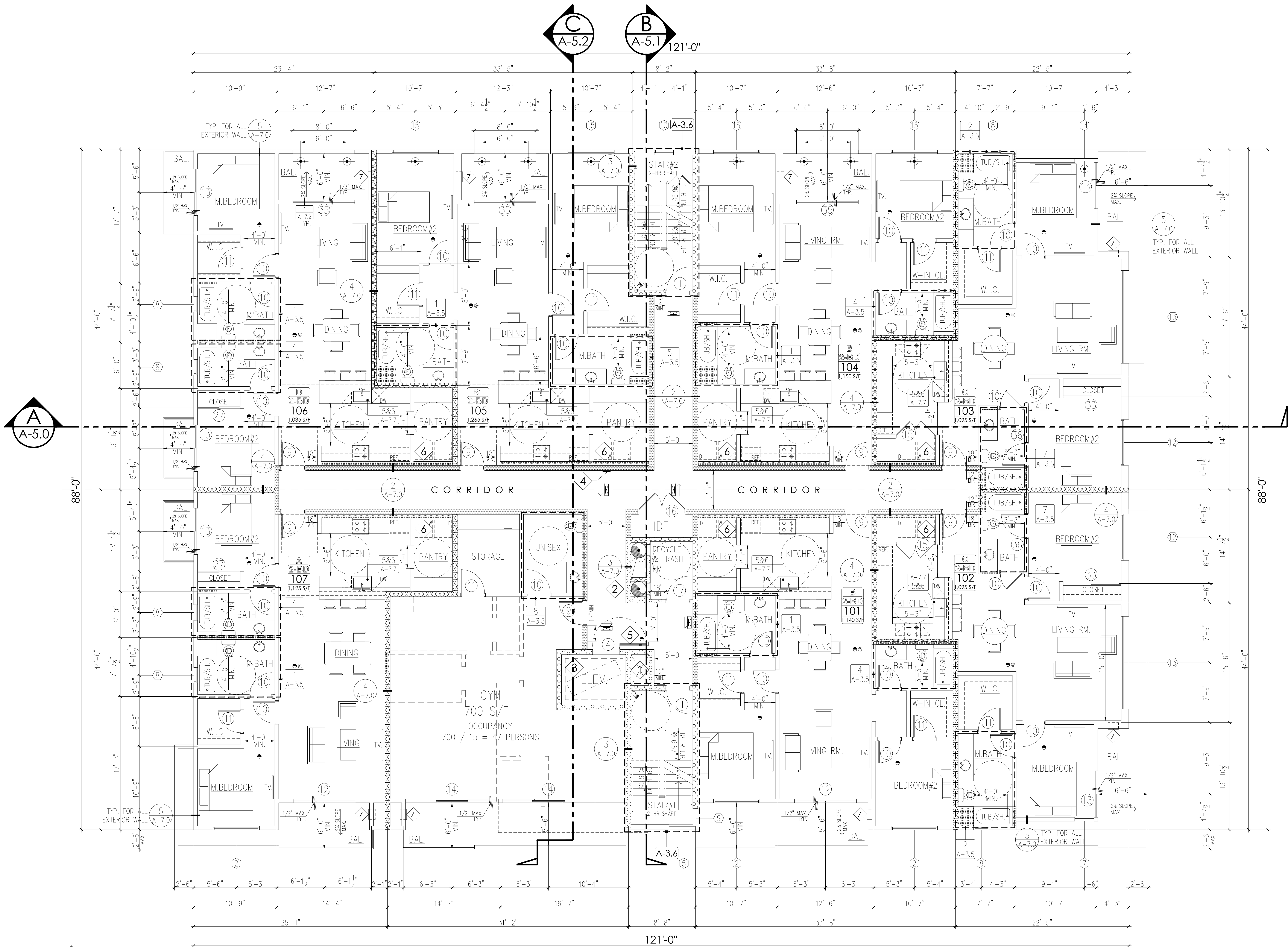
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1ST FLOOR PLAN

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1ST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

- LEGEND:**
- ⊙ FAN / VENTILATION
 - ⊙ ENERGY STAR COMPLIANT
 - ⊙ DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING
 - ⊙ CONTROL BY HUMIDITY CONTROLLER
 - ⊙ CLASS-I STANDPIPE
 - ⊙ SPRINKLER HEAD
 - ⊙ EXIT SIGN
 - ⊙ FIRE EXTINGUISHER
 - HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.
 - ⊙ HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP

- KEYNOTES:**
- ① SHAFT-GARAGE VENTILATION (EXHAUST)
 - ② TRASH & RECYCLE CHUTE
 - ③ FOR ELEVATOR SHAFT SIZE SEE ELEVATOR SHOP DWG.
 - ④ LOCATION OF THE DESCRIPTIVE DIAGRAM INDICATING THE IDENTIFICATION PATTERN AND LOCATION OF EACH DWELLING UNIT IN THE APARTMENT HOUSE OR COMPLEX.
 - ⑤ ADDITIONAL DOORS PER UL 1784 & 91.3002.6 TO AVOID ELEVATOR LOBBY
 - ⑥ ELECTRIC DRYER ONLY; PROVIDE FRONT-LOADING CLOTHES WASHER OR MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICE
 - ⑦ TANKLESS WATER HEATER

- WALL LEGEND:**
- ▬ 1-HR CORRIDOR WALL - DET. #2/A-7.0
 - ▬ 2-HR SHAFT WALL - DET. #3/A-7.0
 - ▬ 1-HR DIVISION WALL - DET. #4/A-7.0
 - ▬ PLUMBING WALL

- NOTES:**
- 1) ALL BATHROOM TO BE PROVIDED WITH **BACKING**. SEE DET. (# 8.10 & 11 / A-7.7)
 - 2) ALL **KITCHEN COUNTERTOPS** TO BE **GRANITE**
 - 3) AT LEAST **ONE FULLY ACCESSIBLE SINK** IN EVERY BATHROOM. SEE DET. (# 7 / A-7.7)
 - 4) FOR **STAIR DETAILS**. SEE (A-7.5); FOR STAIR PLANS & SECTIONS. SEE (A-3.6)
 - 5) PROVIDE AN APPROVED **LOW-LEVEL EXIT SIGNS** IN ALL INTERIOR EXIT CORRIDORS. SEE DET. (# 10 / A-7.5)
 - 5) PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM OR PARKING GARAGE.
 - 6) PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITH 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.
 - 7) PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.

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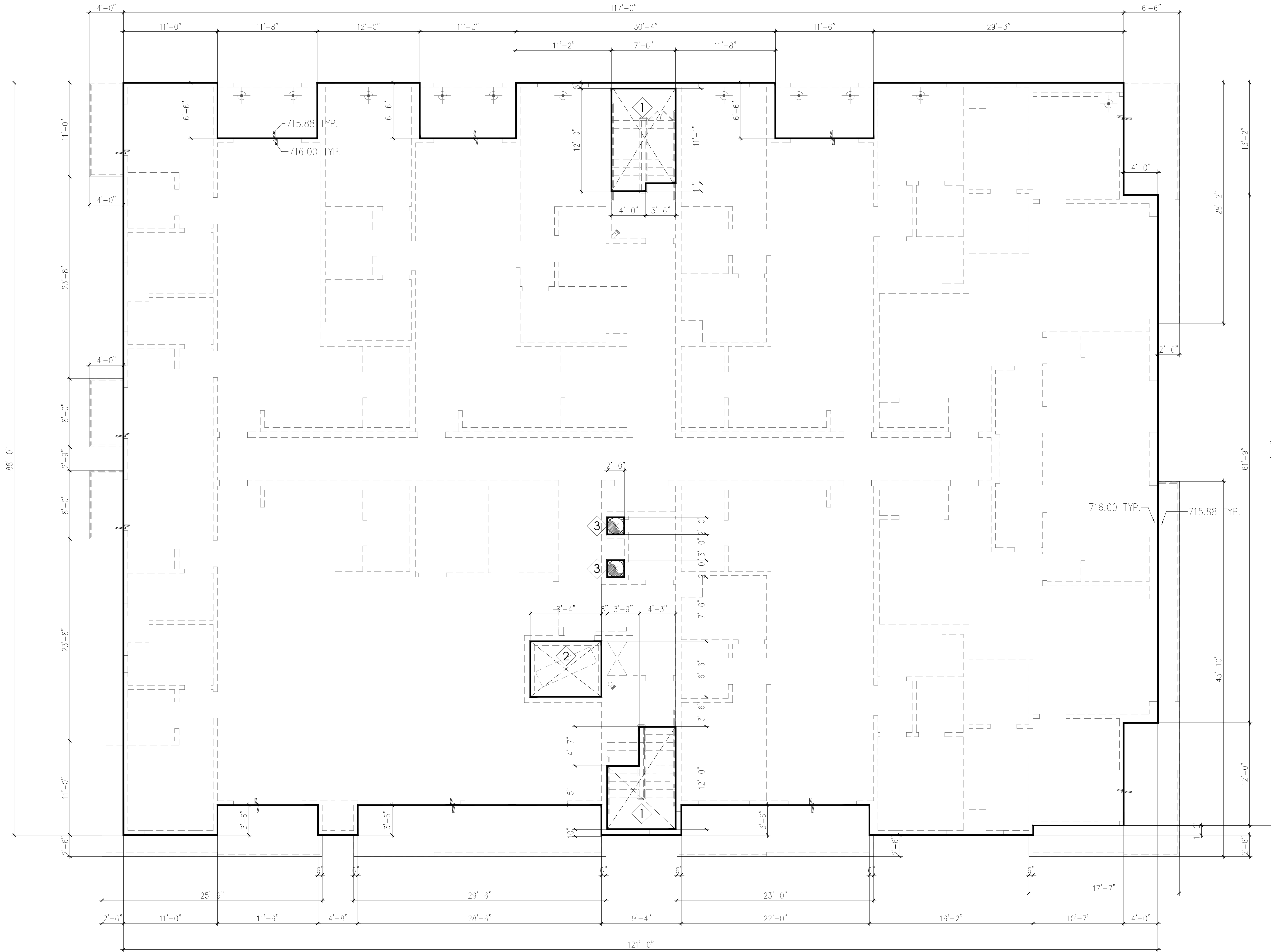
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1ST FLOOR SLAB DEPRESSION

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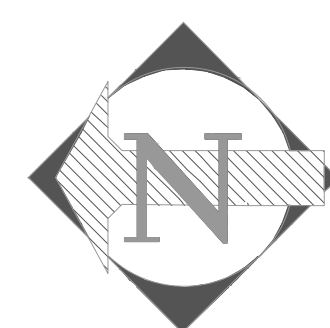
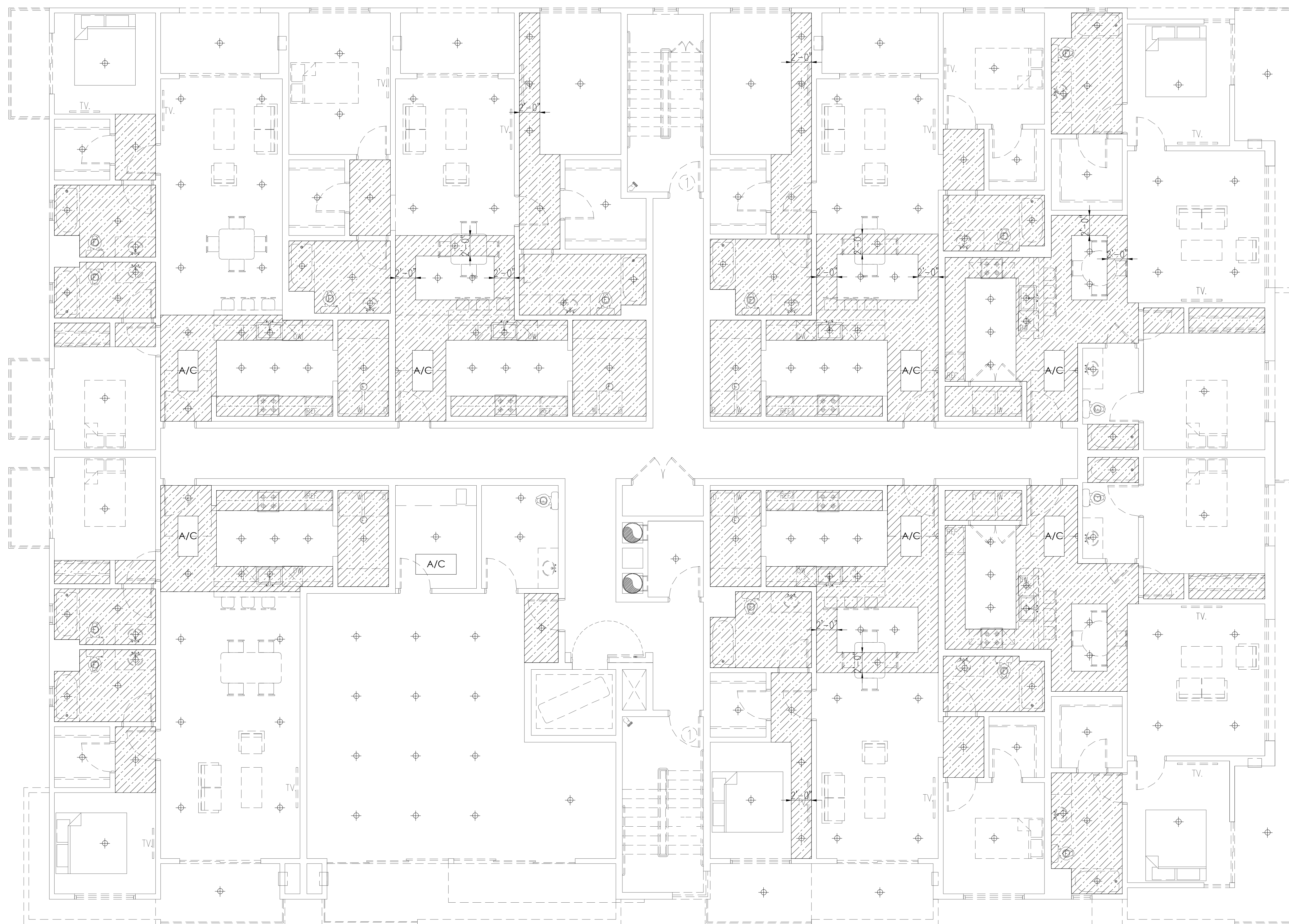


1ST FLOOR SLAB DEPRESSION

SCALE: 3/16" = 1'-0"

KEYNOTES:

- 1 STAIR SHAFT
- 2 FOR ELEVATOR SHAFT
- 3 TRASH CHUTE SHAFT



1ST FLR REFLECTED CEILING PLAN

SCALE: 3/16" = 1'-0"

Sheet Issue & Revision Log

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**1ST FLR
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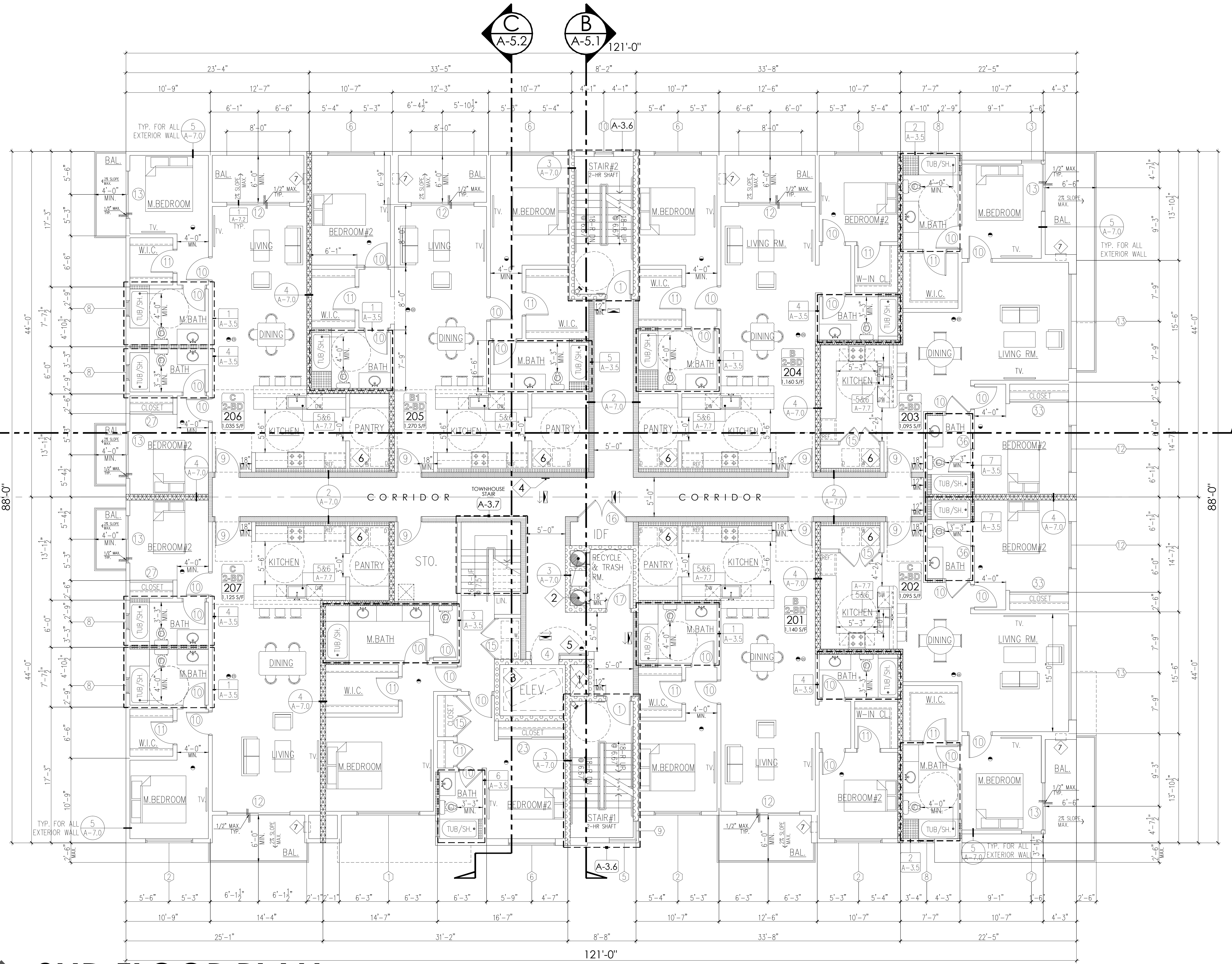
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2ND FLOOR PLAN
SCALE: 3/16" = 1'-0"

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Architect Stamp:

Sheet Content:
2ND FLOOR PLAN

- LEGEND:**
- ⊙ FAN / VENTILATION
 - 1. ENERGY STAR COMPLIANT
 - 2. DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING
 - 3. CONTROL BY HUMIDITY CONTROLLER
 - ⊠ CLASS-I STANDPIPE
 - ⊙ SPRINKLER HEAD
 - ⊠ EXIT SIGN
 - ⊠ FIRE EXTINGUISHER
 - ⊙ HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.
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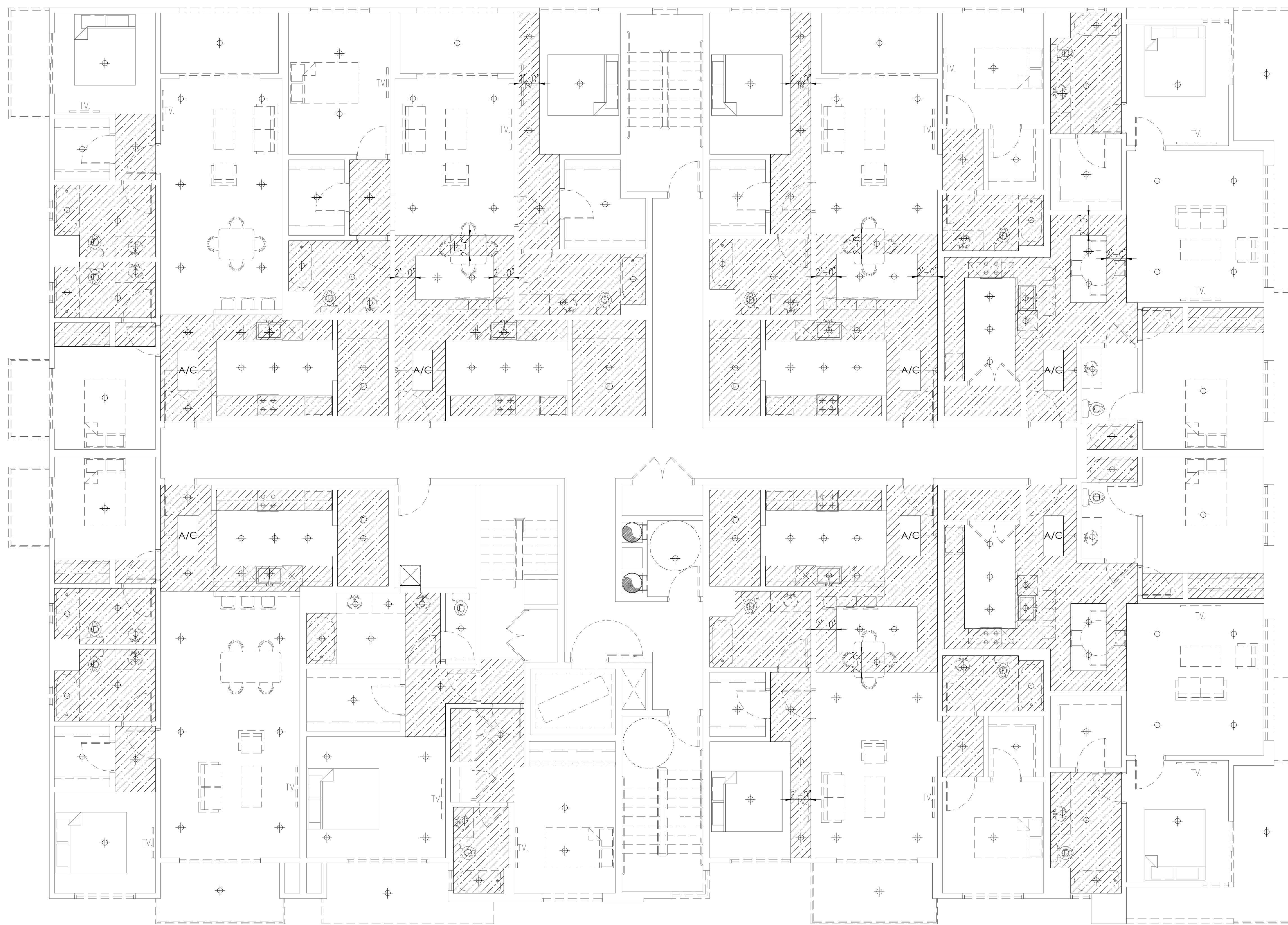
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 **2ND FLR REFLECTED CEILING PLAN**
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Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

Project Title:
**KESTER APT.
5-STORY BLDG
22-UNIT
APARTMENT**
6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:
DARYOUSH SAFAI
AIA
Architect
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Santa Monica, CA 90403
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Architect Stamp:

Sheet Content:
2ND FLR REFLECTED CEILING PLAN

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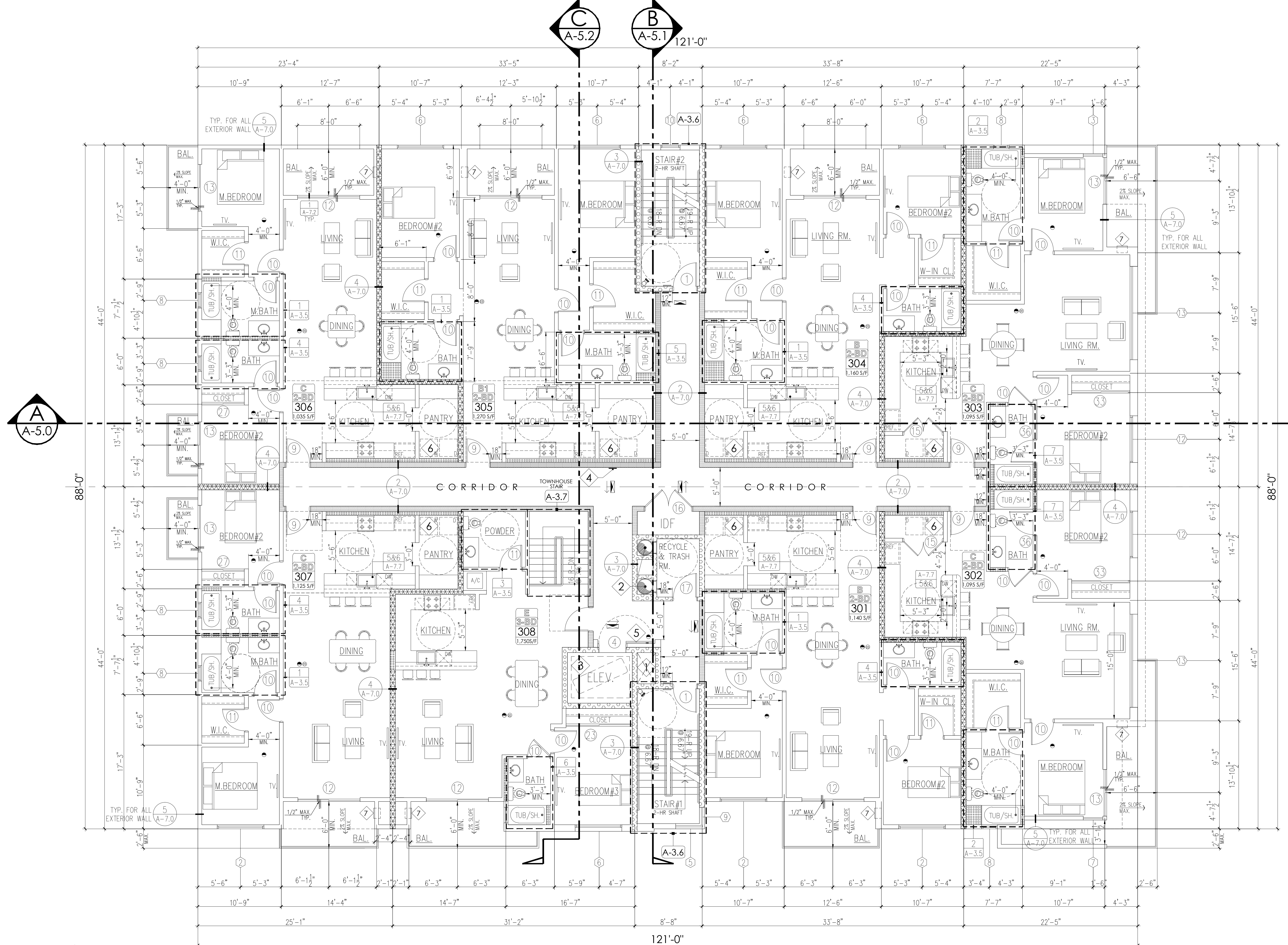
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3RD FLOOR PLAN

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3RD FLOOR PLAN

SCALE: 3/16" = 1'-0"

LEGEND:

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> ① FAN / VENTILATION 1. ENERGY STAR COMPLIANT 2. DUCTED TO TERMINATE TO THE OUTSIDE OF BUILDING 3. CONTROL BY HUMIDITY CONTROLLER ⑤ CLASS-I STANDPIPE | <ul style="list-style-type: none"> ⊙ SPRINKLER HEAD ⊠ EXIT SIGN ⊠ FIRE EXTINGUISHER | <ul style="list-style-type: none"> ● HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. ⊖ CO HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP |
|--|--|---|

KEYNOTES:

- | | | |
|---|---|---|
| <ul style="list-style-type: none"> ① SHAFT-GARAGE VENTILATION (EXHAUST) ② TRASH & RECYCLE CHUTE ③ FOR ELEVATOR SHAFT SIZE SEE ELEVATOR SHOP DWG. | <ul style="list-style-type: none"> ④ LOCATION OF THE DESCRIPTIVE DIAGRAM INDICATING THE IDENTIFICATION PATTERN AND LOCATION OF EACH DWELLING UNIT IN THE APARTMENT HOUSE OR COMPLEX. ⑤ ADDITIONAL DOORS PER UL 1784 & 91.3002.6 TO AVOID ELEVATOR LOBBY | <ul style="list-style-type: none"> ⑥ ELECTRIC DRYER ONLY; PROVIDE FRONT-LOADING CLOTHES WASHER OR MANAGEMENT SHALL PROVIDE ASSISTIVE DEVICE ⑦ TANKLESS WATER HEATER |
|---|---|---|

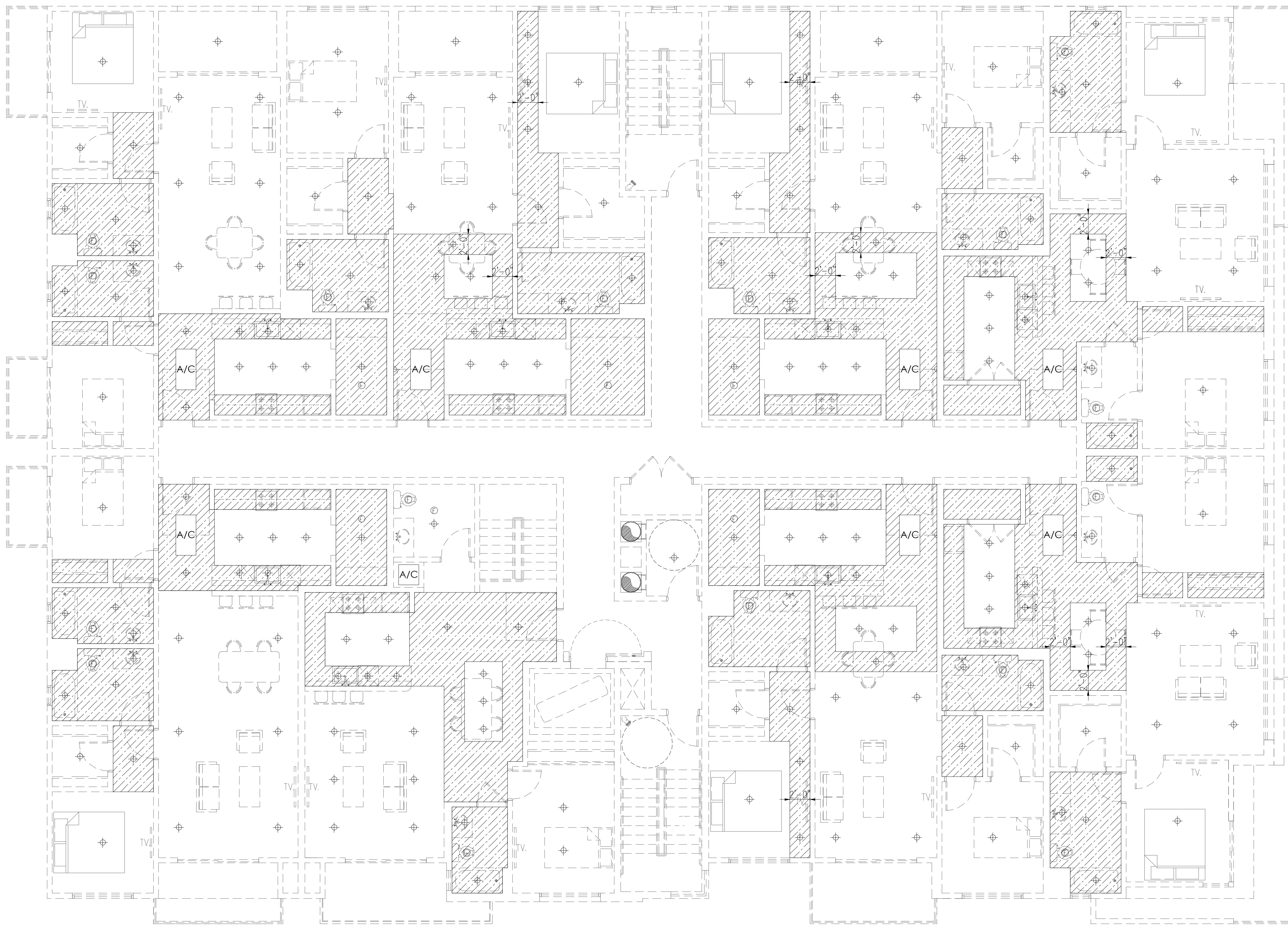
WALL LEGEND:

- ▬ 1-HR CORRIDOR WALL - DET. #2/A-7.0
- ▬ 2-HR SHAFT WALL - DET. #3/A-7.0
- ▬ 1-HR DIVISION WALL - DET. #4/A-7.0
- ▬ PLUMBING WALL

NOTES:

- 1) ALL BATHROOM TO BE PROVIDED WITH **BACKING**. SEE DET. (#8.10 & 11 / A-7.7)
- 2) ALL **KITCHEN COUNTERTOPS** TO BE **GRANITE**.
- 3) AT LEAST **ONE FULLY ACCESSIBLE SINK** IN EVERY BATHROOM. SEE DET. (#7 / A-7.7)
- 4) FOR **STAIR DETAILS**, SEE (A-7.8); FOR STAIR PLANS & SECTIONS, SEE (A-3.8)
- 5) PROVIDE AN APPROVED **LOW-LEVEL EXIT SIGNS** IN ALL INTERIOR EXIT CORRIDORS. SEE DET. (#10 / A-7.5)
- 6) PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM OR PARKING GARAGE.
- 7) PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION.
- 8) PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.

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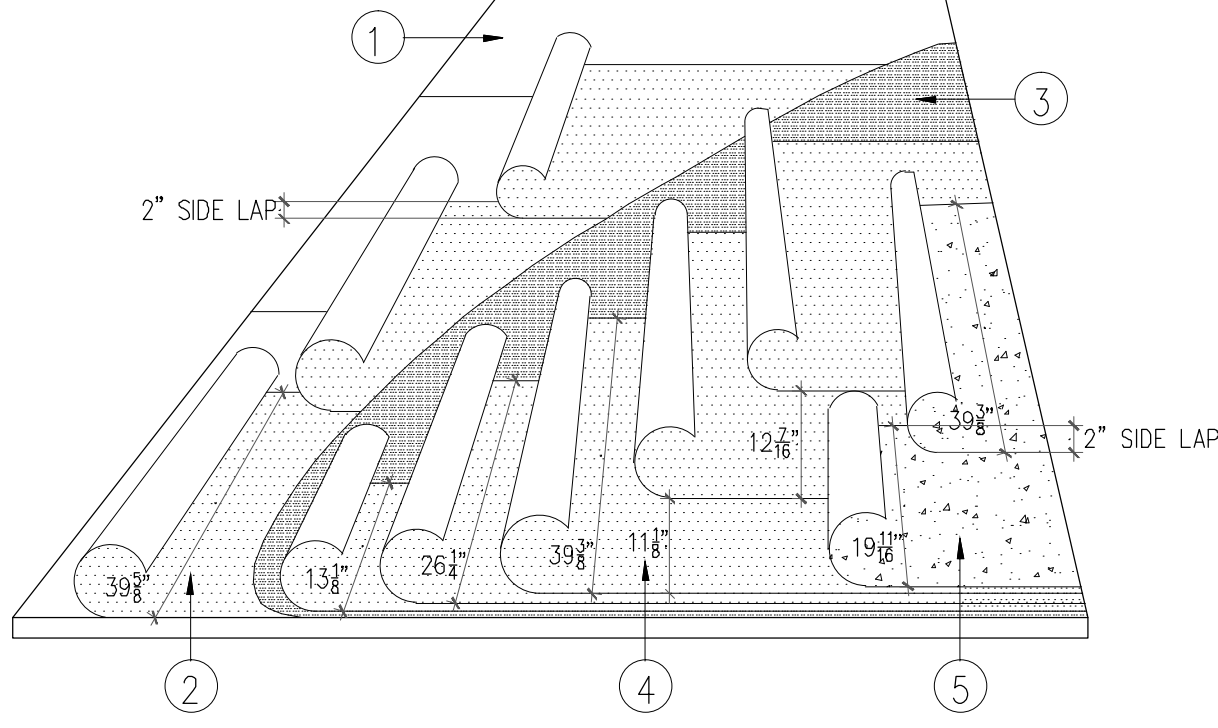
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ROOF PLAN

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CLASS "B" ROOFING SPECIFICATION
FIVE (5) PLY BUILT-UP ROOFING SYSTEM
FOR USE OVER PLYWOOD OR OTHER NAILABLE DECKS.

ALL ROOF CONSTRUCTION AND COVERING SHALL BE APPLIED TO CHAPTER 15, BUILDING CODE 2011 LABC.



20 YRS. DIAMOND PLEDGE AND SYSTEM PLEDGE SPECIFICATIONS:
SPECIFICATION #: N-B-5-M/P6

BOTTOM SHEET ATTACHMENT	BASE SHEET	INTERPLY	INTERPLY
NAILED	STRATAVENT NAILABLE	FLEXPLY 6	FLEXPLY 6
NAILED	#75 BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED	#80 ULTIMA BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED	MODIFIED BASE SHEET	FLEXPLY 6	FLEXPLY 6
NAILED	FLEXPLY 6 W/ SHEATHING PAPER	FLEXPLY 6	FLEXPLY 6

THE ABOVE SPECIFIED PRODUCT OFFERS UP TO 20 YEARS ALL CONSTRUCTION WORK MUST COMPLY WITH BUILDING CODE NRCA ROOFING AND THE OWNER WILL EMPLOY A ROOFING AND WATERPROOFING

- A. ELASTOMERIC COATING FOR DECK OR ROOF.
- B. WATERPROOFING ON PLANTERS.
- C. WATERPROOFING ON OPEN SPACES ABOVE THE STRUCTURAL DECK.
- D. WATERPROOFING ON PERIMETER EXTERIOR WALL OF BASEMENT.

- NOTES:
- 1) GUARANTEE FROM GAF MATERIALS CORPORATION OR SIMILAR. OWNER OR GENERAL CONTRACTOR OR ROOFER MUST BUY SUCH A GUARANTEE AND MAIL CERTIFICATE TO ARCHITECT'S OFFICE.
- 2) AND USE THE RECOMMENDATIONS OF THE WATERPROOFING MANUAL.
- 3) CONSULTANT SERVICE TO INSPECT INSTALLATION OF THE FOLLOWING:

- 4) PRE-INSTALLATION MEETING: PRIOR TO START OF INSTALLATION, ARRANGE A PRE-INSTALLATION MEETING BETWEEN THE MANUFACTURER OF THE WATERPROOFING COMPANY AND THE TRADE(S) RESPONSIBLE FOR THEIR INSTALLATION SUCH AS ROOFER, SHEET METAL FRAMER, SUPERINTENDENT, GENERAL CONTRACTOR AND ROOFER CONSULTANT.
- 5) APPLY WATERPROOFING MATERIALS ONLY IN DRY WEATHER WHEN THE OUTSIDE TEMPERATURE IS ABOVE 45 DEGREES FAHRENHEIT. DO NOT APPLY WATERPROOFING MATERIALS ON DAMP, WET OR FROST COVERED SURFACE.
- 6) FOR MORE INFORMATION REGARDING THIS PRODUCT, SEE APPLICATION AND SPECIFICATION MANUAL FOR GAF MANUFACTURING.

GAF MATERIALS CORPORATION
11800 INDUSTRY AVE.
FONTANA, CA. 92337
TEL. (951)360-4200
TECHNICAL SUPPORT 1(800) 766-3411

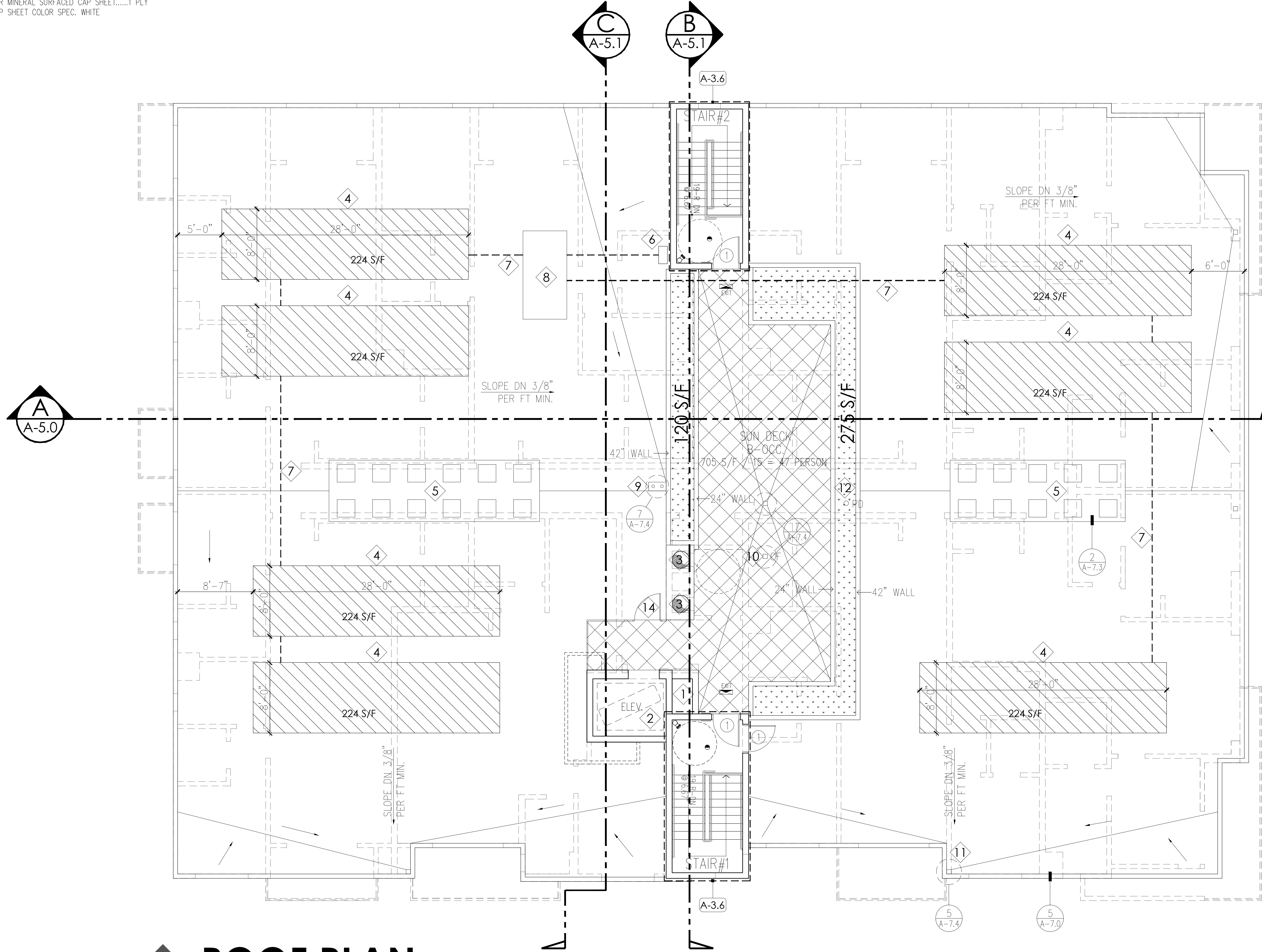
ROOF, SUN DECK & BALCONY WATERPROOFING
FIRE RETARDANT TUFLEX RR # 25567

- 1) APPLY POLYURETHANE SEALANT FOR EXPANSION JOINTS AND CRACKS.
- 2) APPLY FIBERGLASS MASH.
- 3) APPLY ONE COAT OF ELASTO DECK TO SEAL THE DECK.
- 4) APPLY TWO COAT OF ELASTO DECK 500 FOR WATERPROOFING.
- 5) APPLY ONE COAT OF ELASTO GLAZE 6001 AL FOR FINISHING.
- 6) NON-SKID FOR FOOT TRAFFIC BROADCAST TOUCH FILLER #36 INTO FINISH COAT WHILE STILL WET.

KEYNOTES:

- 1) NAILABLE DECK (SHEATHING PAPER REQUIRED)
- 2) BASE SHEET.....1 PLY
- 3) ROOFING ASPHALT......25 LBS./100 S/F
- 4) CAFGLAS INTERPLY SHEETS.....3 PLIES
- 5) CAFGLAS ENERGY CAP™ BUR MINERAL SURFACED CAP SHEET.....1 PLY
CAP SHEET COLOR SPEC. WHITE

ATTACH PDF ROOF SPECS HERE



ROOF PLAN
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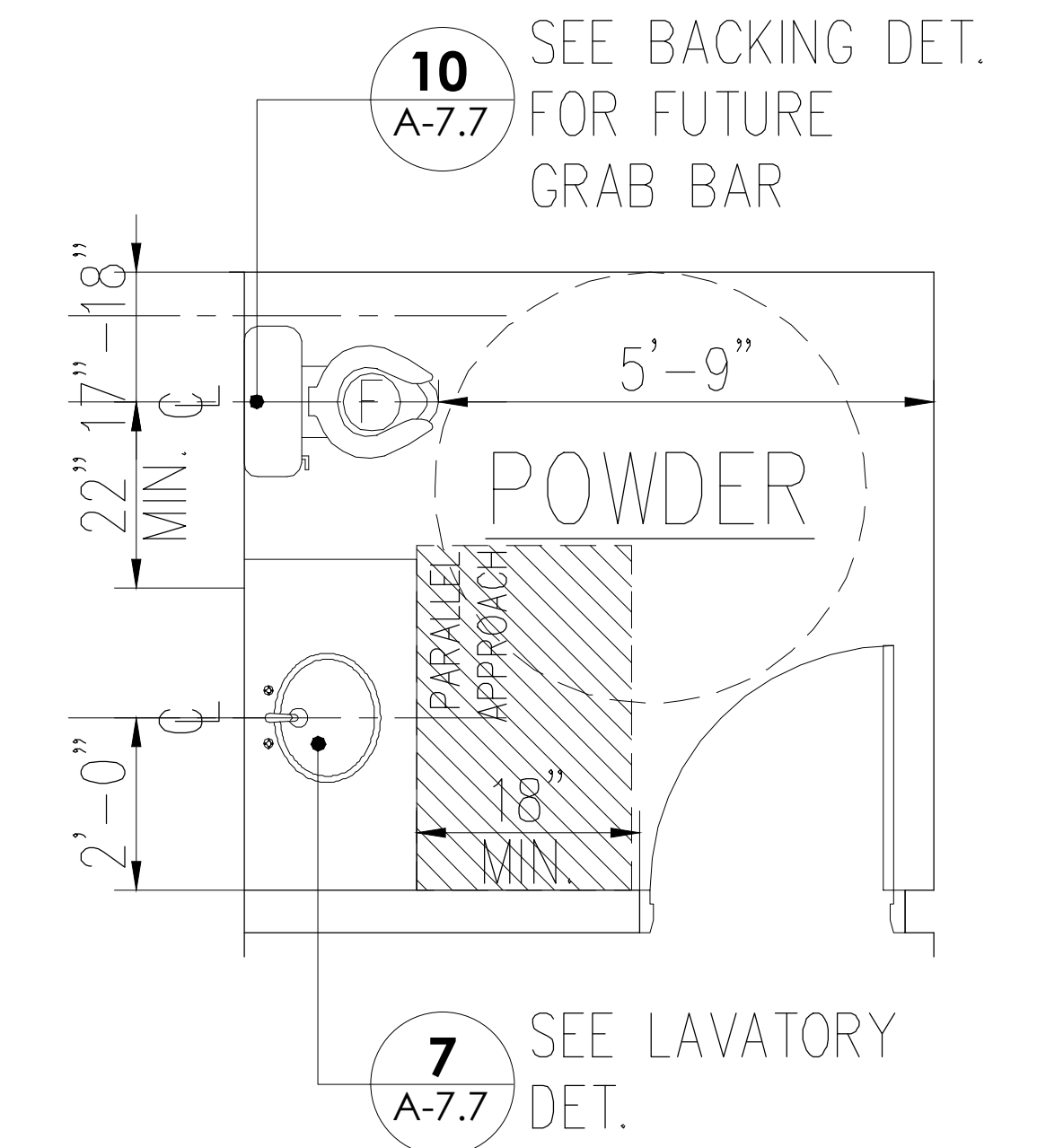
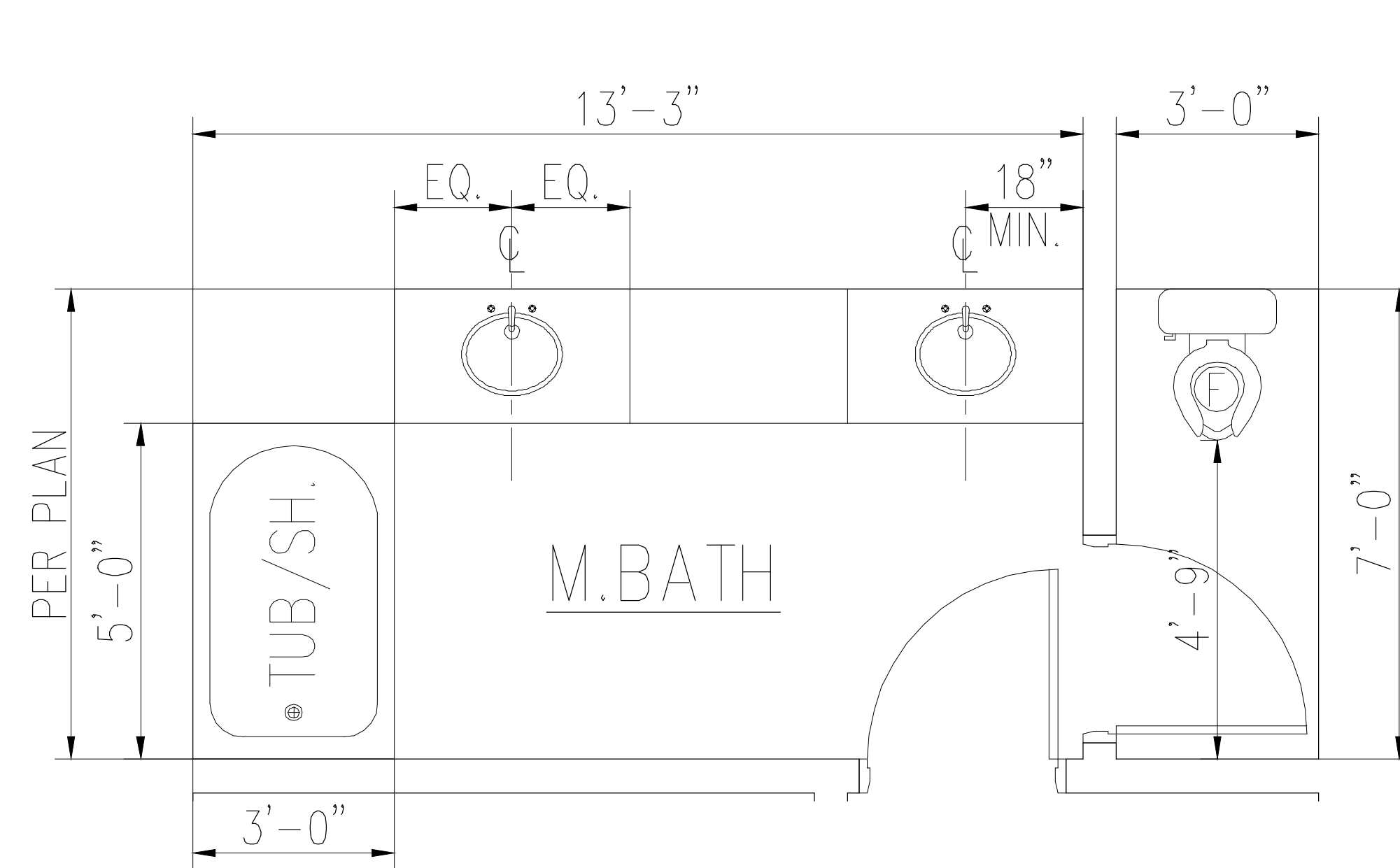
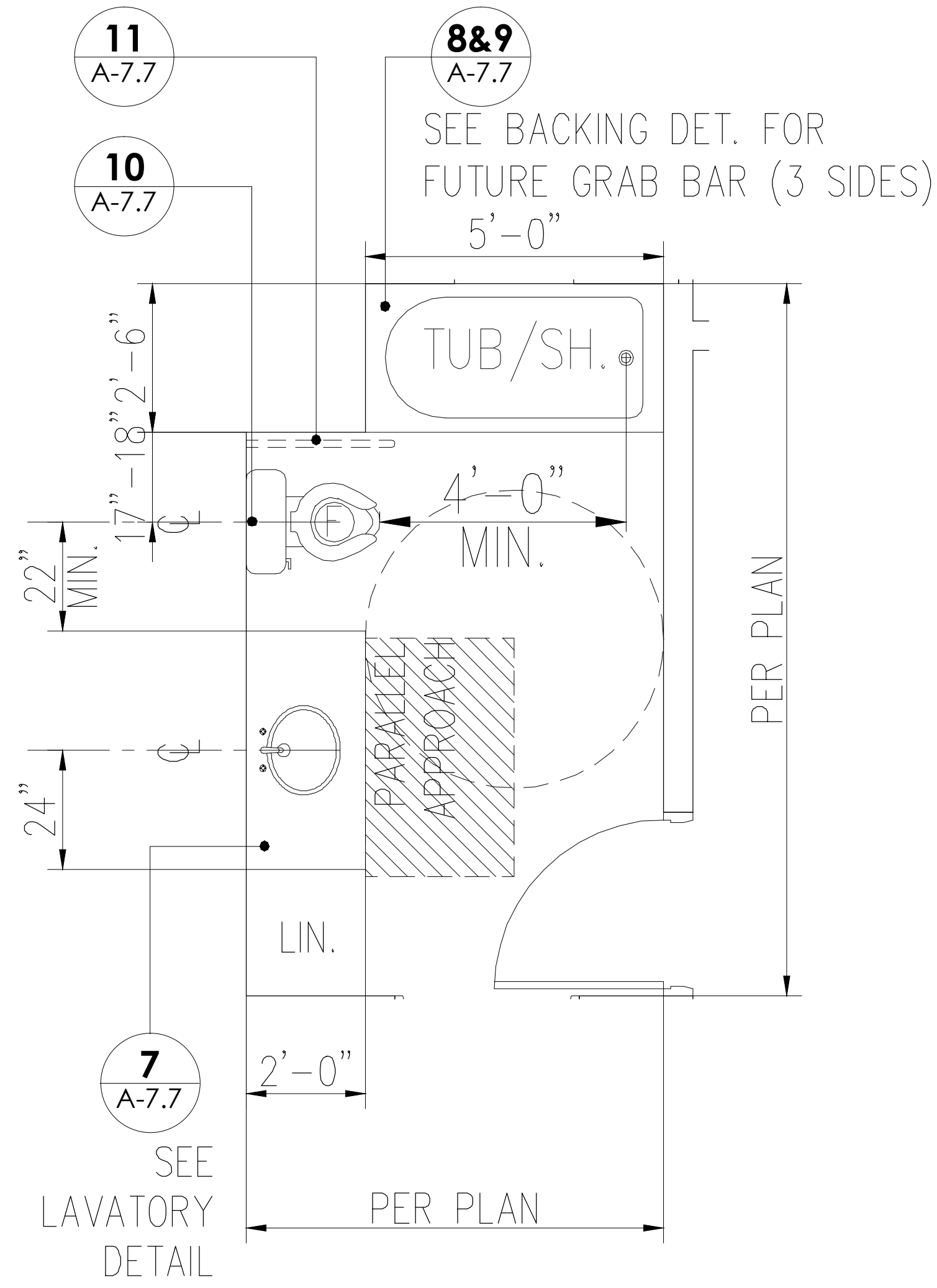
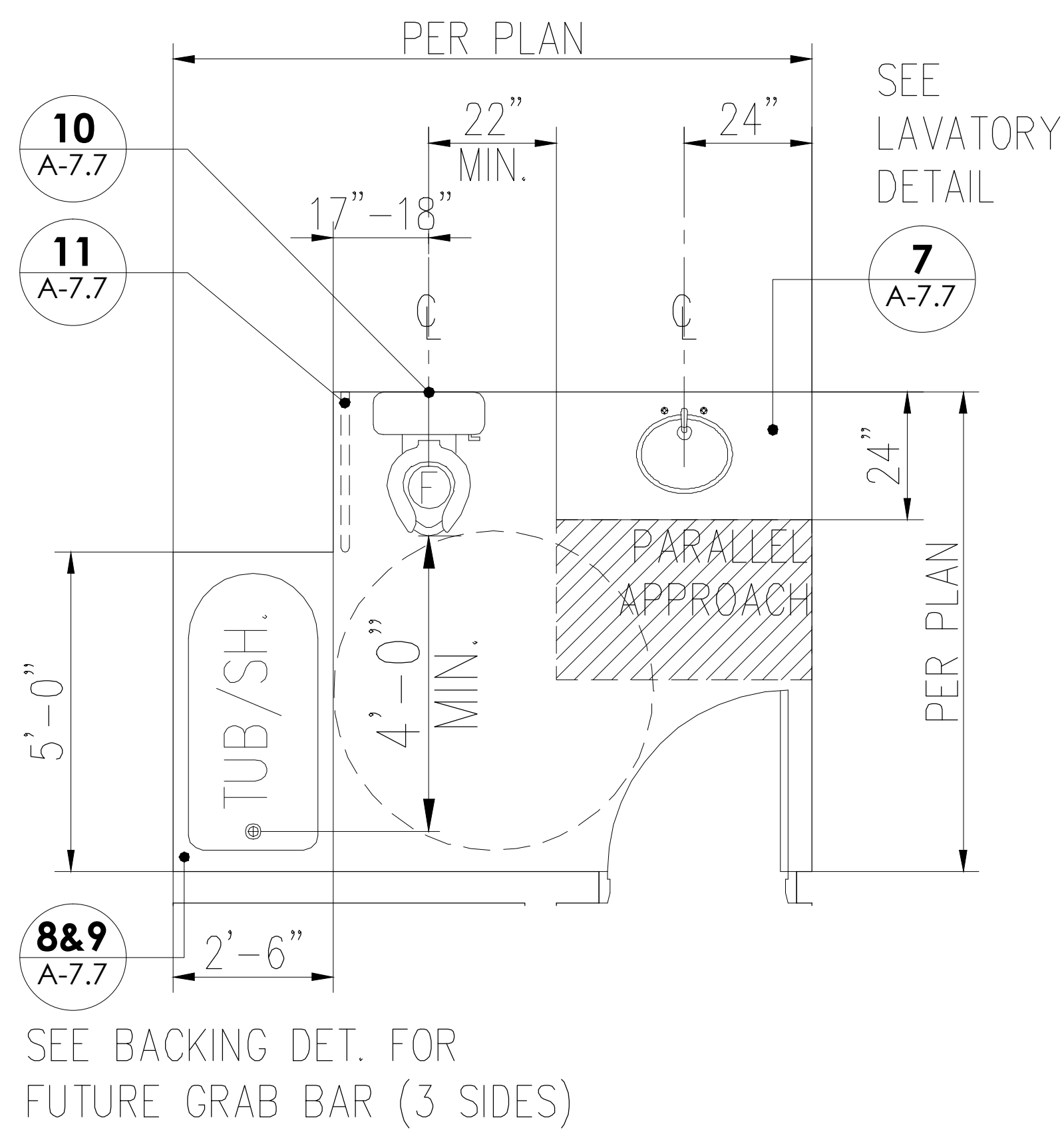
LEGEND:

- EXIT SIGN
- CLASS-I STANDPIPE
- HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.

KEYNOTES:

- 1) SHAFT-GARAGE VENTILATION (EXHAUST)
- 2) FOR ELEVATOR SHAFT SIZE SEE ELEVATOR SHOP DWG.
- 3) TRASH CHUTE
- 4) SOLAR PANEL REQUIREMENTS: ROOF SQUARE FOOTAGE = 9,910 SQ FT 9,910 X 15% = 1,487 SQ FT PROVIDED 224 S/F X 6 = 1,568 SQ FT UNDER SEPARATE PERMIT
- 5) A/C UNIT PAD SEE PLUMBING PLAN
- 6) INVERTERS & METERING EQUIPMENT THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS
- 7) PATHWAY FOR ROUTING OF PLUMBING, METERING EQUIPMENT & INVERTERS FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM. SEE PLUMBING PLAN
- 8) EQUIPMENT PLATFORM FOR RAYPAK WATER HEATER SEE FLASHING DETAIL
- 9) COMBINATION OF FLOOR DRAIN AND OVERFLOW
- 10) OVERFLOW 2" ABOVE FLOOR DRAIN
- 11) FLOOR DRAIN & OVERFLOW
- 12) PLANTER DRAIN
- 13) 3'-0" X 4'-0" DOOR WITH PADLOCK FOR SERVICE USE ONLY
- 14) 3'-0" X 4'-0" GATE WITH PADLOCK FOR SERVICE USE ONLY

NOTE: THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"

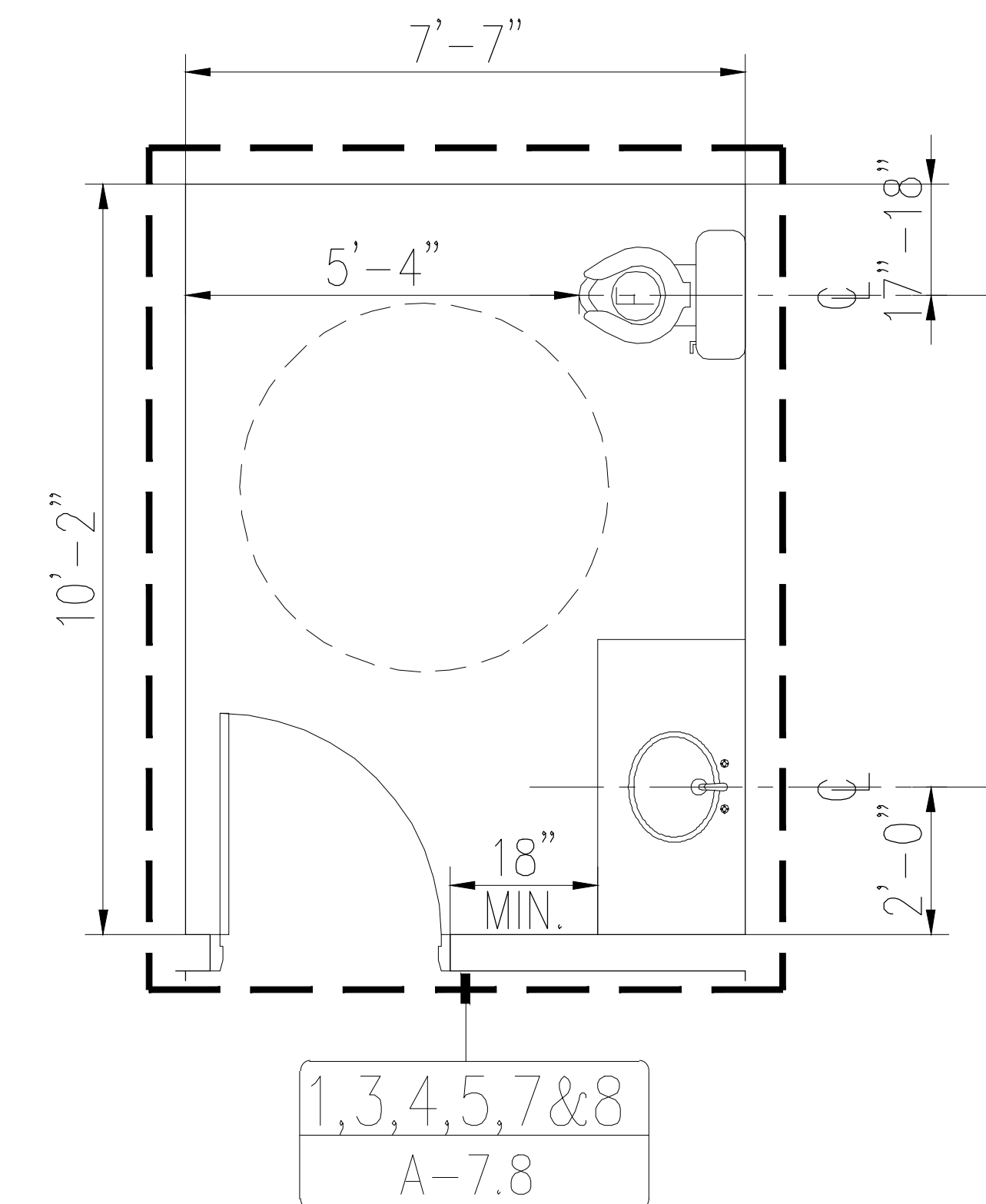
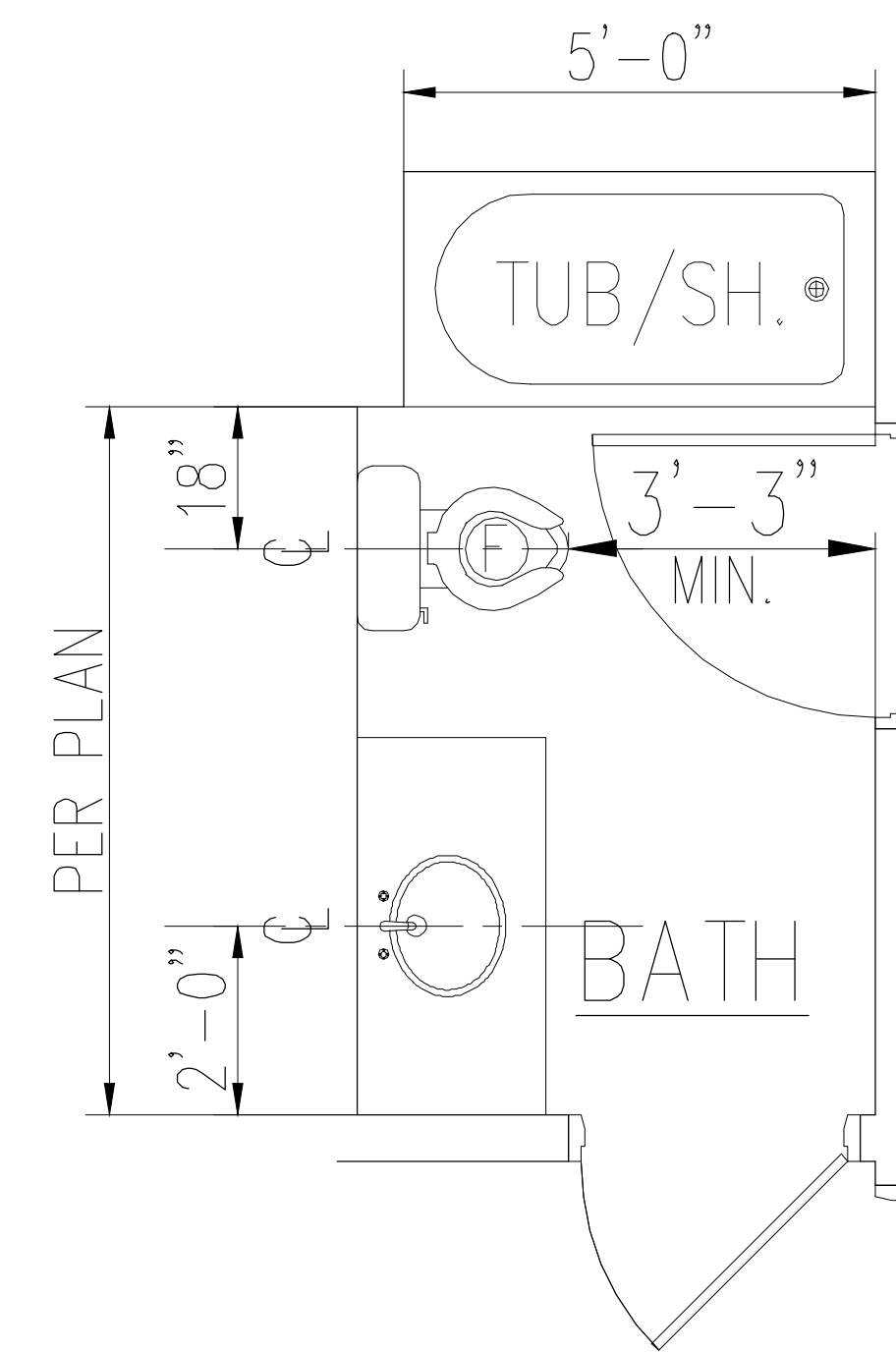
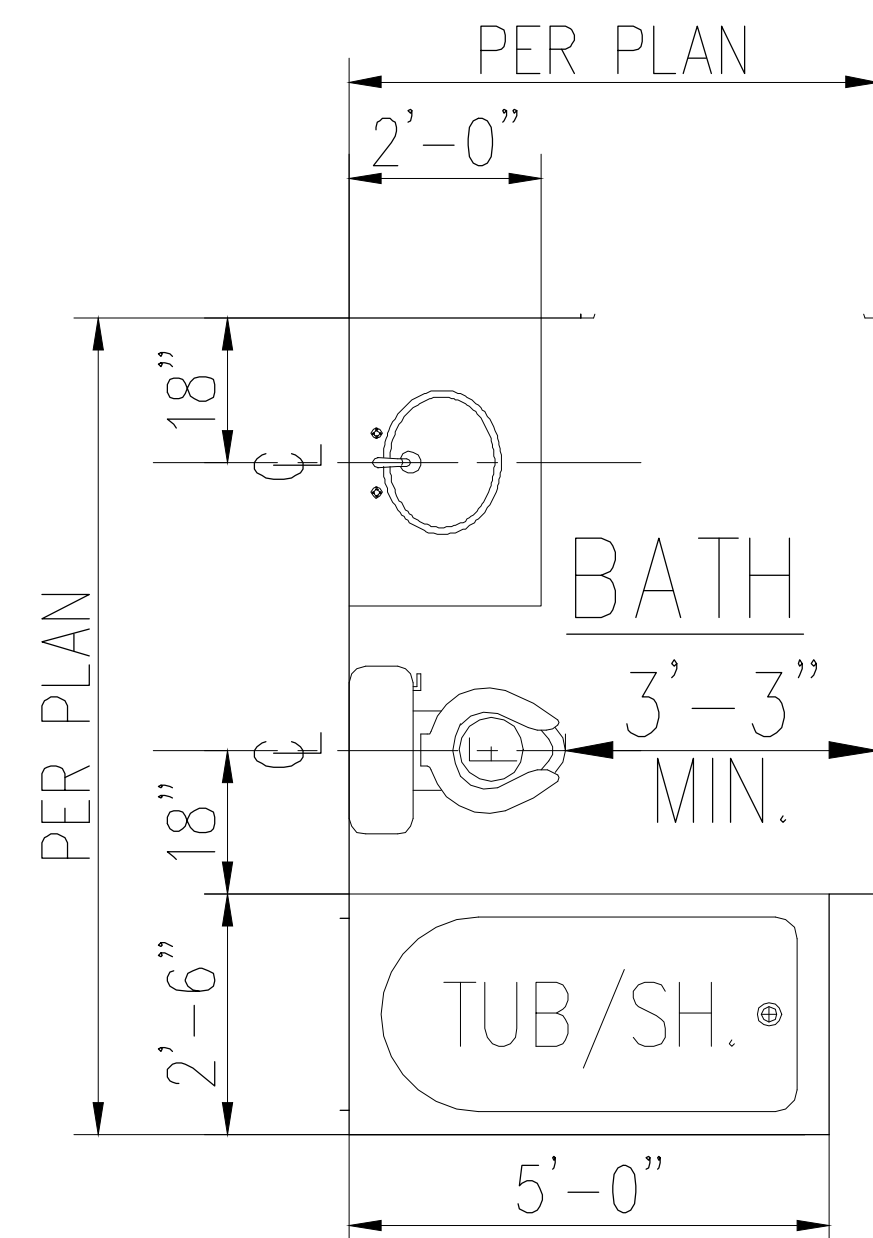
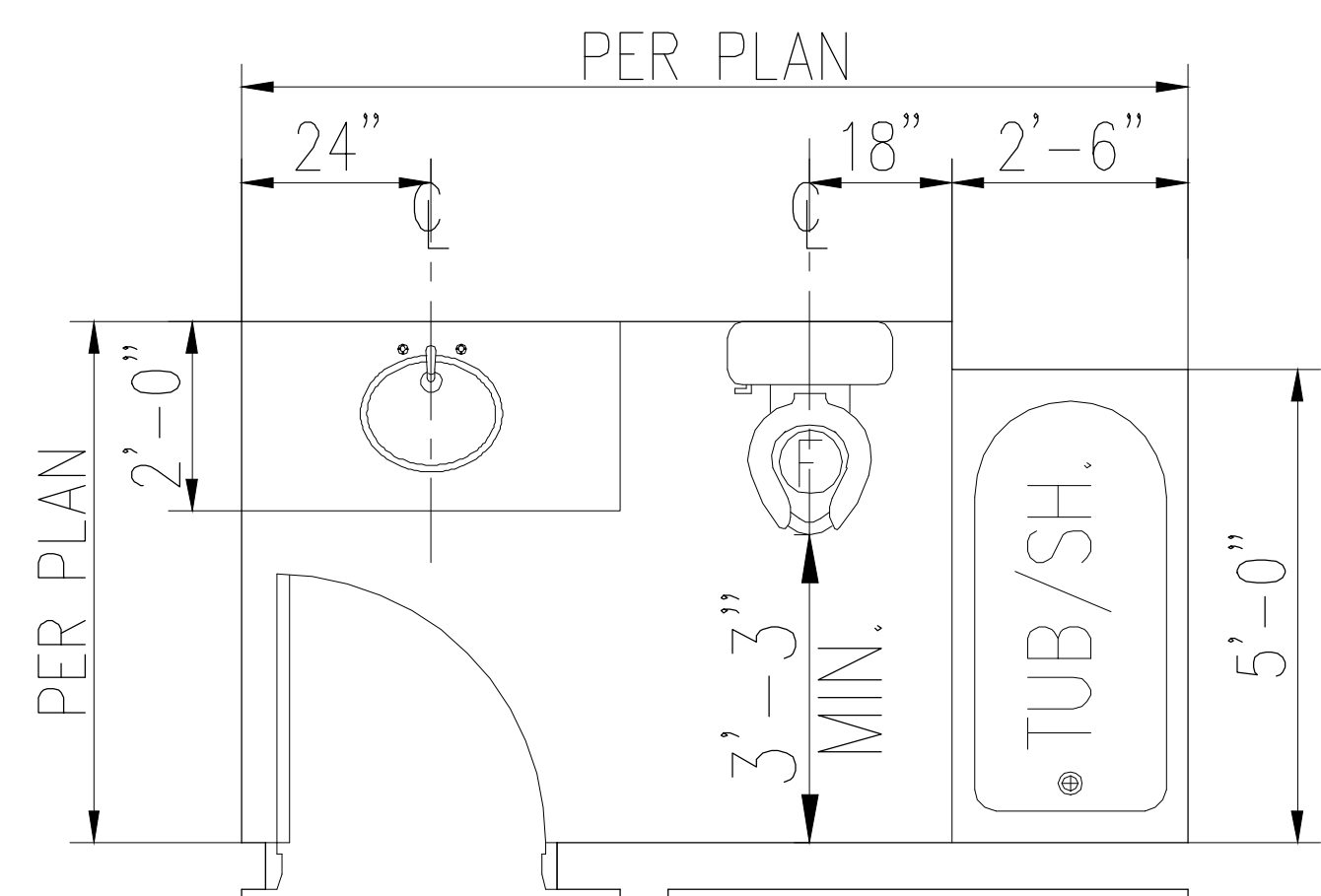


MASTER BATHROOM PLAN

1 MASTER BATHROOM PLAN

2 MASTER BATHROOM & POWDER ROOM PLAN - TOWNHOUSE UNIT

3



2ND BATHROOM

4

2ND BATHROOM

5 2ND BATHROOM

6 2ND BATHROOM

7 UNISEX RESTROOM @ GYM ROOM (1ST FLOOR)

8

NOTE: all BATHROOM to be provided with BACKING, see det. on A-7.7

Sheet Issue & Revision Log

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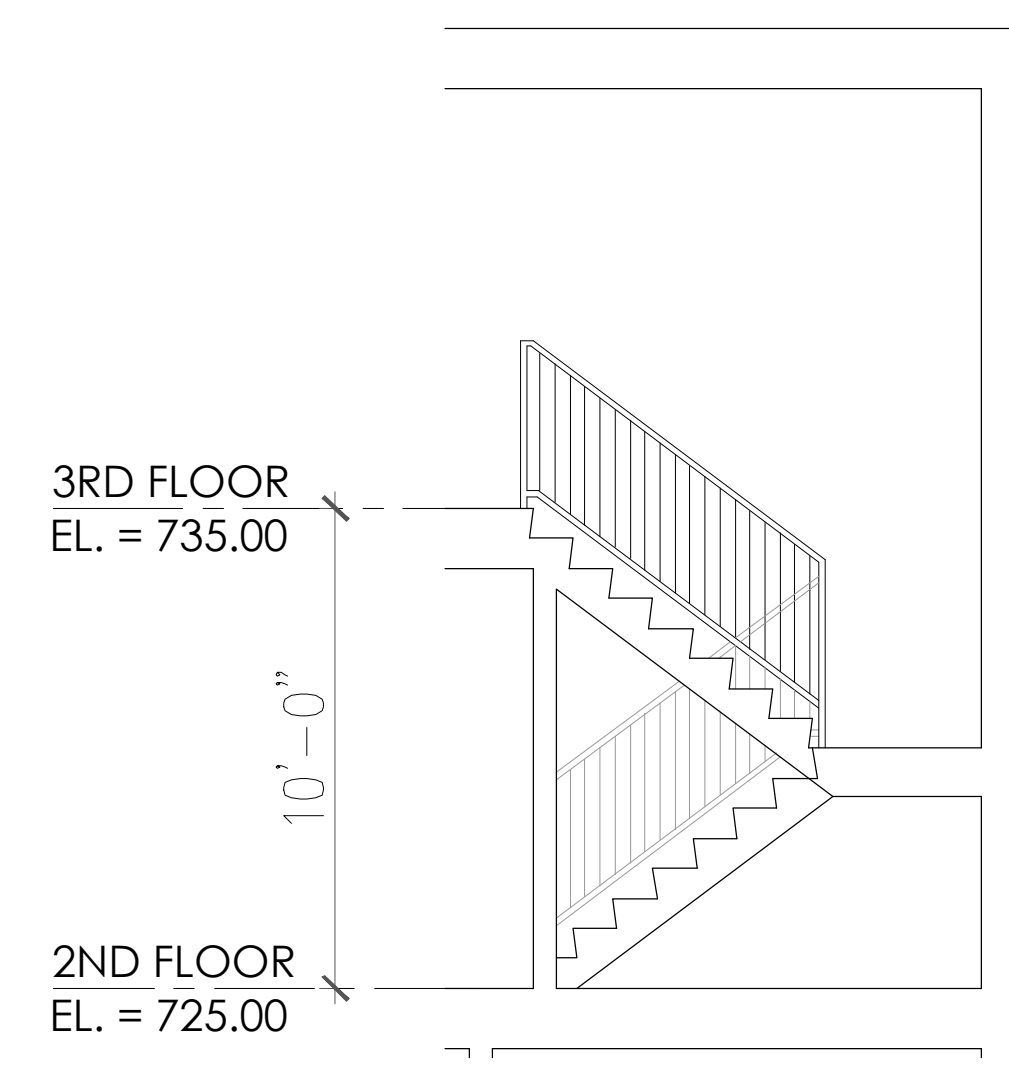
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BATHROOM PLANS

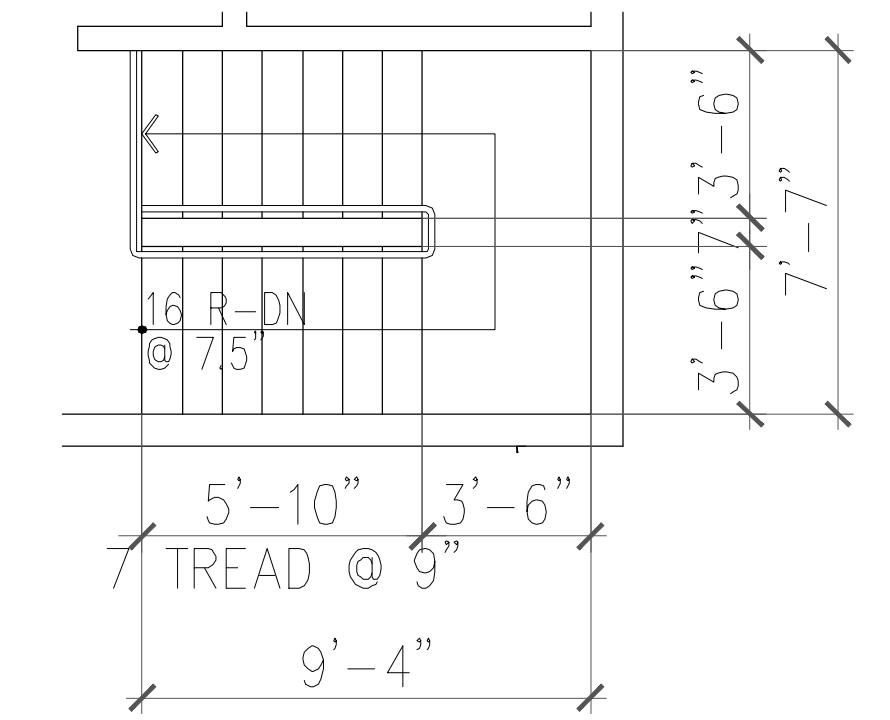
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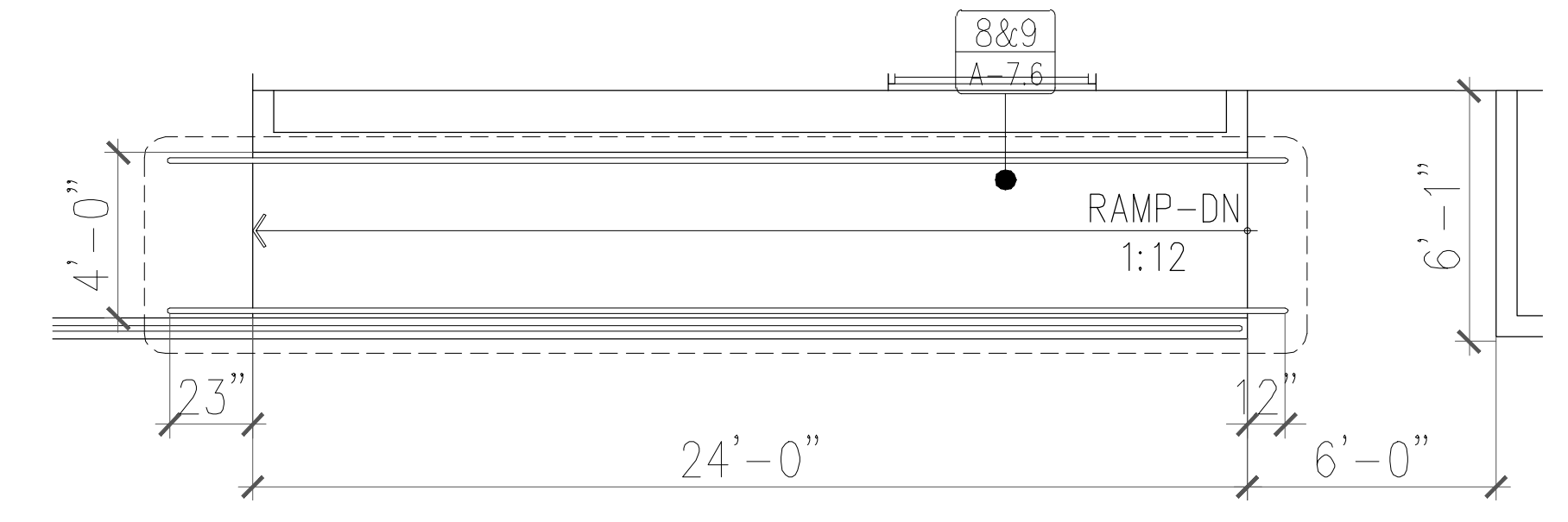
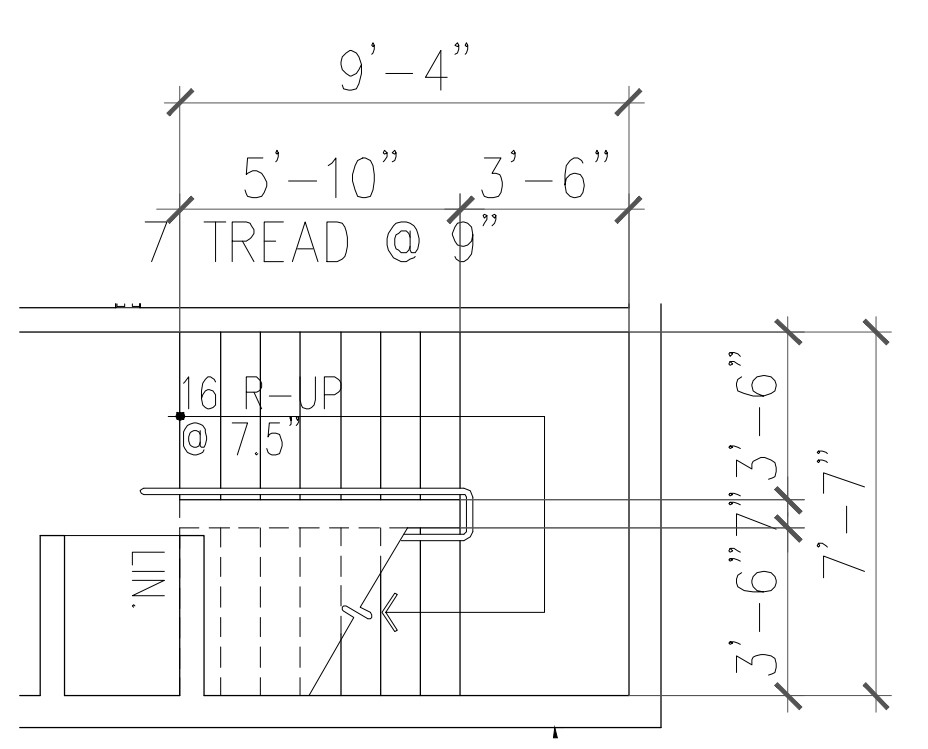


STAIR @ TOWNHOUSE
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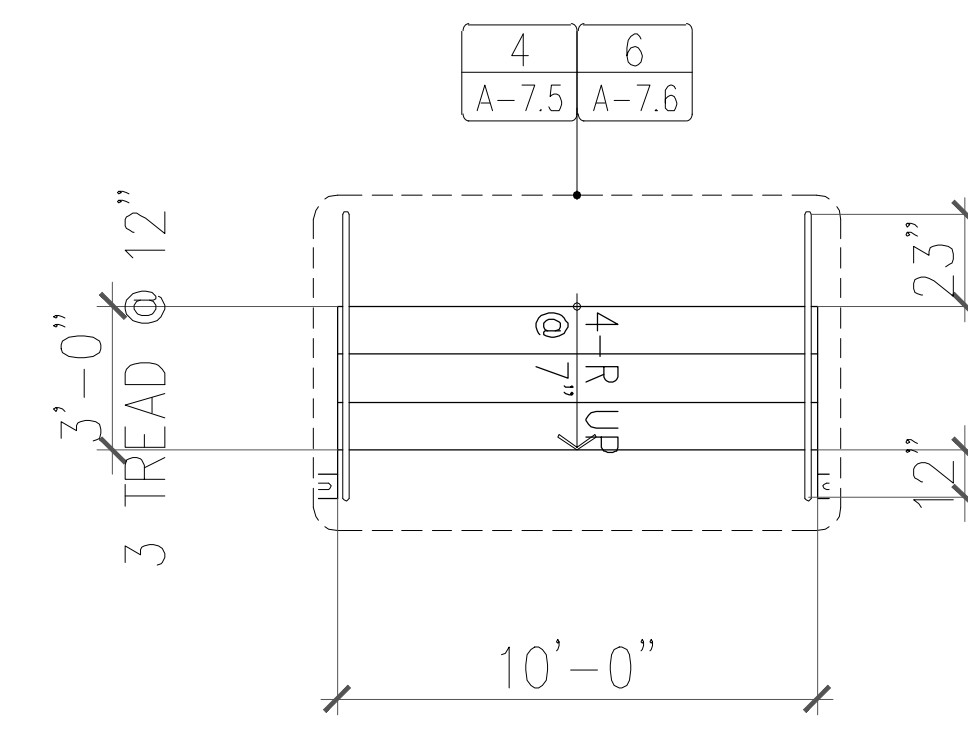
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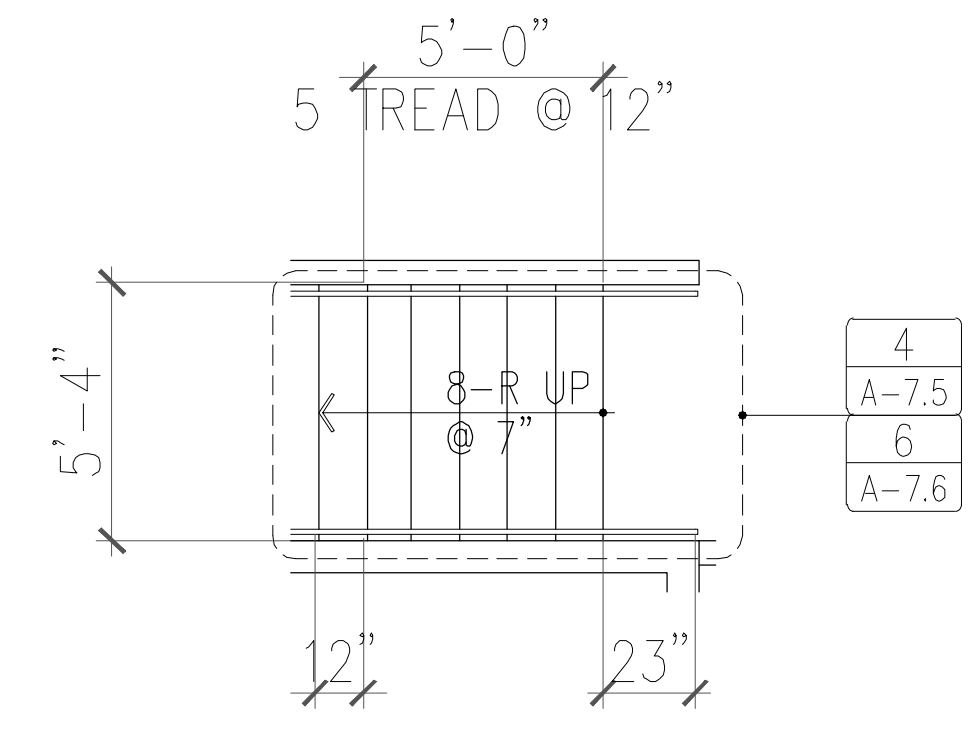
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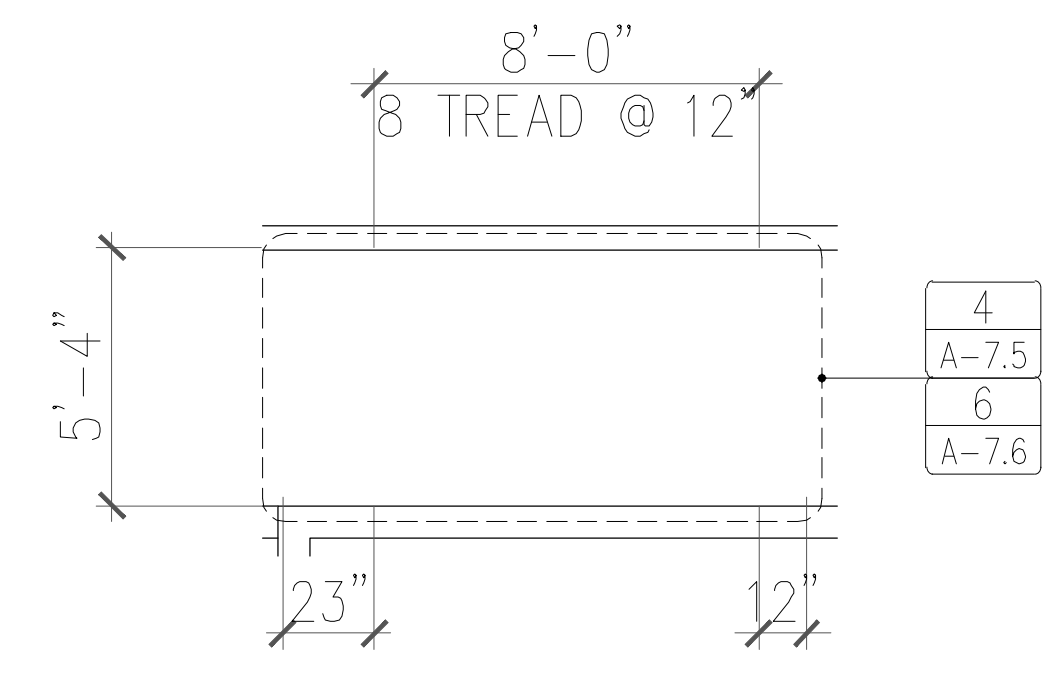
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STAIR @ ENTRY
SCALE: 1/4"=1'-0"



STAIR @ SOUTH EAST REAR YARD
SCALE: 1/4"=1'-0"



STAIR @ NORTH EAST REAR YARD
SCALE: 1/4"=1'-0"

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Sheet Content:
TOWNHOUSE STAIR AND EXTERIOR STAIRS PLANS & SECTION

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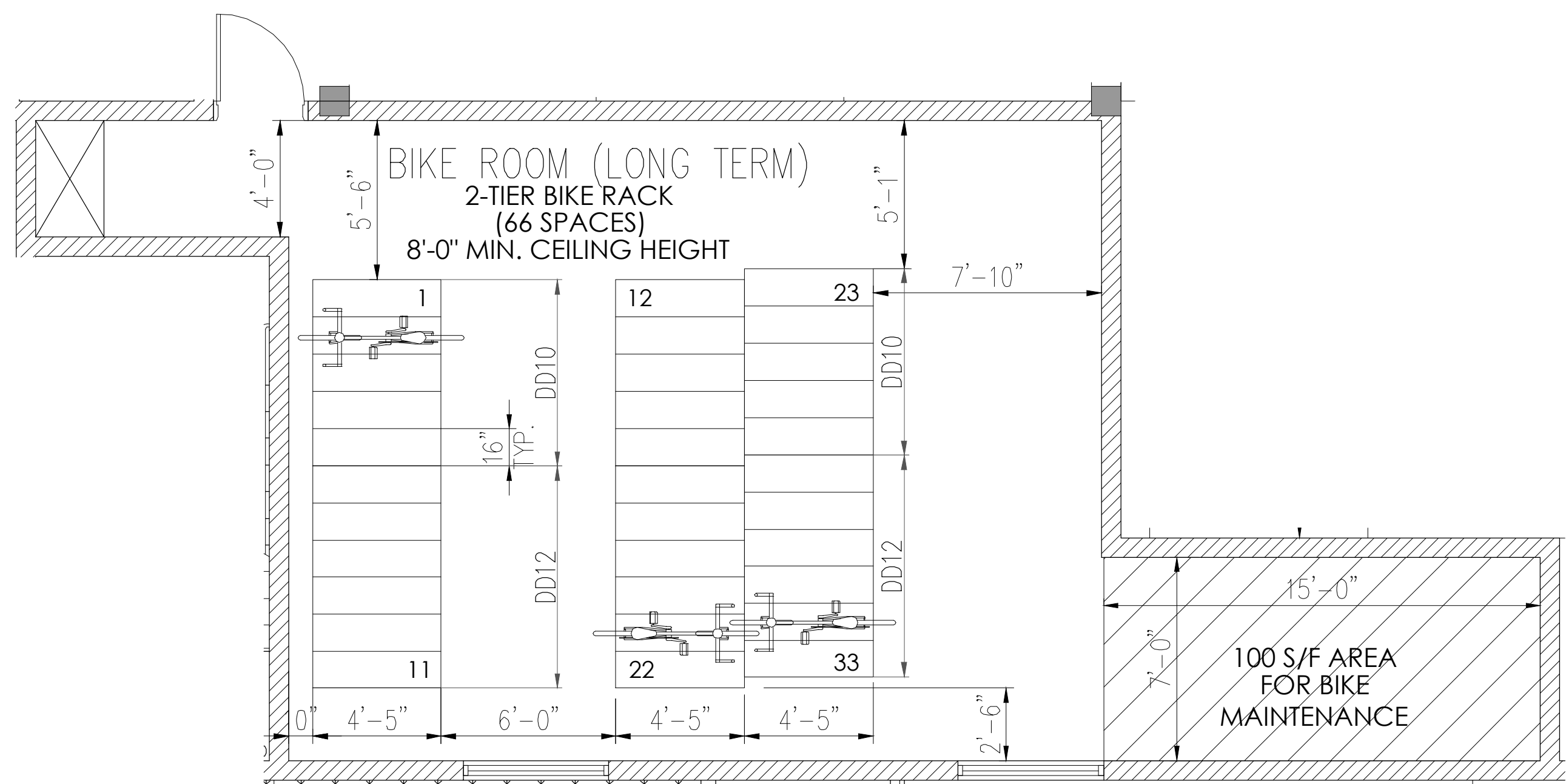
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Sheet Content:
BIKE ROOM PLAN AND DETAIL

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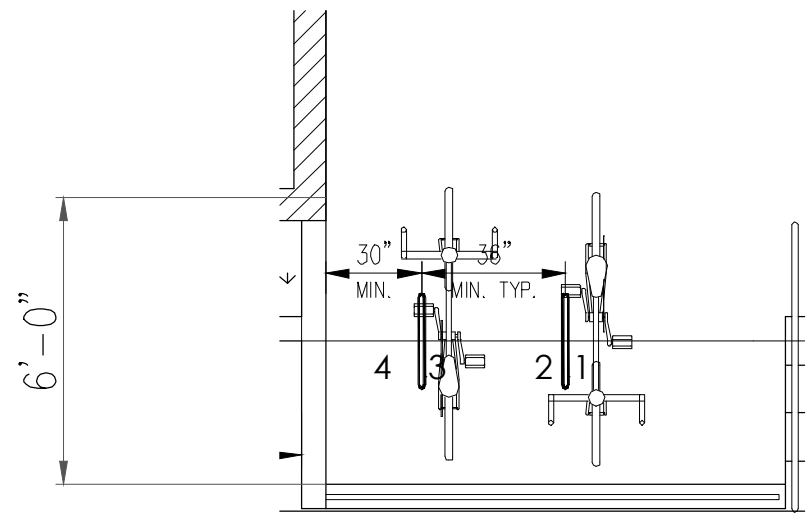
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BIKE ROOM (LONG TERM) - BASEMENT GARAGE

SCALE: N.T.S.

ATTACH PDF BIKE SPECS HERE



- NOTES:
- RACKS SHALL BE LOCATED OUTSIDE THE BUILDING.
 - INDIVIDUAL RACKS INSTALLED SIDE BY SIDE TO ONE ANOTHER THAT ALLOW BICYCLES TO BE LOCKED TO EITHER SIDE OF THE RACK SHALL BE SPACED A MIN. 30 INCHES ON CENTER.
 - RACKS INSTALLED PARALLEL TO WALLS SHALL BE A MIN. 30 INCHES FROM THE WALL.
 - RACKS SHALL ALLOW FOR THE BICYCLE FRAME AND AT LEAST ONE WHEEL TO BE LOCKED TO THE RACKS
 - RACKS SHALL ALLOW FOR THE USE OF CABLE AS WELL AS U-SHAPED LOCK
 - RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT SURFACE
 - SHALL BE LOCATED TO MAXIMIZE VISIBILITY FROM THE MAIN ENTRANCE
 - SHALL BE LOCATED NO FARTHER THAN 50 FEET OF WALKING DISTANCE FROM A MAIN PEDESTRIAN ENTRANCE OR THE WALKING DISTANCE FROM A MAIN PEDESTRIAN ENTRANCE TO THE NEAREST OFF-STREET AUTOMOBILE PARKING SPACE, WHICHEVER IS CLOSER

BIKE RACK (SHORT TERM) - FRONT YARD

SCALE: 1/4" = 1'-0"

Sheet Issue & Revision Log	

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Developer:

6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

Project Title:

**KESTER APT.
5-STORY BLDG
22-UNIT
APARTMENT**

6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:

**DARYOUSH
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Architect Stamp:

Sheet Content:

PLAN

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WEST ELEVATION

SCALE: 3/16" = 1'-0"

Sheet Issue & Revision Log

NO.	REVISION	DATE

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Architect Stamp:

Sheet Content:
WEST ELEVATION

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**SOUTH
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NORTH ELEVATION

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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION

BASMENT GARAGE
ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 15 FT. TO LESS THAN 20 FT. = 75% PROTECTED (P)

986 S/F x 75%	=	740 S/F	(ALLOWED OPENING)	
OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
GARAGE	28'-0" X 8'-6"	238	x 1	= 238
GARAGE VENTILATION	8'-0" X 8'-0"	64	x 1	= 64
TOTAL			2	= 302 S/F

OPENING RATIO: 302 SF / 986 SF = 30% < 75%

1ST - 3RD FLOOR TYPICAL
ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 15 FT. TO LESS THAN 20 FT. = 75% UNPROTECTED, SPRINKLERED (UP,S)

880 S/F x 75%	=	660 S/F	(ALLOWED OPENING)	
OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
DOOR	6'-0" X 8'-0"	48	x 3	= 144
WINDOW	2'-0" X 2'-0"	4	x 4	= 160
TOTAL			7	= 304 S/F

OPENING RATIO: 304 SF / 880 SF = 34% < 75%

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EAST ELEVATION
SCALE: 3/16" = 1'-0"

EAST ELEVATION

ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED (UP.S)

BASEMENT GARAGE	706 S/F x 25% = 176 S/F (ALLOWED OPENING)				
	OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
GARAGE VENTILATION	8'-0" X 2'-6"	20	x 3	= 60	
TOTAL			3	=	60 S/F < 176 S/F

OPENING RATIO: 96SF / 706 SF = 14% < 25%

ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED (UP.S)

2ND FLOOR	1,170 S/F x 25% = 293 S/F (ALLOWED OPENING)				
	OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
WINDOW	2'-6" X 4'-6"	12	x 1	= 12	
WINDOW	2'-0" X 2'-0"	4	x 1	= 4	
WINDOW	6'-0" X 4'-6"	27	x 4	= 108	
WINDOW	2'-6" X 3'-0"	8	x 1	= 8	
BALCONY	8'-0" X 5'-3"	42	x 3	= 126	
TOTAL			9	=	258 S/F < 300 S/F

OPENING RATIO: 258 SF / 1,170 SF = 22% < 25%

ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED (UP.S)

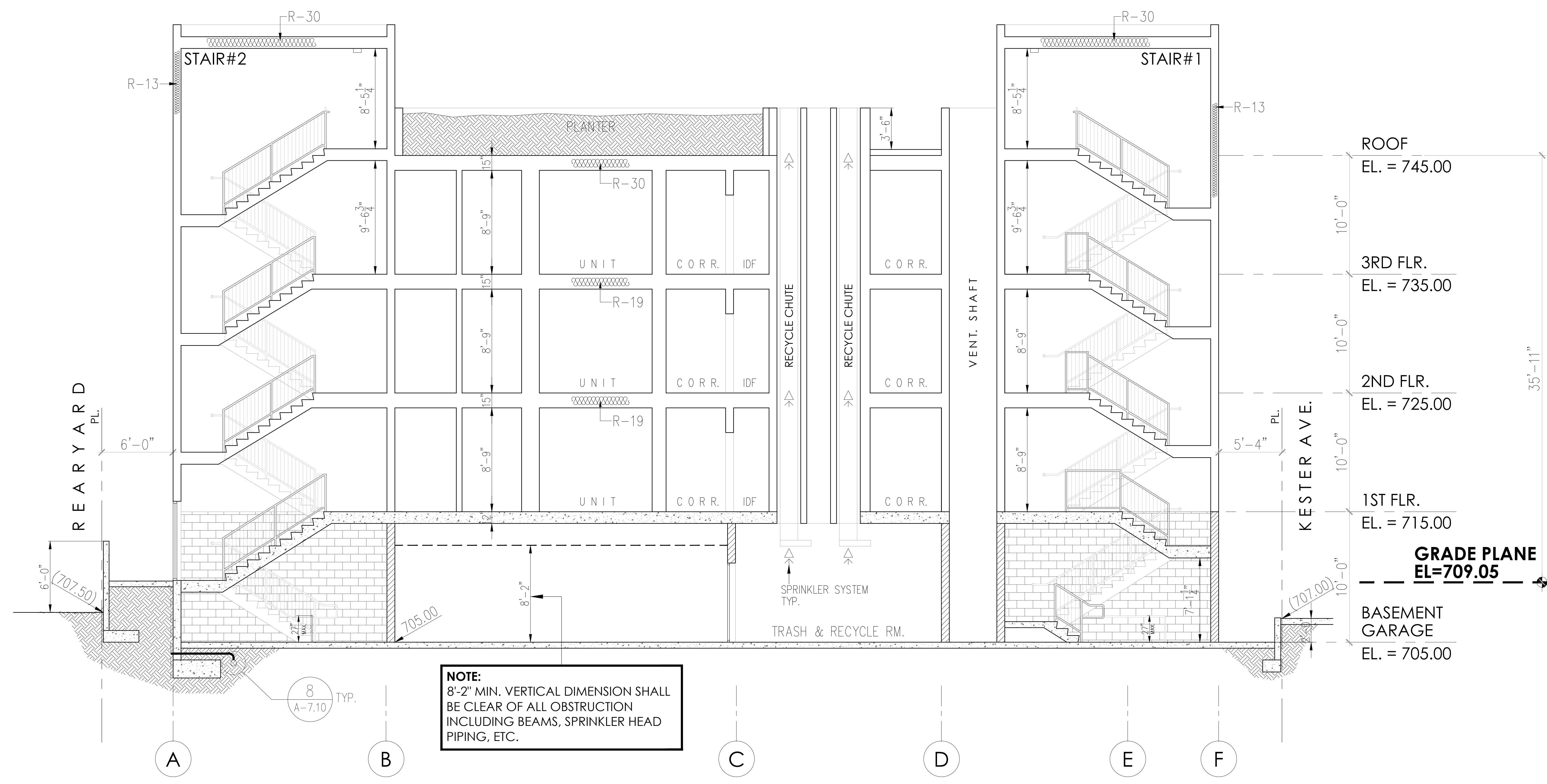
1ST FLOOR	1,170 S/F x 25% = 293 S/F (ALLOWED OPENING)				
	OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
WINDOW	2'-6" X 3'-6"	9	x 1	= 9	
WINDOW	2'-0" X 2'-0"	4	x 1	= 4	
WINDOW	6'-0" X 3'-6"	21	x 4	= 84	
WINDOW	2'-6" X 3'-0"	8	x 1	= 8	
BALCONY	8'-0" X 3'-6"	28	x 3	= 84	
TOTAL			9	=	189 S/F < 300 S/F

OPENING RATIO: 189 SF / 1,170 SF = 16% < 25%

ALLOWABLE OPENING ON EXTERIOR WALL: (PER TABLE 705.8)
DISTANCE OF OPENING FROM PROPERTY LINE IS 5 FT. TO LESS THAN 10 FT. = 25% UNPROTECTED, SPRINKLERERED (UP.S)

3RD FLOOR	1,170 S/F x 25% = 293 S/F (ALLOWED OPENING)				
	OPENING:	SIZE	AREA (S/F)	QUANTITY	SUBTOTAL
WINDOW	2'-6" X 4'-6"	12	x 1	= 12	
WINDOW	2'-0" X 2'-0"	4	x 1	= 4	
WINDOW	6'-0" X 4'-6"	27	x 4	= 108	
WINDOW	2'-6" X 3'-2"	8	x 1	= 8	
BALCONY	8'-0" X 6'-6"	52	x 3	= 156	
TOTAL			9	=	288 S/F < 300 S/F

OPENING RATIO: 288 SF / 1,170 SF = 25% < 25%



NOTE:
 8'-2" MIN. VERTICAL DIMENSION SHALL
 BE CLEAR OF ALL OBSTRUCTION
 INCLUDING BEAMS, SPRINKLER HEAD
 PIPING, ETC.

SECTION B

SCALE: 1/4" = 1'-0"

Sheet Issue & Revision Log

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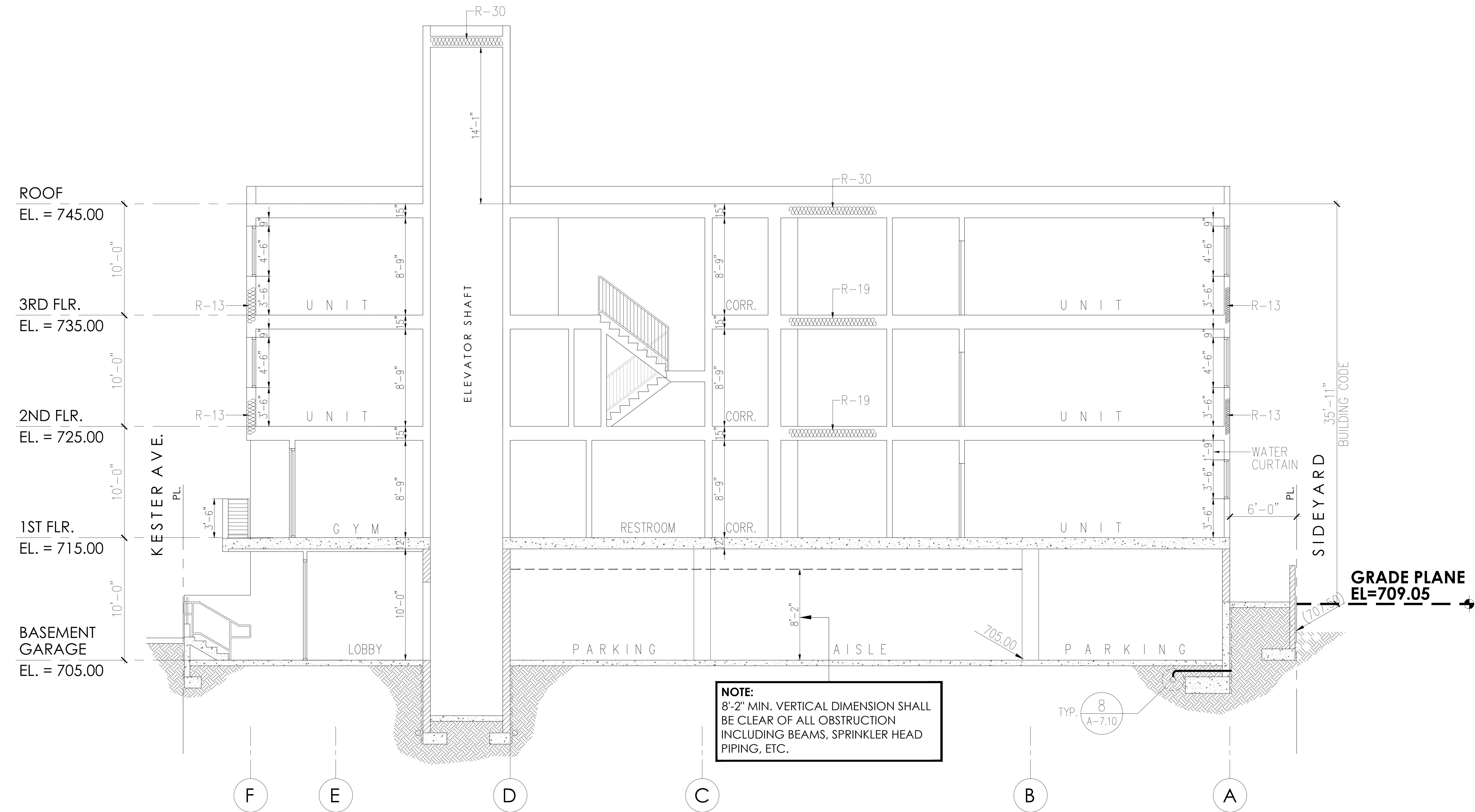
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SECTION B

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NOTE:
 8'-2" MIN. VERTICAL DIMENSION SHALL BE CLEAR OF ALL OBSTRUCTION INCLUDING BEAMS, SPRINKLER HEAD PIPING, ETC.

SECTION C

SCALE: 1/4" = 1'-0"

Sheet Issue & Revision Log

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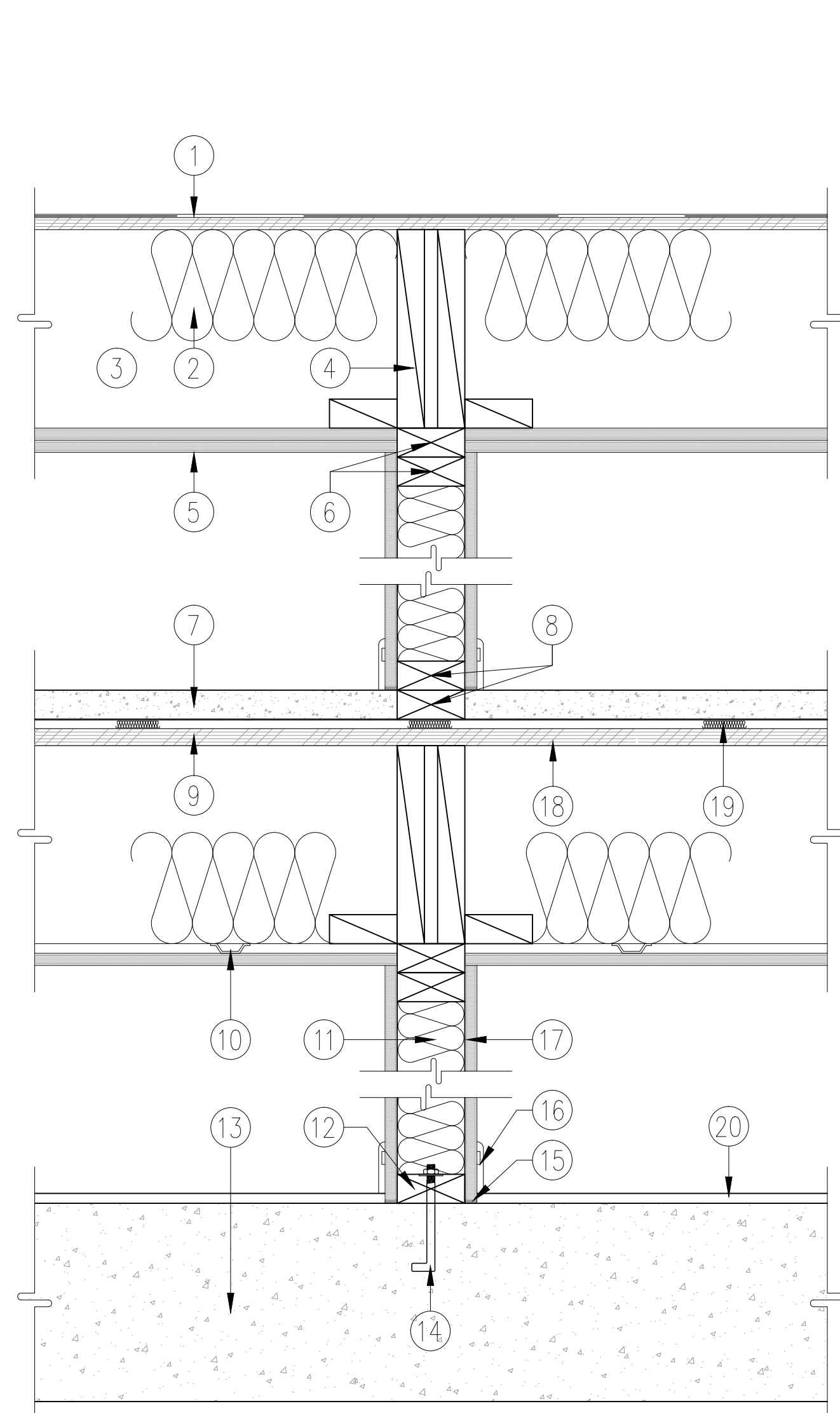
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SECTION C

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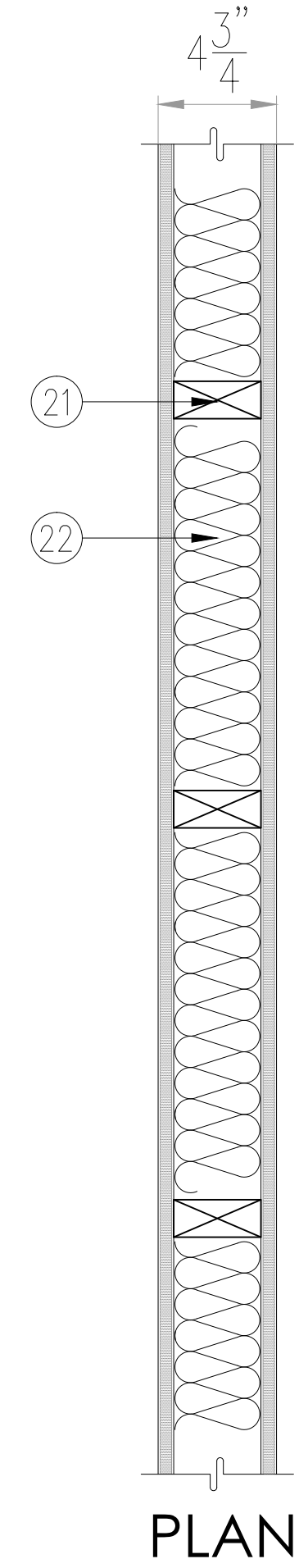
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SECTION

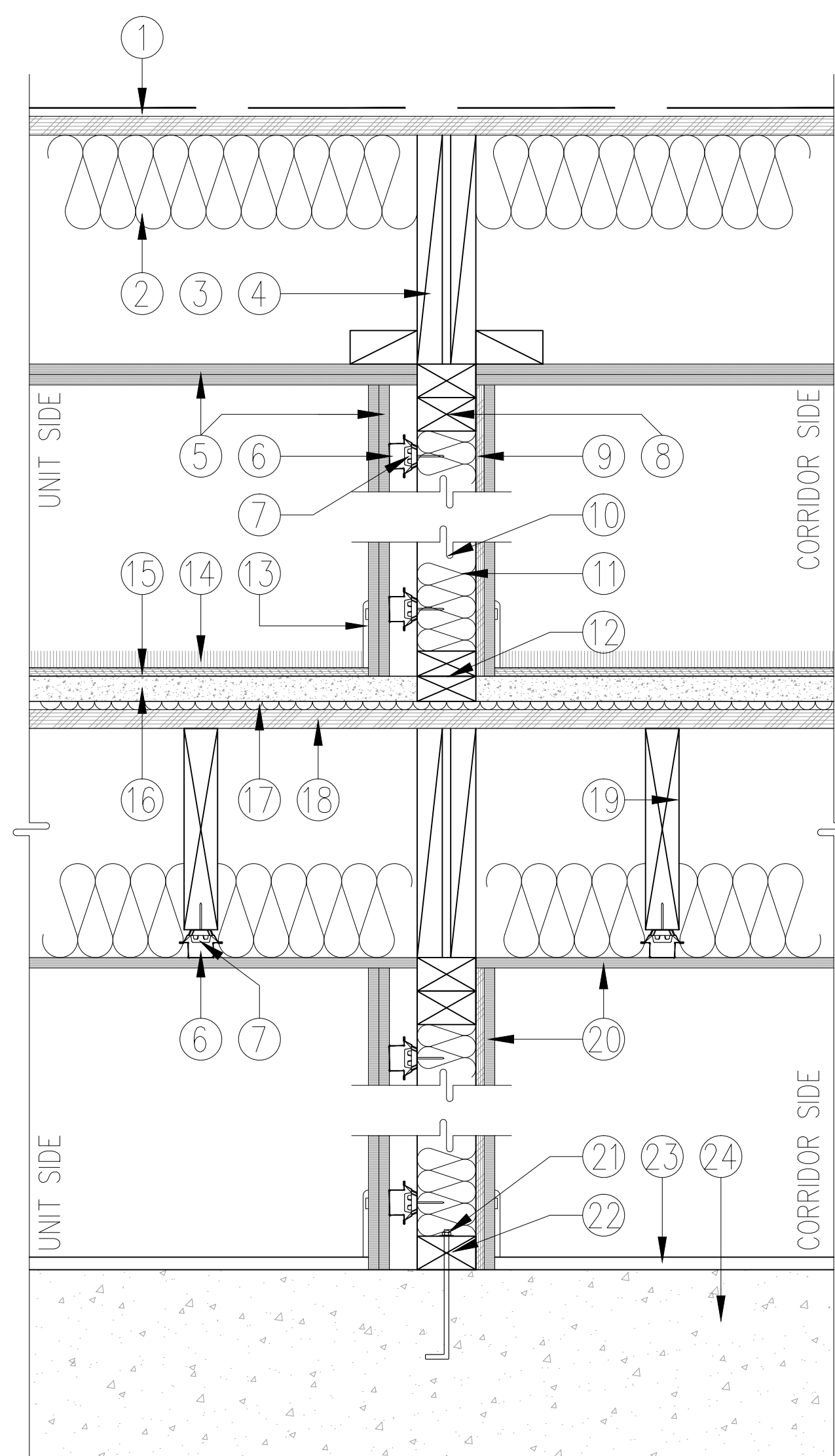
KEYNOTES:
 ① BUILT-UP ROOFING (SEE SPECS. ON ROOF PLAN)
 ② R-30 BATT INSULATION W/ CRAFT PAPER
 ③ 2 X ROOF JOIST
 ④ 2 X 2 BLOCKING
 ⑤ 2-LAYER 5/8" TYPE "X" GYPSUM BRD. GA FILE NO. RC 2601
 ⑥ 2 X 4 DOUBLE PLATE
 ⑦ 1-1/2" LIGHT WGT CONC. 3000 PSI (TYP.)
 ⑧ 2-2 X 4 PLATE
 ⑨ 1-1/8" PLYWOOD T. G. (SEE STRUCT. DWG. FOR NAILING)
 ⑩ RESILIENT CHANNEL
 ⑪ R-13 BATT INSULATION W/ CRAFT PAPER
 ⑫ 2 X SILL PLATE ON CONC. FLOOR
 ⑬ CONCRETE DECK
 ⑭ ANCHOR BOLT (SEE STRUCT. DWG.)
 ⑮ 1/4" PERIMETER RELIEF & SEALANT (CAULKING) TO SEAL AGAINST SOUND LEAKS (TYP.)
 ⑯ 4" BASE BOARD
 ⑰ 5/8" THK. TYPE "X" GYP. BD. ON EA. FACE OF WALL
 ⑱ 1 LAYER PLYWOOD
 ⑳ 1/2" ACOUSTICORK
 ㉑ SEE TITLE 24 FOR RIGID INSULATION



PLAN

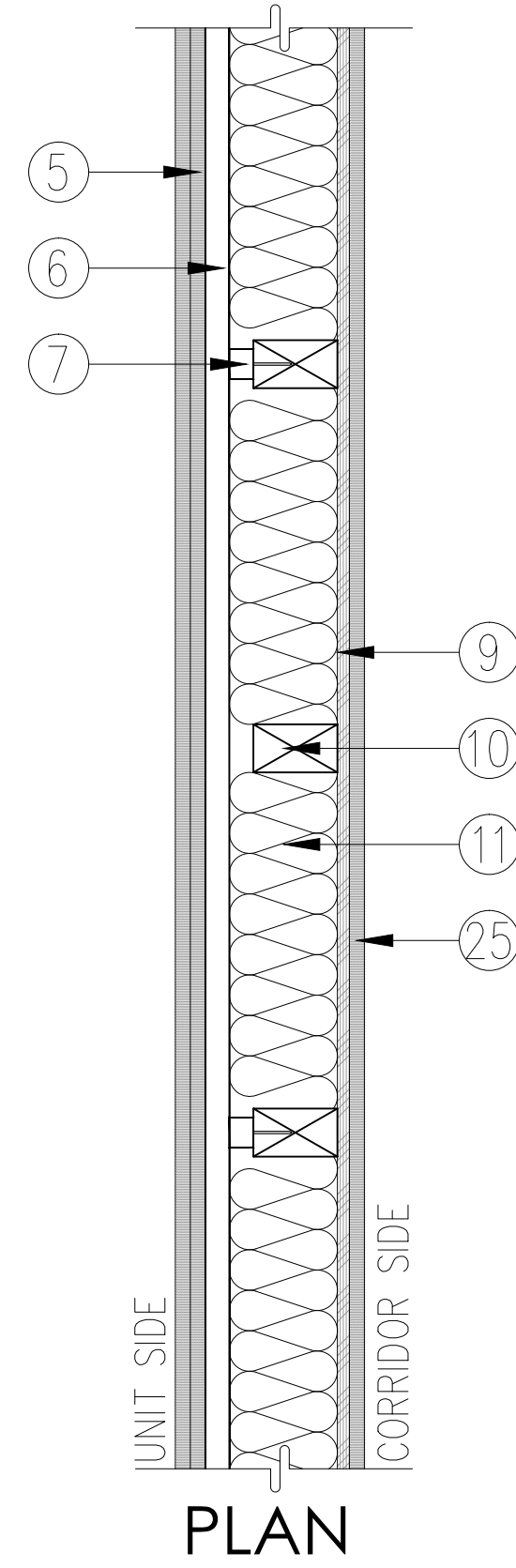
㉑ STUDS @ 16" O.C. (SEE STRUCT. DWG.)
 ㉒ PROVIDE R-13 BATT INSULATION WHEN BEDROOM IS ADJOINING LIVING ROOM

GA FILE NO. WP 3239



SECTION 50 STC

KEYNOTES:
 ① BUILT-UP ROOF SEE SPECS ON PLAN
 ② R-30 BATT INSULATION W/ CRAFT PAPER
 ③ 2 X ROOF JOIST
 ④ 2 X 2 BLOCKING
 ⑤ 2-LAYERS 5/8" THK. TYPE "X" GYPSUM BD. GA. FILE NO. RC 2601
 ⑥ FURRING CHANNEL
 ⑦ CLIP
 ⑧ 2 X 4 DOUBLE PLATE
 ⑨ 1/2" PLYWOOD
 ⑩ STUDS @ 16" O.C. SEE STRUCT. DWG.
 ⑪ R-13 BATT INSULATION W/ CRAFT PAPER
 ⑫ 2 -2 X DOUBLE PLATE
 ⑬ 4" BASEBOARD
 ⑭ CARPET
 ⑮ UNDERLAYMENT
 ⑯ 1-1/2" LGT. WT. CONCRETE
 ⑰ ENKASONIC UP
 ⑱ 1-1/8" PLYWOOD T.G. (SEE STRUC. DWG. FOR NAILING)
 ⑲ JOIST SEE STRUCT. DWG.
 ㉑ 1-LAYER TYPE "X" 5/8" GYPSUM BD.

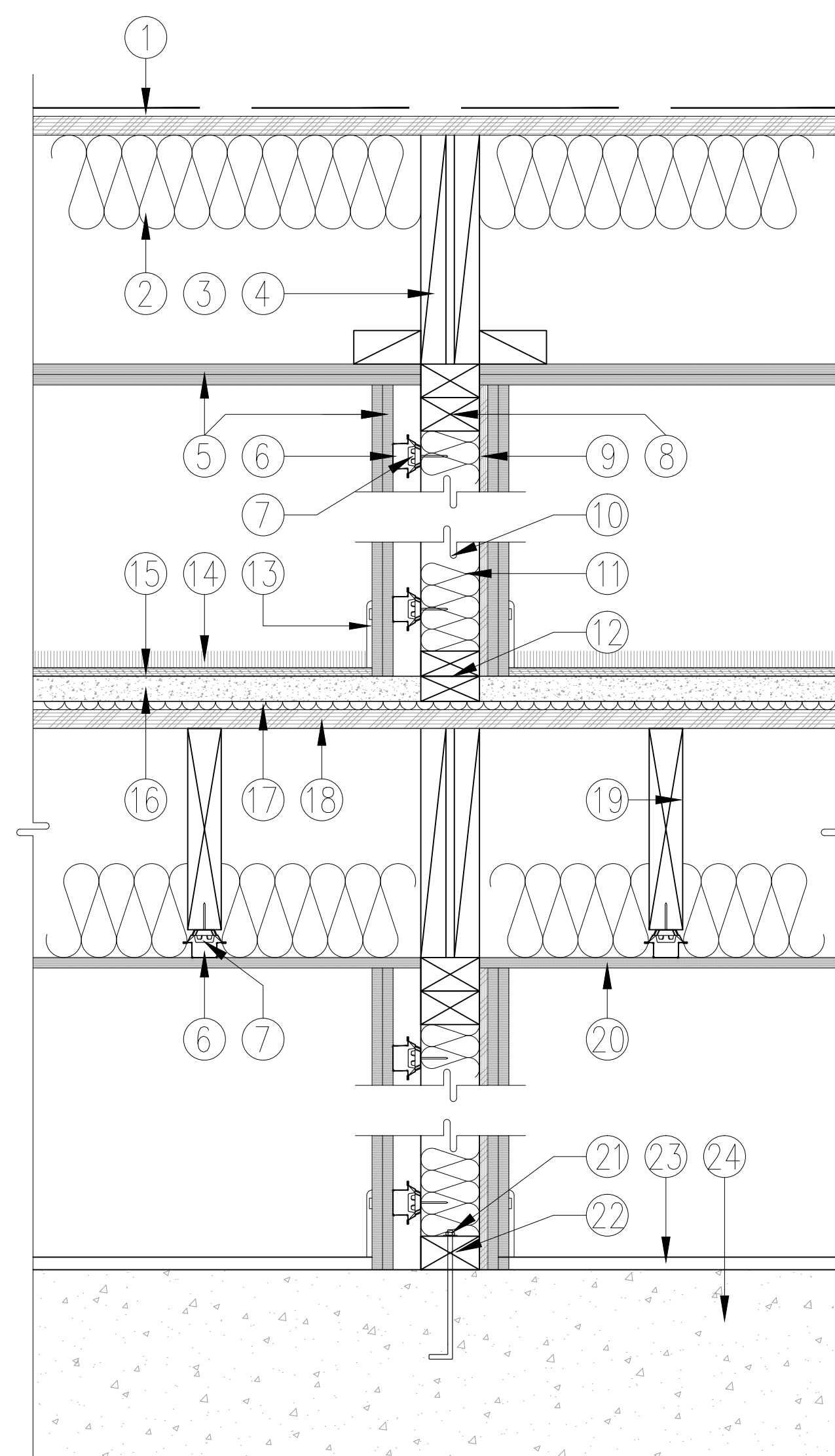


PLAN

㉑ ANCHOR BOLT SEE STRUCT. DWG.
 ㉒ 2 X SILL PLATE ON CONC. FLOOR
 ㉓ SEE TITLE 24 FOR RIGID INSULATION
 ㉔ CONCRETE DECK
 ㉕ 1-LAYER 5/8" THK. GYP. BD. @ CORRIDOR 7/8" STUCCO @ EXIT BALCONY

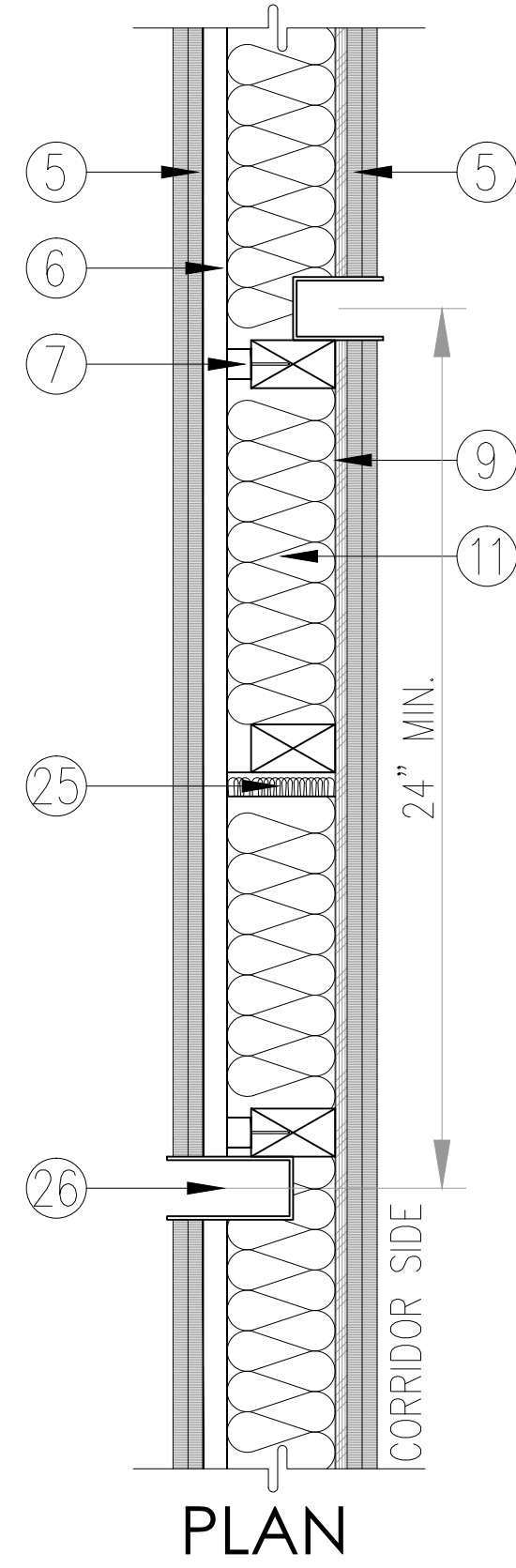
NOTE:
 NO ACCESS PANELS, MEDICINE CABINETS, ETC. IN CORRIDOR WALLS

GA FILE NO. WP 3245



SECTION 50 STC

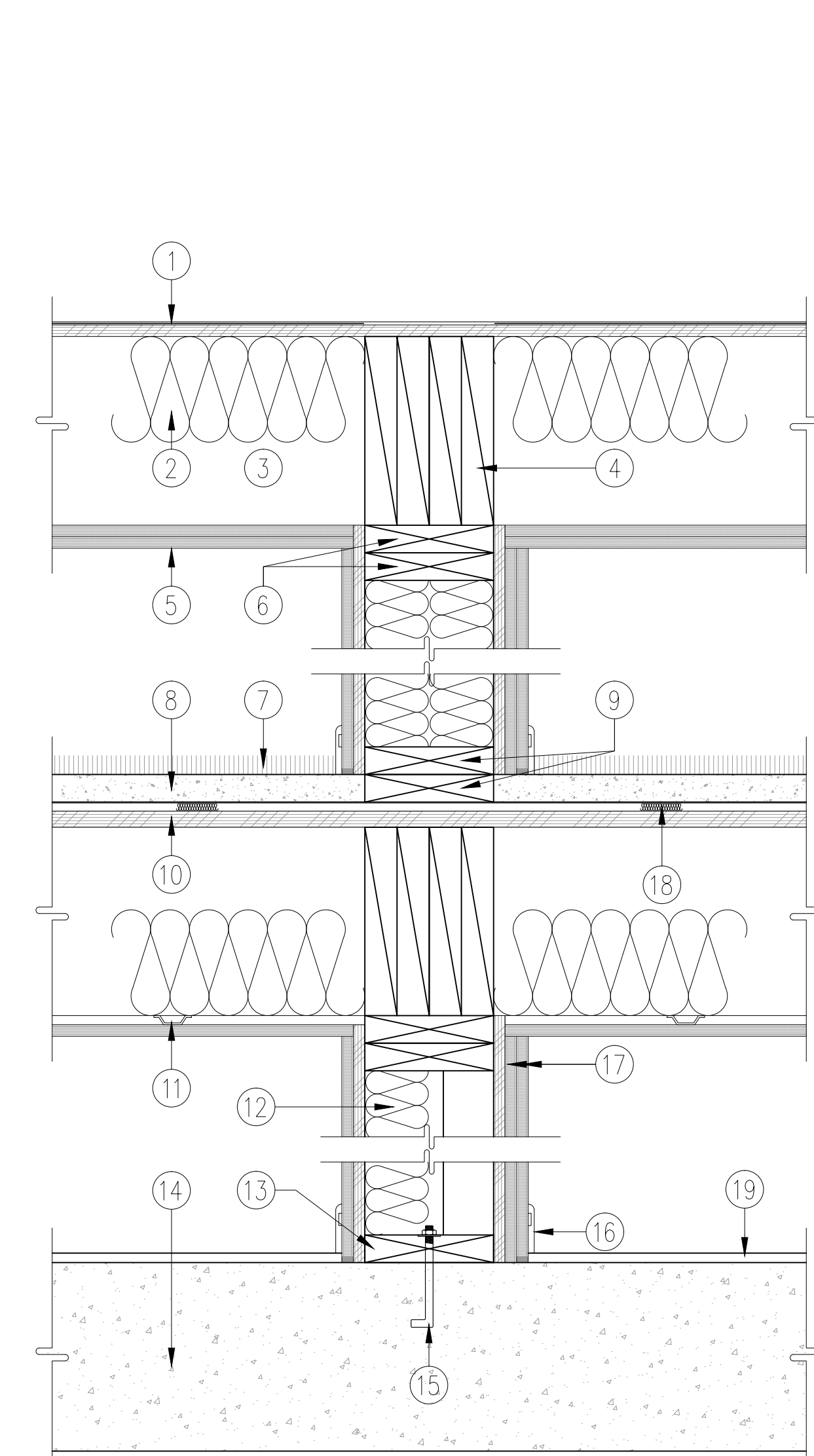
KEYNOTES:
 ① BUILT-UP ROOF SEE SPECS ON PLAN
 ② R-30 BATT INSULATION W/ CRAFT PAPER
 ③ 2 X ROOF JOIST
 ④ 2 X 2 BLOCKING
 ⑤ 2-LAYERS 5/8" THK. TYPE "X" GYPSUM BD. GA. FILE NO. RC 2601
 ⑥ FURRING CHANNEL
 ⑦ CLIP
 ⑧ 2 X 4 DOUBLE PLATE
 ⑨ 1/2" PLYWOOD
 ⑩ STUDS @ 16" O.C. SEE STRUCT. DWG.
 ⑪ R-13 BATT INSULATION W/ CRAFT PAPER
 ⑫ 2 -2 X DOUBLE PLATE
 ⑬ 4" BASEBOARD
 ⑭ CARPET
 ⑮ UNDERLAYMENT
 ⑯ 1-1/2" LGT. WT. CONCRETE
 ⑰ ENKASONIC UP
 ⑱ 1-1/8" PLYWOOD T.G. (SEE STRUC. DWG. FOR NAILING)
 ⑲ JOIST SEE STRUCT. DWG.
 ㉑ 1-LAYER TYPE "X" 5/8" GYPSUM BD.
 ㉒ ANCHOR BOLT SEE STRUCT. DWG.



PLAN

㉑ ANCHOR BOLT SEE STRUCT. DWG.
 ㉒ 2 X SILL PLATE ON CONC. FLOOR
 ㉓ SEE TITLE 24 FOR RIGID INSULATION
 ㉔ CONCRETE DECK
 ㉕ PROVIDE FIRE STOPS @ 10 FT. INTERVALS ALONG THE LENGTH OF THE WALL (MINERAL FIBER)
 ㉖ ELECTRICAL OUTLET

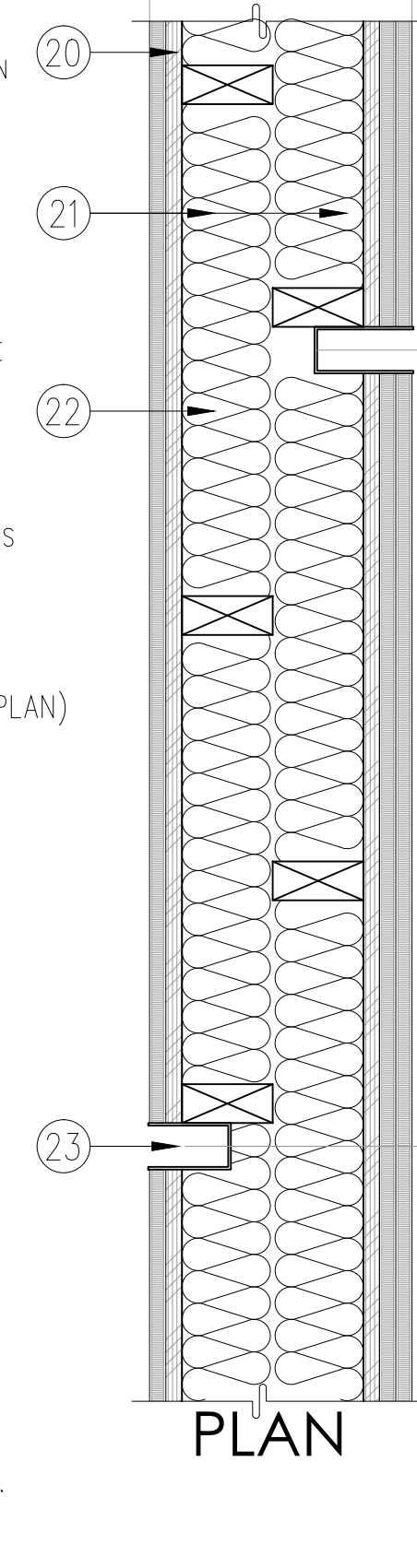
GA FILE NO. WP 3825



SECTION

NOTES:
 1. ENT DUCTS PIERCING WALL REQUIRE FIRE DAMPERS EACH SIDE OF WALL.
 2. OPENING IN THE ROOF SHALL NOT BE LOCATED WITHIN 5 FEET OF THE AREA SEPARATION WALL.
 3. NO ACCESS PANELS, MEDICINE CABINETS, ETC. IN DIVISION WALLS.
 4. PENETRATION IN WALLS REQUIRING PROTECTED OPENINGS MUST BE FIRE STOPPED WITH AN APPROVED MATERIAL IN ACCORDANCE WITH SECTION 709.6 SPACE BETWEEN PENETRATING MATERIALS DESCRIBED BELOW MUST BE DESIGNED TO PREVENT THE MOVEMENT OF HOT FLAME OR GASES.
 5. COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE THE WALLS OR PARTITIONS, PROVIDED THEY ARE FIRE STOPPED.
 6. OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT AGGREGATE MORE THAN 100 SQUARE INCHES OR 100 SQUARE FEET OF WALL OR PARTITIONS. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.

SECTION 8 3/8"



PLAN

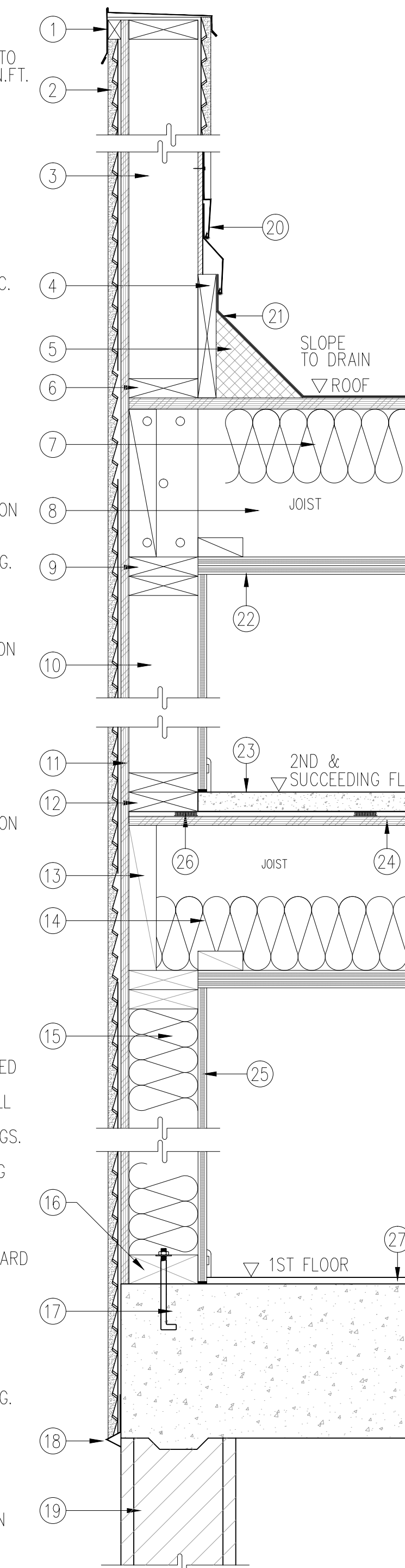
KEYNOTES:
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 ③ 2 X ROOF JOIST
 ④ 2 X 2 BLOCKING
 ⑤ 2-LAYER 5/8" TYPE "X" GYP. BD. GA FILE NO. RC 2601
 ⑥ 2 X 4 DOUBLE PLATE
 ⑦ CARPET
 ⑧ 1-1/2" LIGHT WGT CONC. 3,000 PSI (TYP.)
 ⑨ 2-2 X DOUBLE PLATE
 ⑩ 1-1/8" PLYWOOD T.G. (SEE STRUCT. DWG. FOR NAILING)
 ⑪ RESILIENT CHANNEL (SEE DETAIL)
 ⑫ R-13 BATT INSULATION W/ CRAFT PAPER
 ⑬ 2 X SILL PLATE ON CONC. FLOOR
 ⑭ CONCRETE DECK
 ⑮ ANCHOR BOLT (SEE STRUCT. DWG.)
 ⑯ 4" BASE BOARD
 ⑰ 2 LAYERS OF 5/8" THK. TYPE "X" GYP. BD. ON EACH FACE OF WALL
 ⑱ 1/2" ACOUSTICORK (FOR CONDOMINIUM) OR ACOUSTI-MAT II OR ENKASONIC (FOR APARTMENTS)
 ㉑ SEE TITLE 24 FOR RIGID INSULATION
 ㉒ 1 LAYER PLYWOOD
 ㉓ 2 LAYERS OF R-13 BATT INSULATION W/ CRAFT PAPER
 ㉔ STUDS @ 16" O.C. (SEE STRUCT. DWG.)
 ㉕ ELECTRICAL OUTLET

GA FILE NO. WP 3245

PARAPET CONSTRUCTION TO SUPPORT UP TO 20 #/LIN.FT. OF LATERAL FORCE.

KEYNOTES:

① #20 GA. GI. COPING
 ② 7/8" STUCCO OVER DUPONT TYVEK HOMEWRAP I.C.B.O. # ER-4000
 ③ 2 X STUDS @ 16" O.C. CONT. OF LAST FLR. STUDS SEE STRUCT. DWGS. ROOF JOIST PARALLEL OR PERPENDICULAR
 ④ 1 X 6
 ⑤ CANT STRIP
 ⑥ 2 X PLATE
 ⑦ R-30 BATT INSULATION WITH CRAFT PAPER
 ⑧ SEE STRUCTURAL DWG. FOR ROOF FRAMING
 ⑨ DOUBLE PLATE TYP.
 ⑩ R-19 BATT INSULATION WITH CRAFT PAPER
 ⑪ PLYWOOD SEE STRUCTURAL
 ⑫ 2-2x6 PLATE TYP.
 ⑬ BLOCKING
 ⑭ R-30 BATT INSULATION WITH CRAFT PAPER
 ⑮ 2 X 6 STUDS @ 16" O.C. @ ALL EXTERIOR WALL SEE STRUCTURAL
 ⑯ 3 X 6 PRESSURE TREATED WOOD
 ⑰ ANCHOR BOLT SEE STRUCT. DWG.
 ⑱ METAL STUCCO SCREED
 ⑲ 8" CONC. BLOCK WALL OR CONC. WALL SEE STRUCTURAL DWGS.
 ㉑ #20 GA. GI. FLASHING
 ㉒ ROOFING
 ㉓ 2-LAYER 5/8" TYPE "X" GYPSUM BOARD GA FILE NO. RC 2601
 ㉔ 1-1/2" LIGHT WGT. CONC. OVER 15# FELT
 ㉕ PLYWOOD SEE STRUCTURAL DWG.
 ㉖ 5/8" DRYWALL
 ㉗ 1/2" ACOUSTICORK
 ㉘ SEE TITLE 24 FOR RIGID INSULATION



EXTERIOR SIDE

GA FILE NO. WP 8111

Sheet Issue & Revision Log

IT IS THE CLIENT'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENT'S SUBCONTRACTOR PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

Developer:

6200 KESTER APARTMENTS, LLC

23901 CALABASAS RD, SUITE 2010
 CALABASAS, CA 91302

Project Title:

KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT

6200 N. KESTER AVE.
 VAN NUYS, CA 91411

Architect:

DARYOUSH SAFAI
 AIA
 Architect

2932 Wilshire Boulevard, #210
 Santa Monica, CA 90403

Tel : (310) 453-3335
 Email : safai@verizon.net
 www.architect.com

Architect Stamp:

Sheet Content:

WALL DETAILS

Date : -
 Scale : N.T.S.
 CAD : ROD
 Job : -
 Sheet :

A-7.0

Of 0 Sheets

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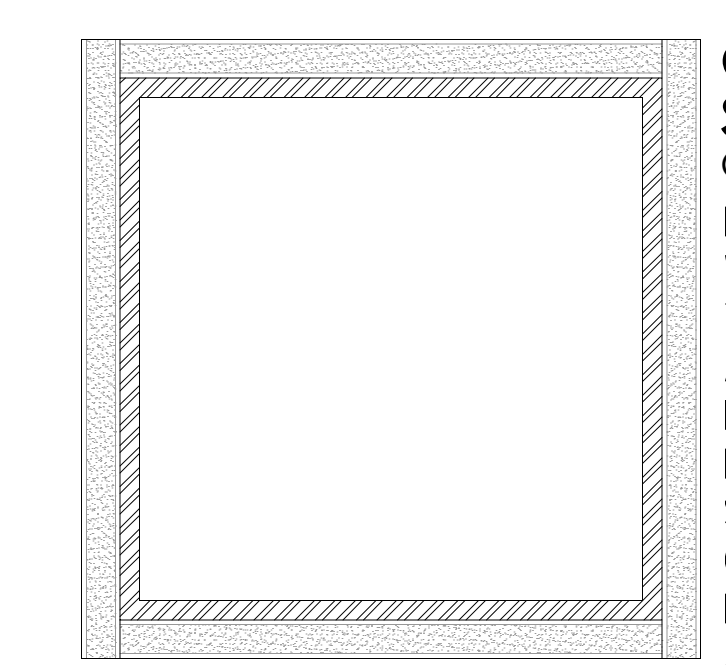
2

EXTERIOR WALL

3 1-HR EXTERIOR WALL (TREATED)

4 2-HR EXTERIOR WALL

5



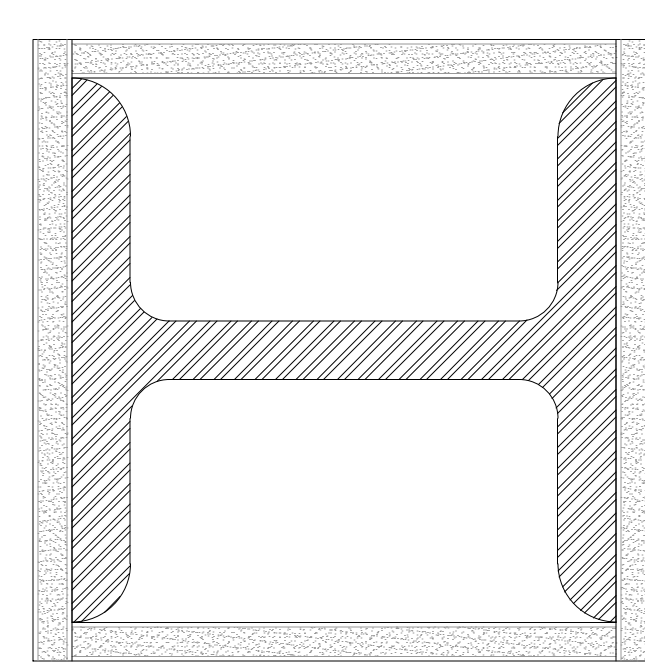
**GYPSUM WALLBOARD,
STEEL COLUMN COVER**
GA FILE NO. CM 1850

BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AROUND TS8X8X0.250 TUBE STEEL COLUMN AND HELD IN PLACE WITH PAPER MASKING TAPE. FACE LAYER EITHER NO. 24 MSG GALVANIZED STEEL COLUMN COVER CONSISTING OF TWO L-SHAPED SECTIONS WITH LAP JOINTS FASTENED WITH NO. 8X1/2" SHEET METAL SCREWS 12" O.C.

FIRE TEST:
UL NC505-(1-6), 71 NK2639,
12-23-75; UL NC505, 77NK1518; UL DESIGN X526

STEEL TUBE

1 1-HR RATED COLUMN COVER

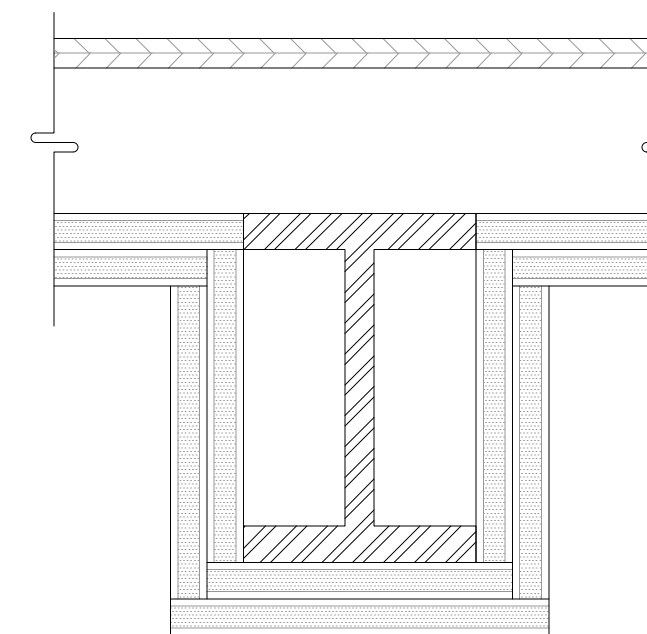


GYPSUM WALLBOARD,
GA FILE NO. CM 1000

BASE LAYER 1/2" TYPE X GYPSUM WALLBOARD APPLIED AROUND W10X49 COLUMN AND HELD IN PLACE WITH PAPER MASKING TAPE. FACE LAYER EITHER NO. 24 MSG GALVANIZED STEEL COLUMN COVER CONSISTING OF TWO L-SHAPED SECTIONS WITH SNAP-LOCK SHEET STEEL JOINTS OR NO. 22 MSG GALVANIZED STEEL COLUMN COVERS CONSISTING OF TWO L-SHAPED SECTIONS WITH LAP JOINTS FASTENED WITH NO. 8X1/2" SHEET METAL SCREWS 12" O.C.

FIRE TEST:
UL NC505-(1-6), 71 NK2639,
12-23-75; UL NC505, 77NK1518;
UL DESIGN X526

6 1-HR RATED COLUMN COVER



STEEL FRAME, GYPSUM WALLBOARD
GA FILE NO. BM 1137

BASE LAYER 1/2" PROPRIETARY TYPE "X" GYPSUM WALLBOARD APPLIED TO BEAM CAGE WITH 1" TYPE 5-12 DRYWALL SCREWS 12" O.C. FACE LAYER 1/2" PROPRIETARY TYPE "X" GYPSUM WALLBOARD APPLIED TO BEAM CAGE WITH 1 5/8" TYPE 5-12 DRYWALL SCREWS 12" O.C. JOINTS OFFSET FROM BASE LAYER JOINTS.

BEAM CAGE FABRICATED FROM NO. 24 GAGE 7/8" x 1 3/8" STEEL ANGLES SCREW ATTACHED TO STEEL JOISTS AT BEAM TOP FLANGE AND NO. 25 GAGE 2 1/2" STEEL RUNNERS HOOKED OVER BEAM LOWER FLANGE AND SUPPORTING 1 5/8" STEEL STUDS 24" O.C. MINIMUM BEAM SIZE W8x15,(ONE HOUR UNRESTRAINED BEAM).

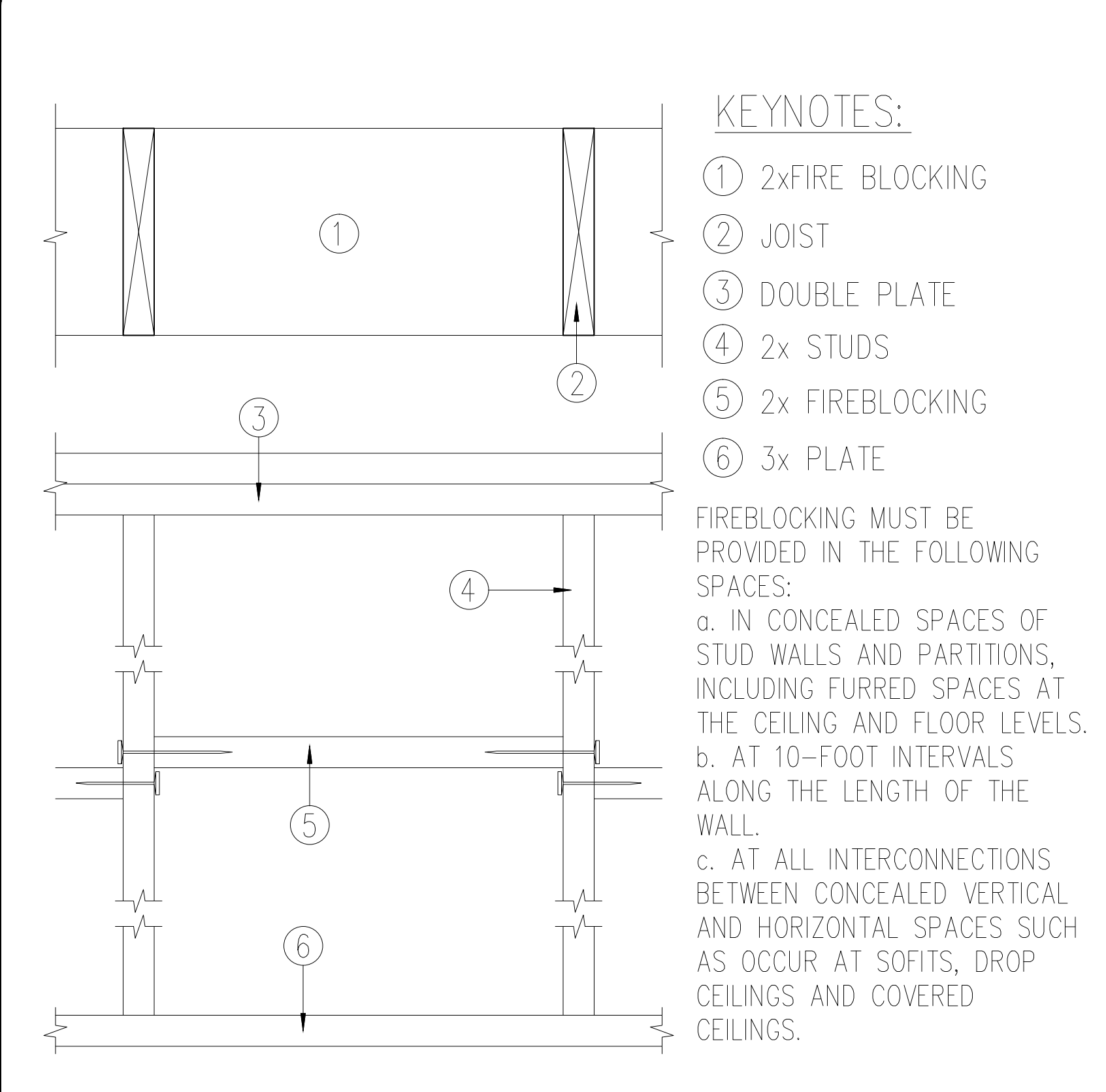
FIRE TEST: UL R1319-133, 7-16-75;
Based on UL R3660-7 & -8, UL Design L524

PROPRIETARY GYPSUM BOARD
AMERICAN GYPSUM COMPANY
CELOTEX CORPORATION
CONTINENTAL GYPSUM
G-P GYPSUM
JAMES HARDIE GYPSUM
LAFARGE GYPSUM
TEMPLE-INLAND FOREST PRODUCTS CORPORATION
UNITED STATES GYPSUM COMPANY

1/2" FIREBLOC TYPE C
1/2" FI-ROK PLUS
1/2" MORE ROCK FIREBAR TYPE C (CGTC-C)
1/2" GYPROC FIREGUARD C
1/2" HARDIROCK BRAND MAX C
1/2" FIRECHECK TYPE C
1/2" TG-C
1/2" SHEETROCK BRAND GYPSUM PANELS,
FIRECODE C CORE

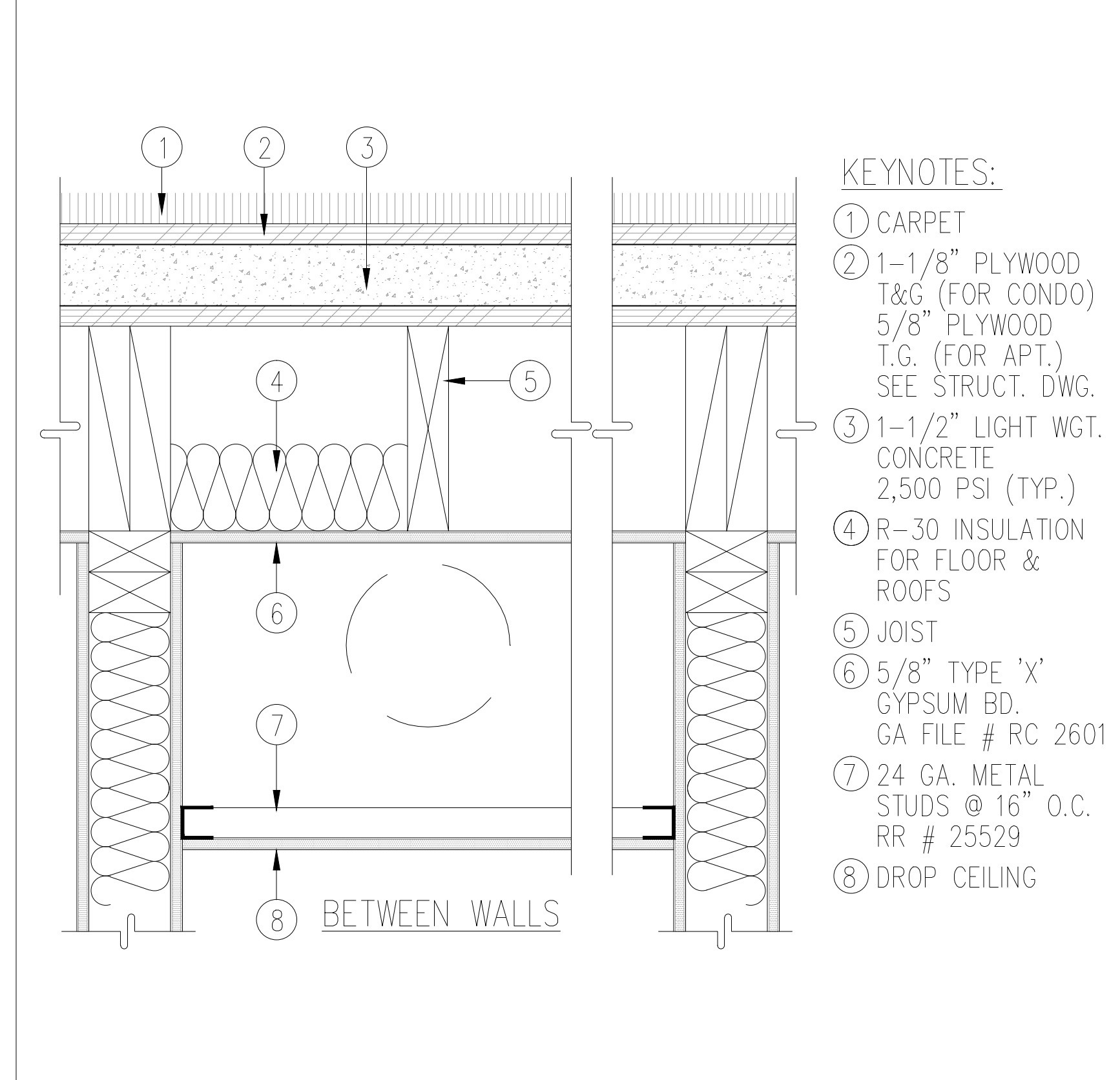
7 1-HR RATED BEAM COVER

8



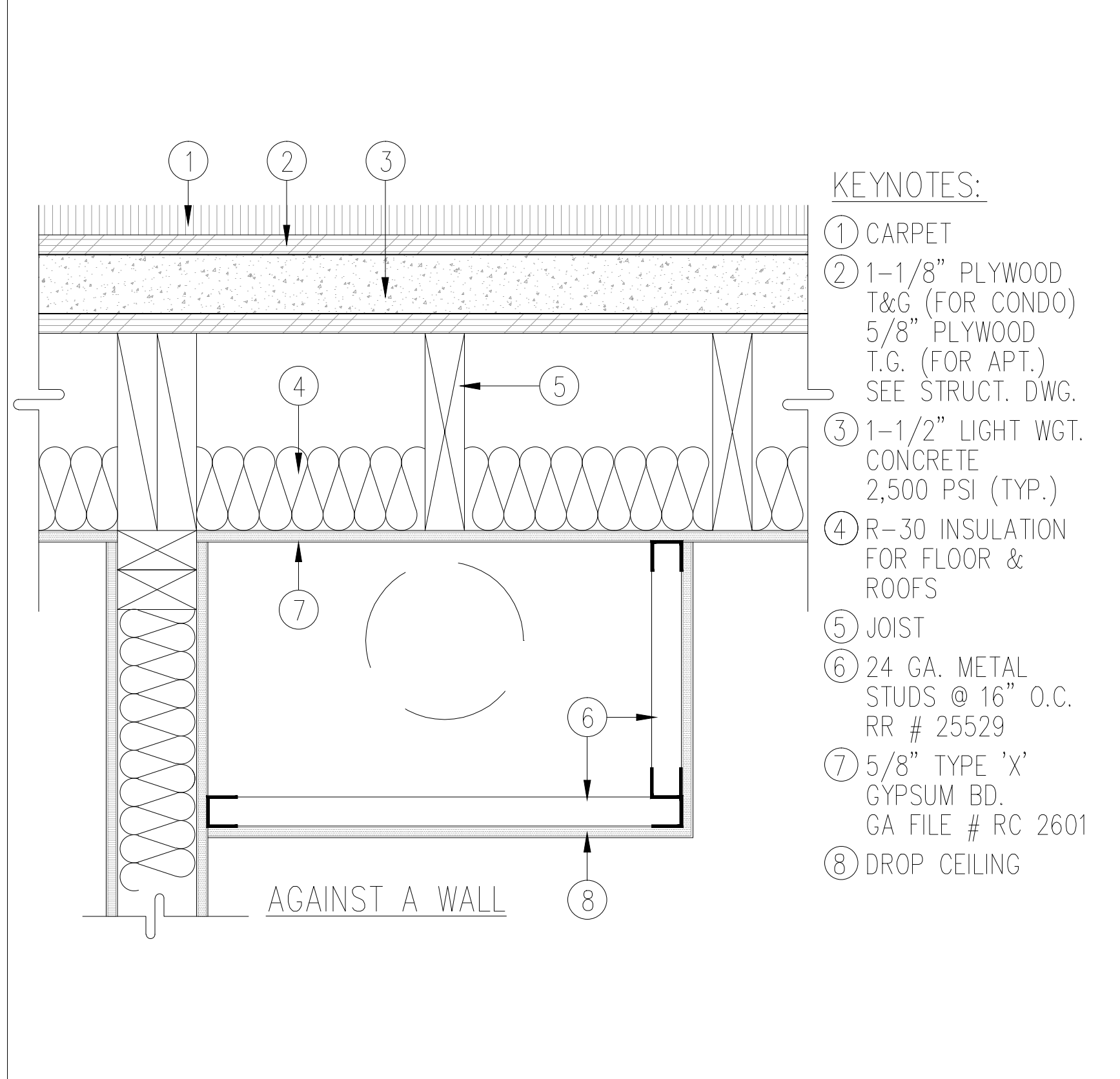
- KEYNOTES:**
- 1 2x FIRE BLOCKING
 - 2 JOIST
 - 3 DOUBLE PLATE
 - 4 2x STUDS
 - 5 2x FIREBLOCKING
 - 6 3x PLATE
- FIREBLOCKING MUST BE PROVIDED IN THE FOLLOWING SPACES:
- a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS.
 - b. AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - c. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVERED CEILINGS.

1 FIREBLOCK



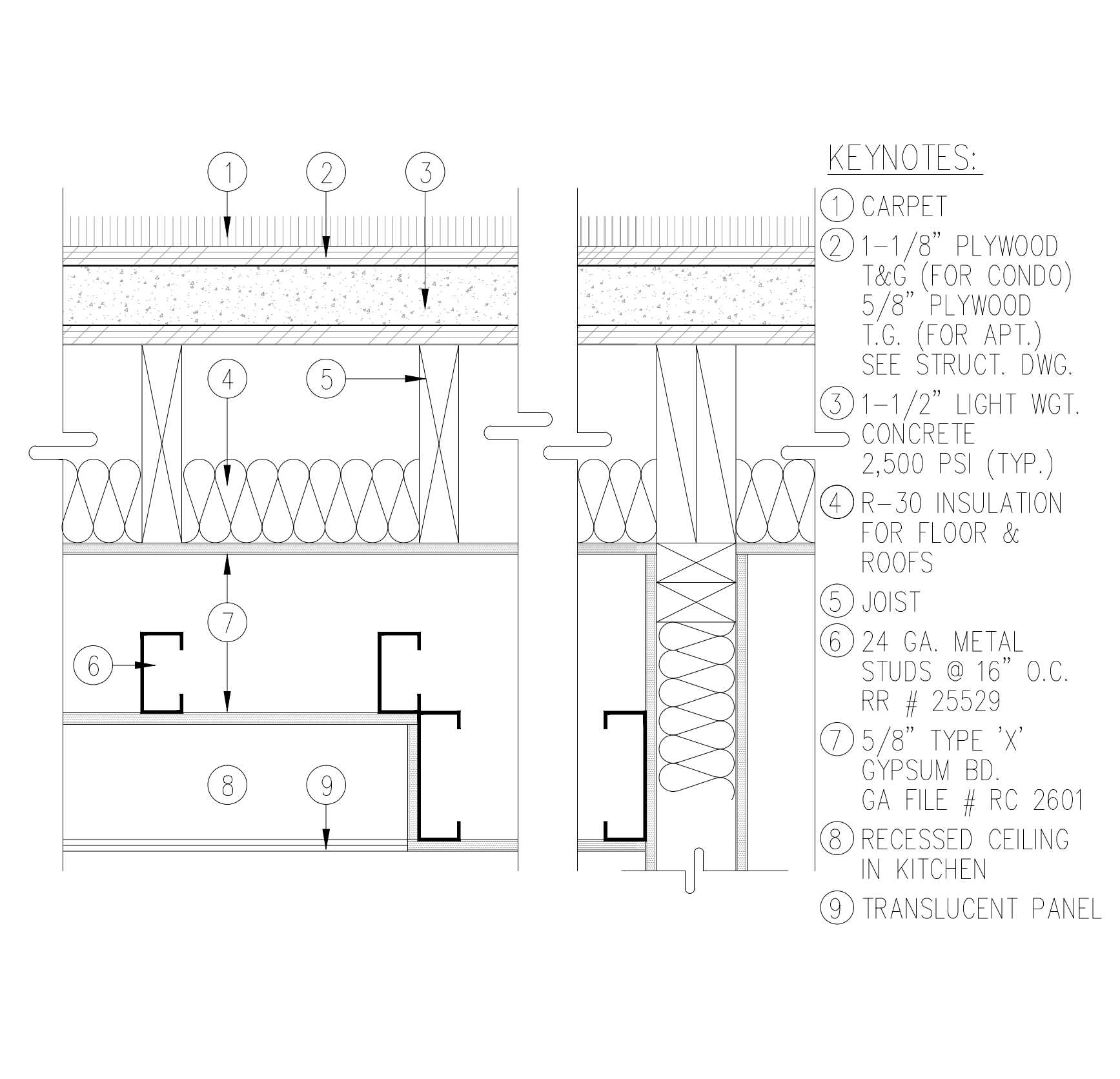
- KEYNOTES:**
- 1 CARPET
 - 2 1-1/8" PLYWOOD T&G (FOR CONDO) 5/8" PLYWOOD T.G. (FOR APT.) SEE STRUCT. DWG.
 - 3 1-1/2" LIGHT WGT. CONCRETE 2,500 PSI (TYP.)
 - 4 R-30 INSULATION FOR FLOOR & ROOFS
 - 5 JOIST
 - 6 5/8" TYPE 'X' GYPSUM BD. GA FILE # RC 2601
 - 7 24 GA. METAL STUDS @ 16" O.C. RR # 25529
 - 8 DROP CEILING

2 FURRED CEILING (BET. WALL)



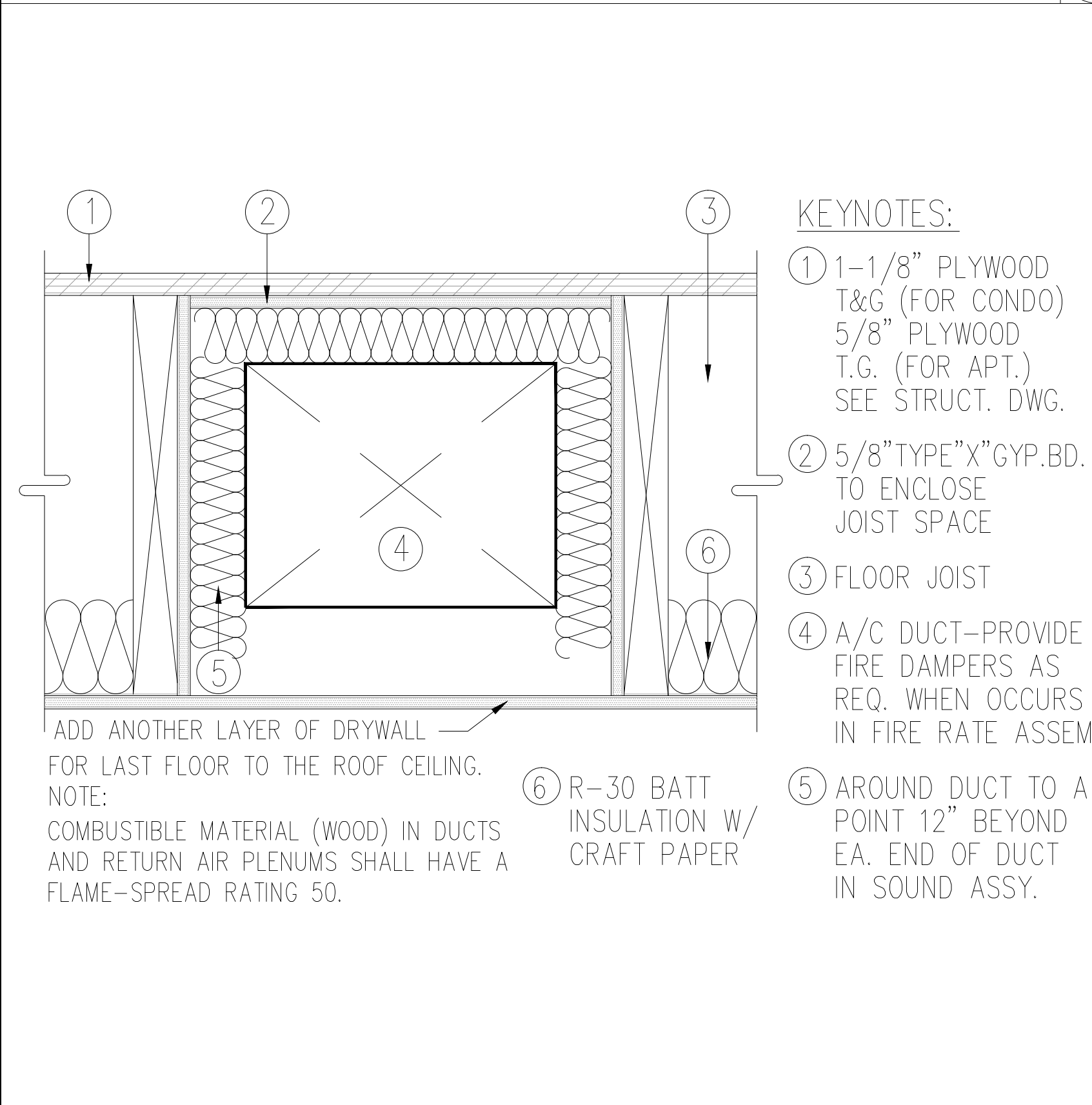
- KEYNOTES:**
- 1 CARPET
 - 2 1-1/8" PLYWOOD T&G (FOR CONDO) 5/8" PLYWOOD T.G. (FOR APT.) SEE STRUCT. DWG.
 - 3 1-1/2" LIGHT WGT. CONCRETE 2,500 PSI (TYP.)
 - 4 R-30 INSULATION FOR FLOOR & ROOFS
 - 5 JOIST
 - 6 24 GA. METAL STUDS @ 16" O.C. RR # 25529
 - 7 5/8" TYPE 'X' GYPSUM BD. GA FILE # RC 2601
 - 8 DROP CEILING

3 FURRED CEILING (AGAINST WALL)



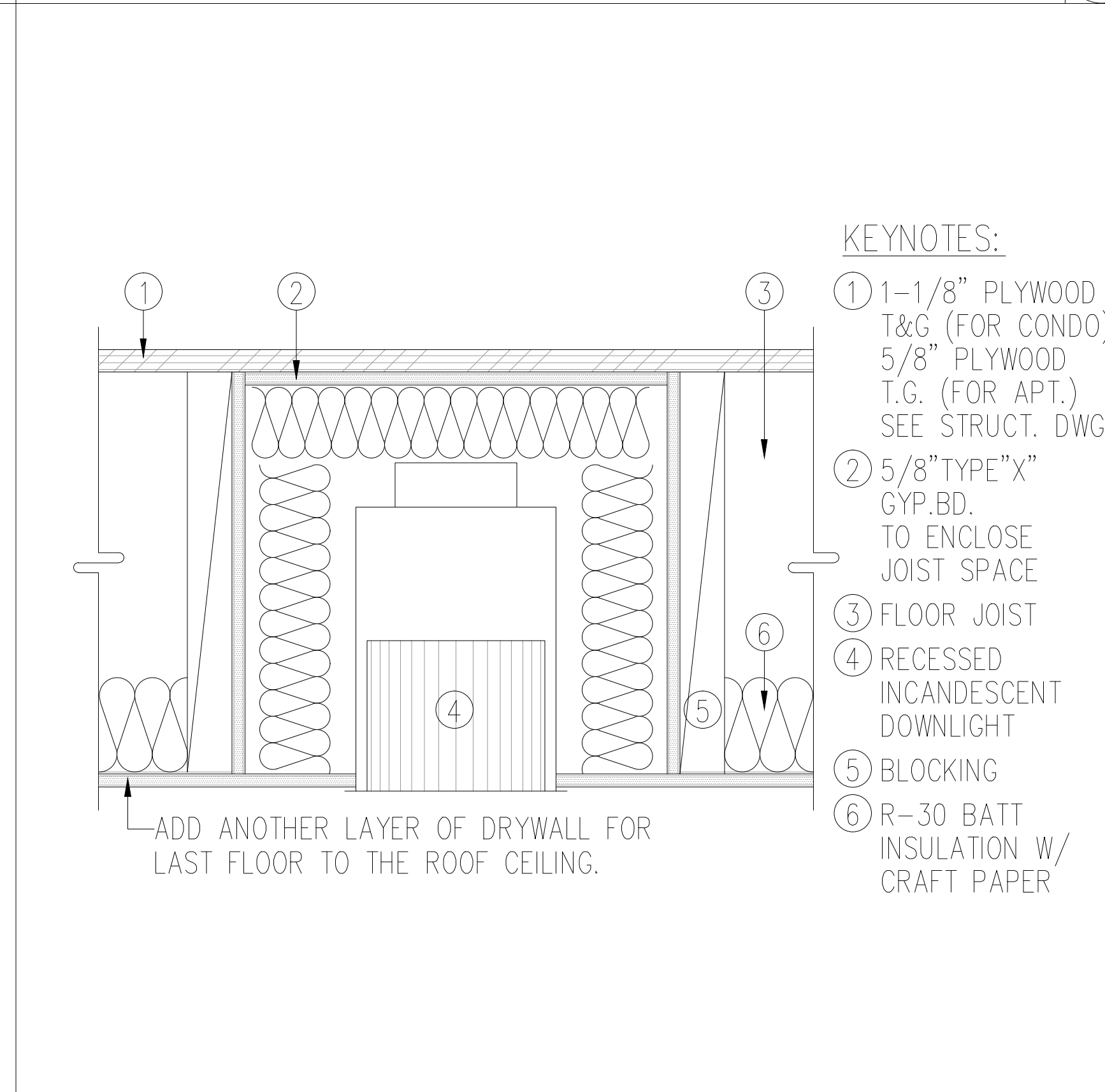
- KEYNOTES:**
- 1 CARPET
 - 2 1-1/8" PLYWOOD T&G (FOR CONDO) 5/8" PLYWOOD T.G. (FOR APT.) SEE STRUCT. DWG.
 - 3 1-1/2" LIGHT WGT. CONCRETE 2,500 PSI (TYP.)
 - 4 R-30 INSULATION FOR FLOOR & ROOFS
 - 5 JOIST
 - 6 24 GA. METAL STUDS @ 16" O.C. RR # 25529
 - 7 5/8" TYPE 'X' GYPSUM BD. GA FILE # RC 2601
 - 8 RECESSED CEILING IN KITCHEN
 - 9 TRANSLUCENT PANEL

4 FURRED CEILING (NO SPRINKLERS)



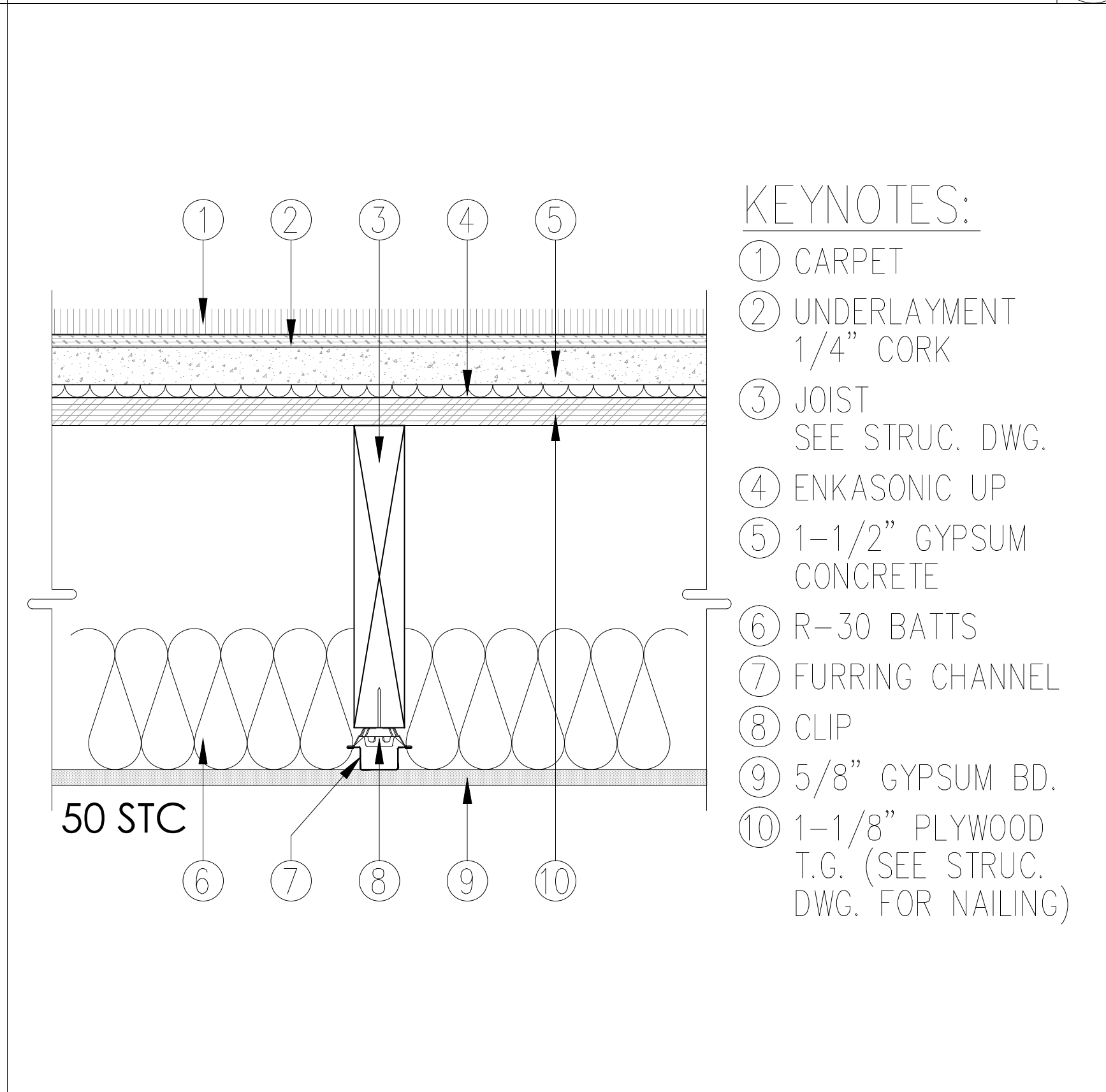
- KEYNOTES:**
- 1 1-1/8" PLYWOOD T&G (FOR CONDO) 5/8" PLYWOOD T.G. (FOR APT.) SEE STRUCT. DWG.
 - 2 5/8" TYPE 'X' GYP. BD. TO ENCLOSE JOIST SPACE
 - 3 FLOOR JOIST
 - 4 A/C DUCT—PROVIDE FIRE DAMPERS AS REQ. WHEN OCCURS IN FIRE RATE ASSEM.
 - 5 AROUND DUCT TO A POINT 12" BEYOND EA. END OF DUCT IN SOUND ASSY.
 - 6 R-30 BATT INSULATION W/ CRAFT PAPER
- ADD ANOTHER LAYER OF DRYWALL FOR LAST FLOOR TO THE ROOF CEILING. NOTE: COMBUSTIBLE MATERIAL (WOOD) IN DUCTS AND RETURN AIR PLENUMS SHALL HAVE A FLAME-SPREAD RATING 50.

5 DUCT IN FLOOR & CEILING



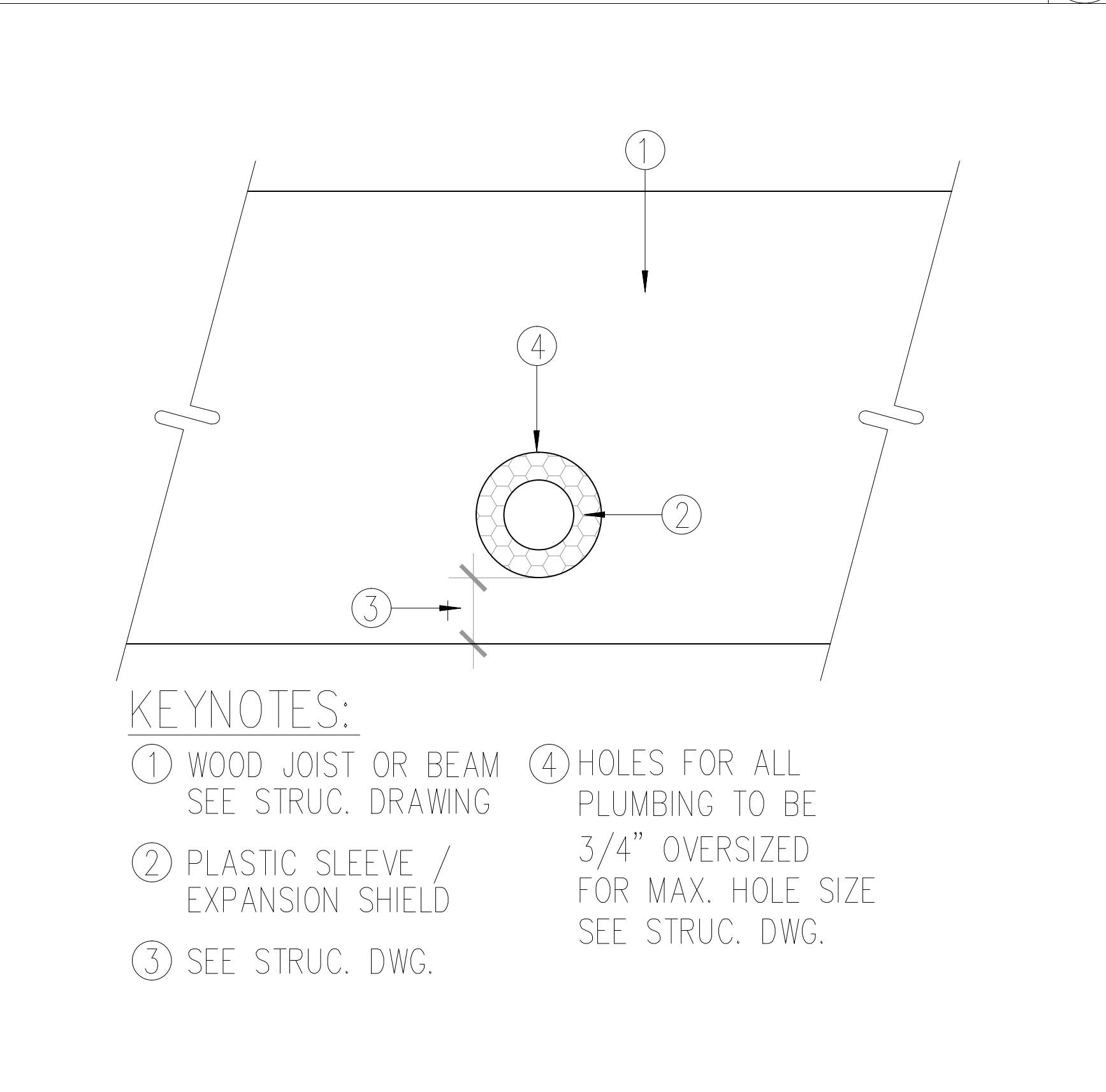
- KEYNOTES:**
- 1 1-1/8" PLYWOOD T&G (FOR CONDO) 5/8" PLYWOOD T.G. (FOR APT.) SEE STRUCT. DWG.
 - 2 5/8" TYPE 'X' GYP. BD. TO ENCLOSE JOIST SPACE
 - 3 FLOOR JOIST
 - 4 RECESSED INCANDESCENT DOWNLIGHT
 - 5 BLOCKING
 - 6 R-30 BATT INSULATION W/ CRAFT PAPER
- ADD ANOTHER LAYER OF DRYWALL FOR LAST FLOOR TO THE ROOF CEILING.

6 RECESSED CEILING



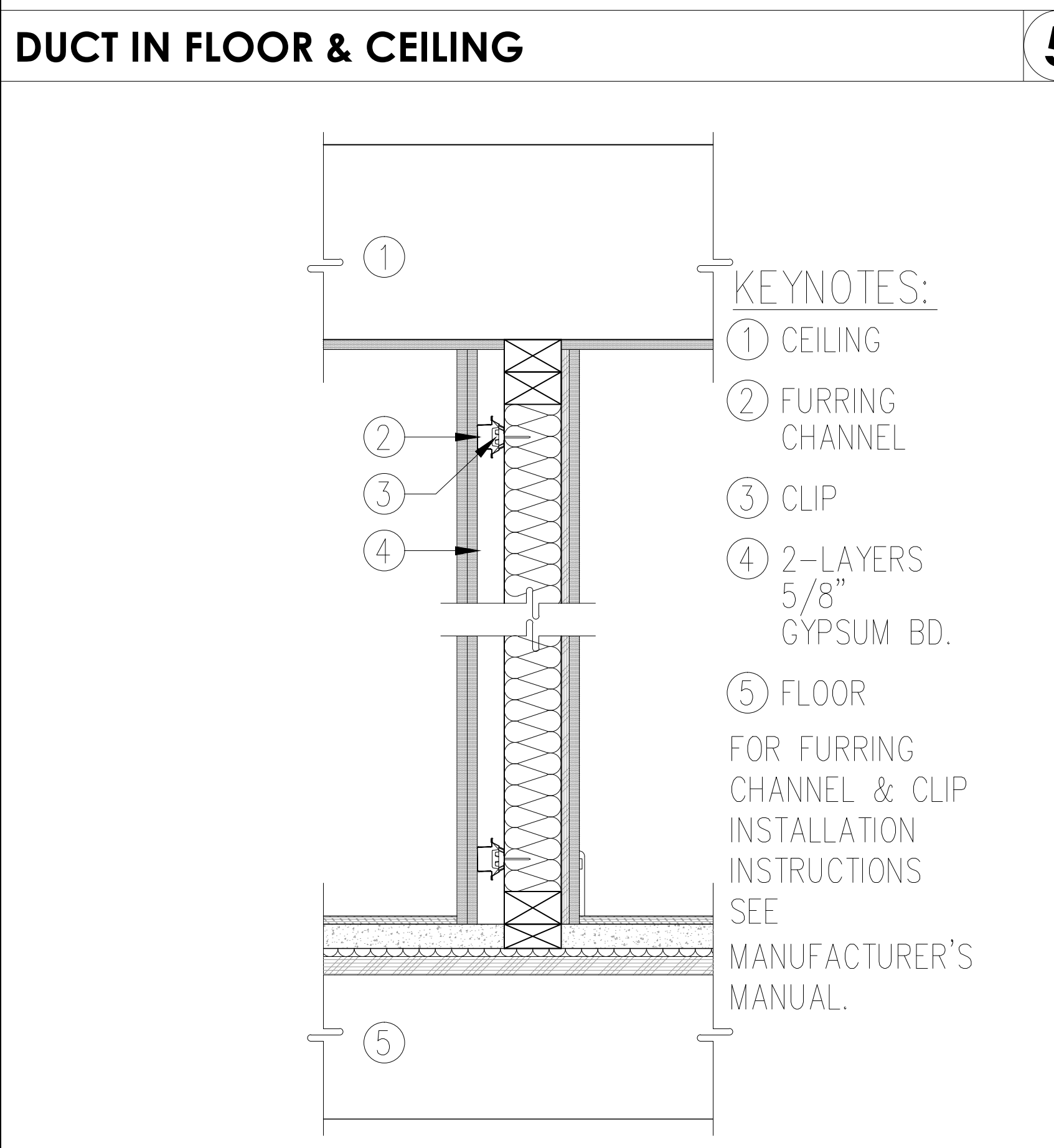
- KEYNOTES:**
- 1 CARPET
 - 2 UNDERLAYMENT 1/4" CORK
 - 3 JOIST SEE STRUCT. DWG.
 - 4 ENKASONIC UP
 - 5 1-1/2" GYPSUM CONCRETE
 - 6 R-30 BATTS
 - 7 FURRING CHANNEL
 - 8 CLIP
 - 9 5/8" GYPSUM BD.
 - 10 1-1/8" PLYWOOD T.G. (SEE STRUCT. DWG. FOR NAILING)

7 FLOOR ASSEMBLY



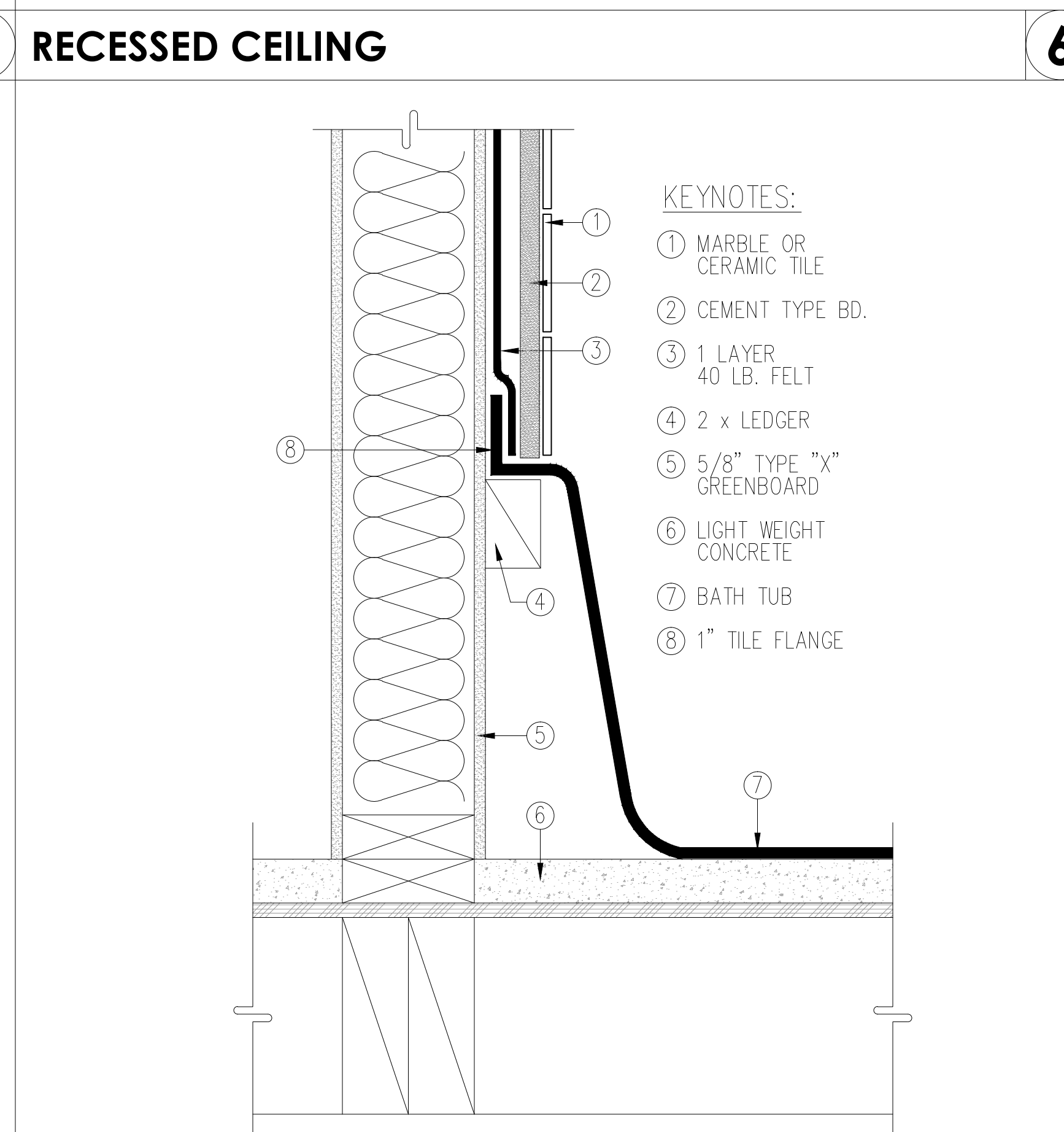
- KEYNOTES:**
- 1 WOOD JOIST OR BEAM SEE STRUCT. DRAWING
 - 2 PLASTIC SLEEVE / EXPANSION SHIELD
 - 3 SEE STRUCT. DWG.
 - 4 HOLES FOR ALL PLUMBING TO BE 3/4" OVERSIZED FOR MAX. HOLE SIZE SEE STRUCT. DWG.

8 PIPING THRU WOOD



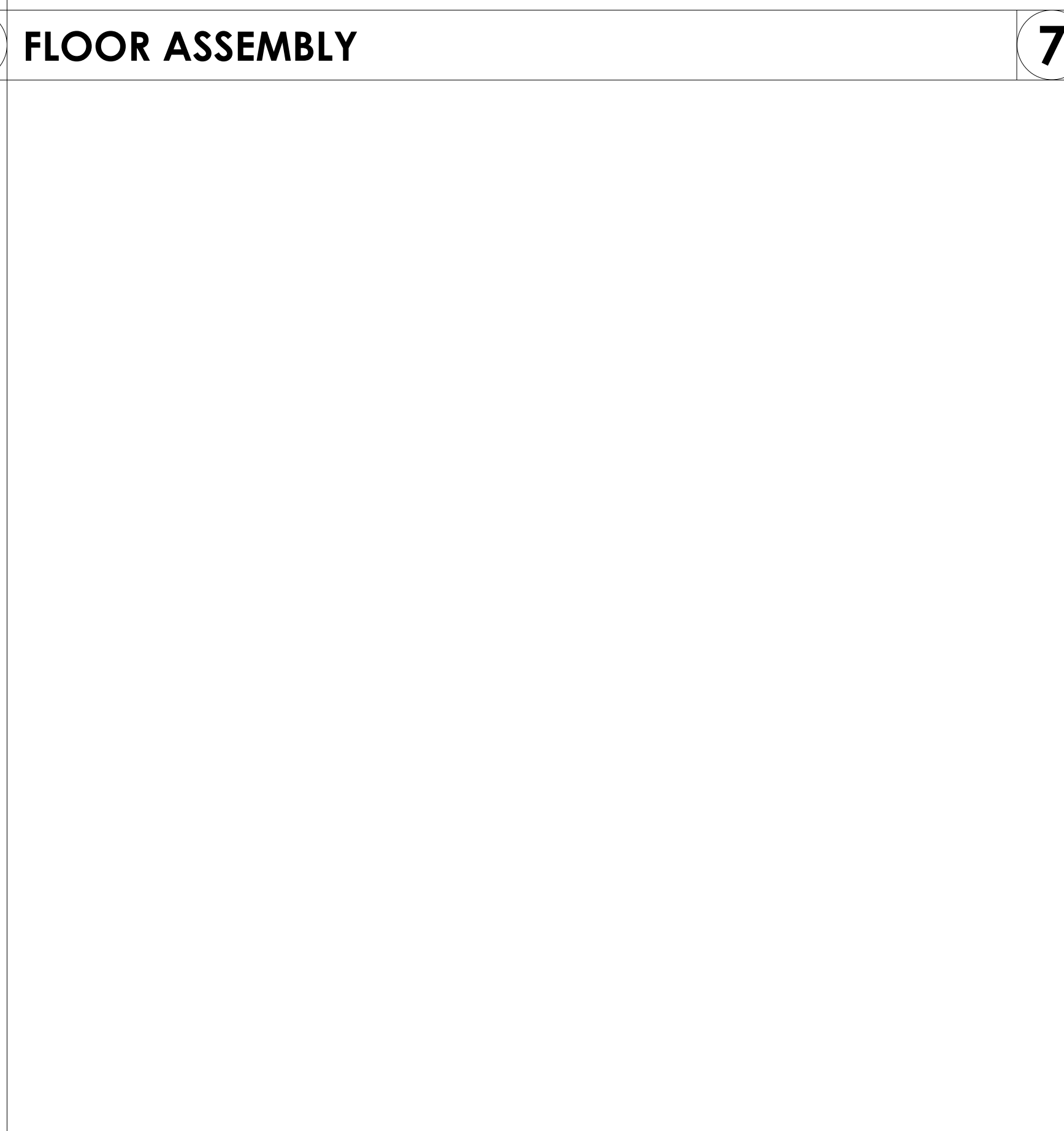
- KEYNOTES:**
- 1 CEILING
 - 2 FURRING CHANNEL
 - 3 CLIP
 - 4 2-LAYERS 5/8" GYPSUM BD.
 - 5 FLOOR FOR FURRING CHANNEL & CLIP INSTALLATION INSTRUCTIONS SEE MANUFACTURER'S MANUAL.

9 WALL RESILIENT CHANNEL



- KEYNOTES:**
- 1 MARBLE OR CERAMIC TILE
 - 2 CEMENT TYPE BD.
 - 3 1 LAYER 40 LB. FELT
 - 4 2 x LEDGER
 - 5 5/8" TYPE 'X' GREENBOARD
 - 6 LIGHT WEIGHT CONCRETE
 - 7 BATH TUB
 - 8 1" TILE FLANGE

10 WALL ADJ. TO TUB



11 FLOOR ASSEMBLY



12 PIPING THRU WOOD

Sheet Issue & Revision Log	

Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010 CALABASAS, CA 91302

Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
6200 N. KESTER AVE. VAN NUYS, CA 91411

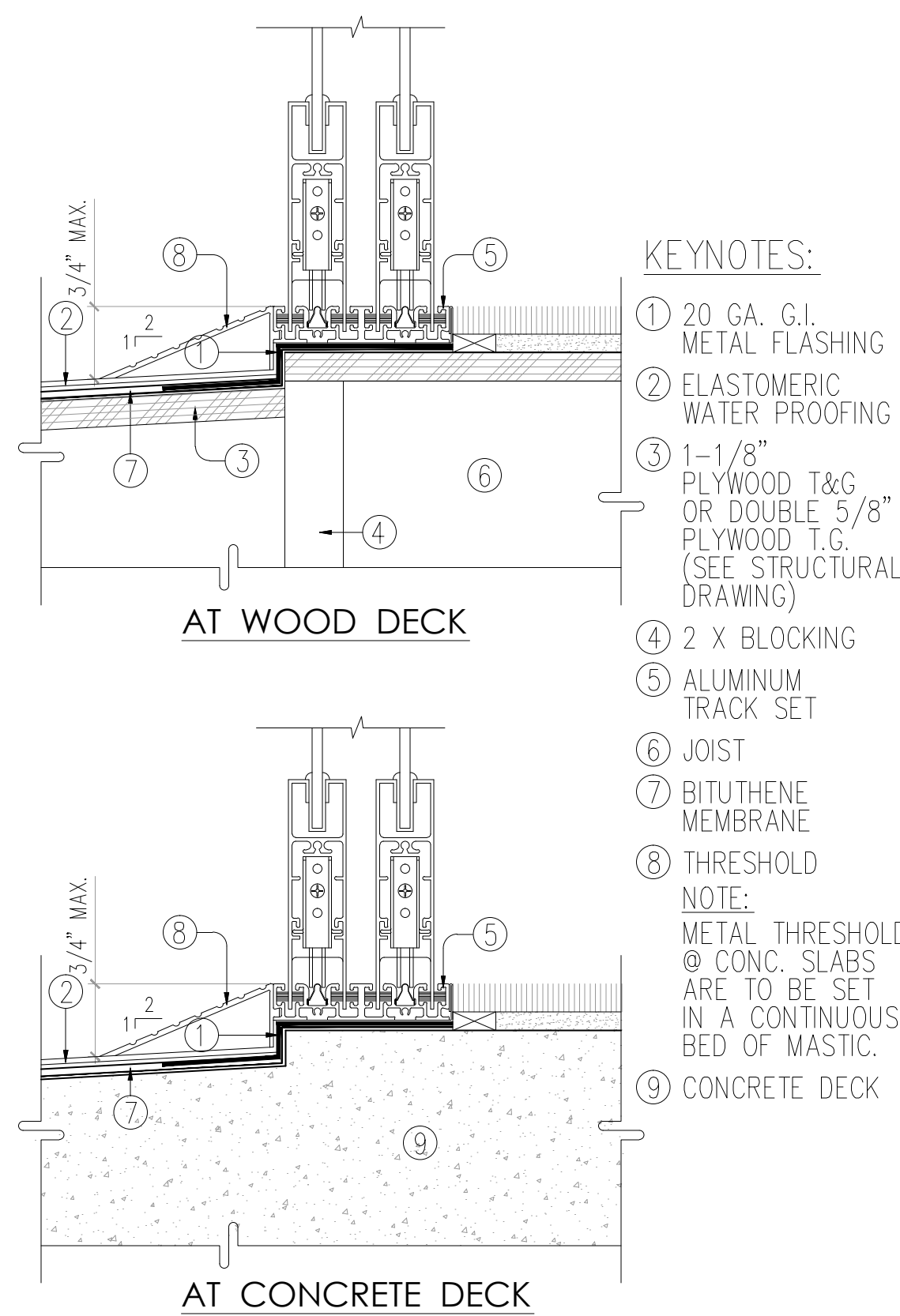
Architect:
DARYOUSH SAFAI AIA Architect
2932 Wilshire Boulevard, #210 Santa Monica, CA 90403
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Architect Stamp:

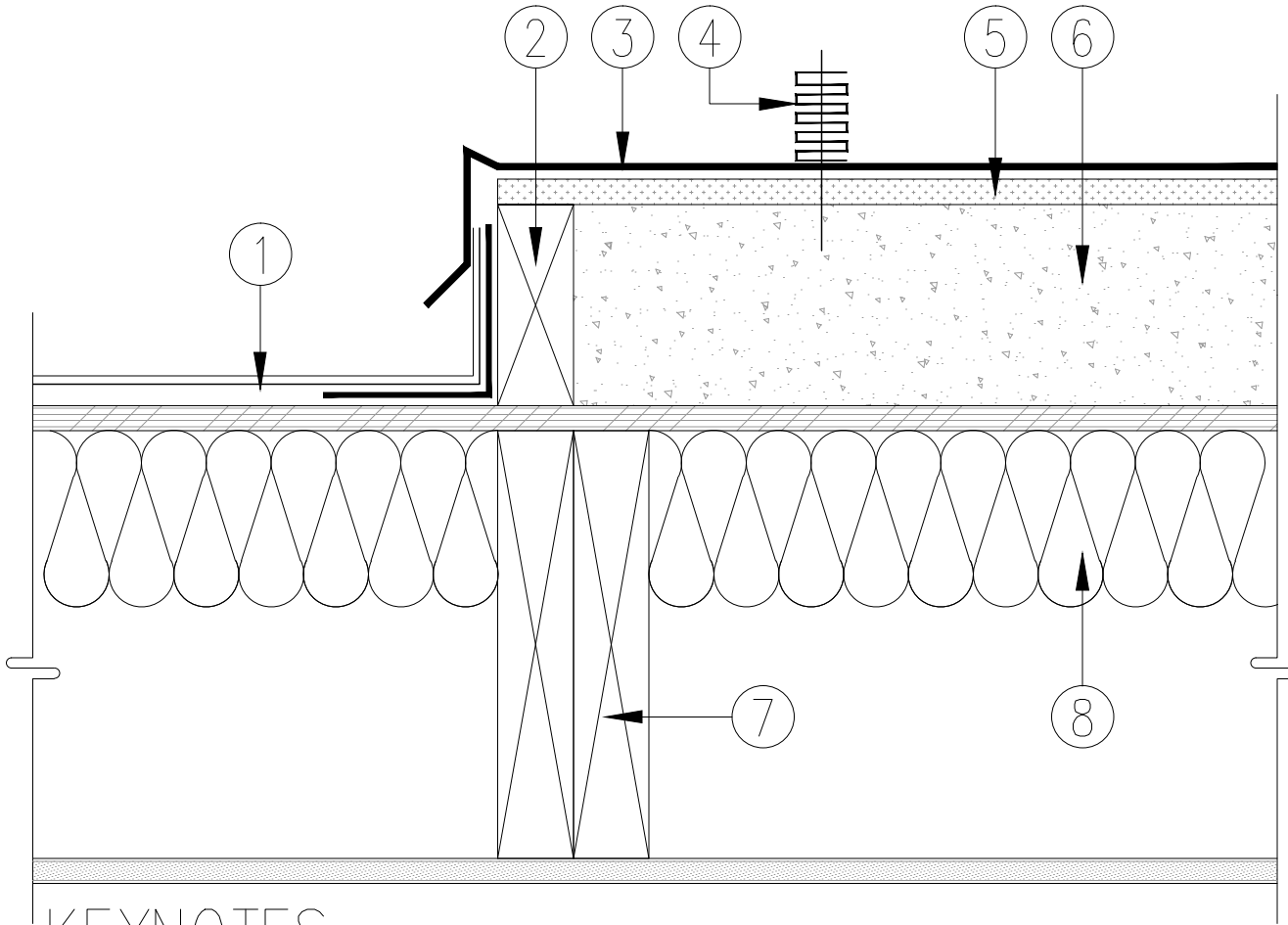
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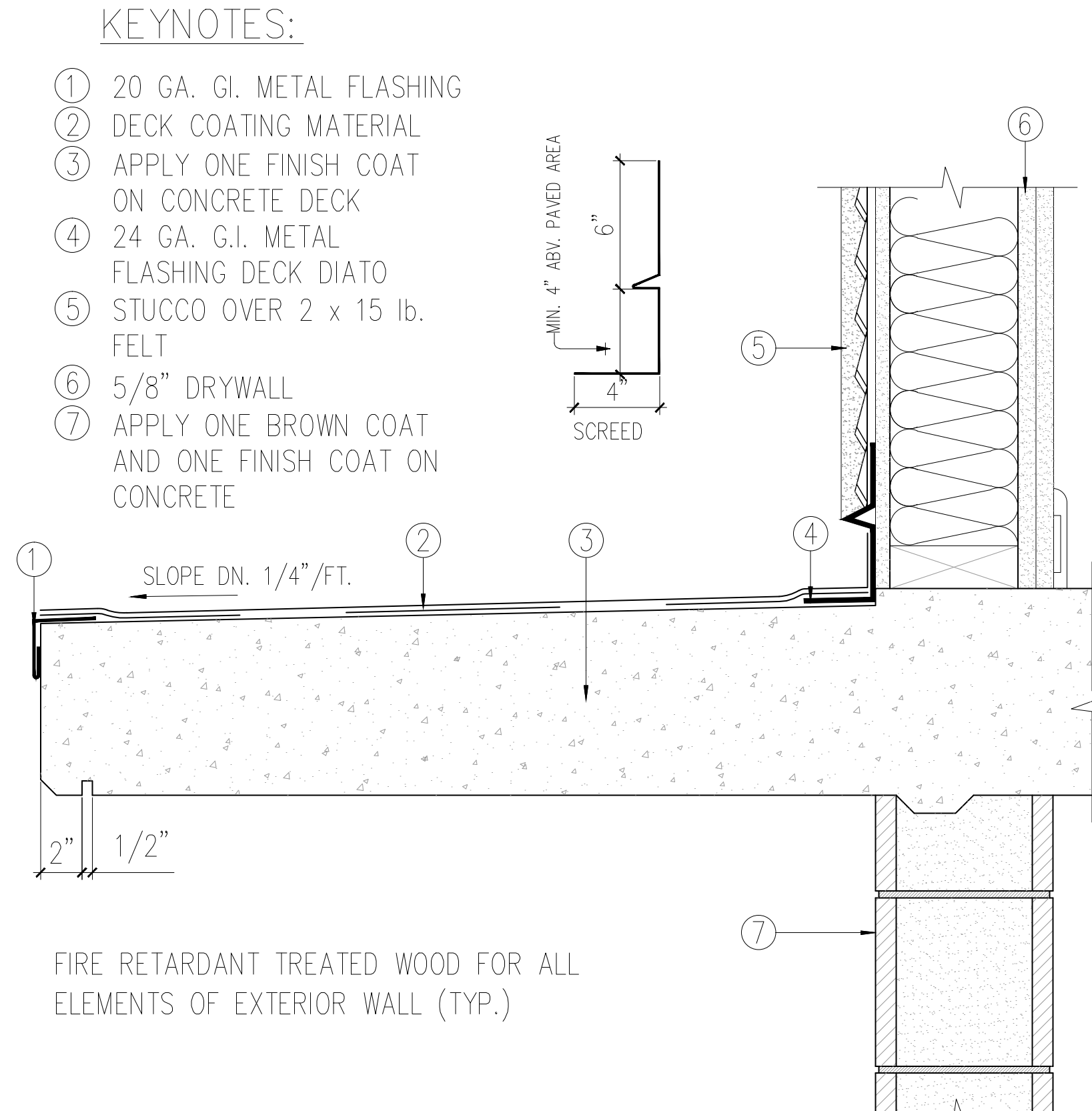
- KEYNOTES:
- ① 20 GA. G.I. METAL FLASHING
 - ② ELASTOMERIC WATER PROOFING
 - ③ 1-1/8" PLYWOOD T&G OR DOUBLE 5/8" PLYWOOD T.G. (SEE STRUCTURAL DRAWING)
 - ④ 2 X BLOCKING
 - ⑤ ALUMINUM TRACK SET
 - ⑥ JOIST
 - ⑦ BITUTHENE MEMBRANE
 - ⑧ THRESHOLD
 - ⑨ CONCRETE DECK



- KEYNOTES:
- ① ELASTOMERIC MEMBRANE
 - ② 2 X 8
 - ③ 20 GA. G.I. COVER W/ WATER TIGHT SEAMS WHERE SEAMS ARE REQ.
 - ④ SPRING UNDER EQUIPMENT
 - ⑤ 5/8" CELOTEX SOUND BOARD
 - ⑥ 8" LIGHTWEIGHT CONC.
 - ⑦ 2X JOISTS
 - ⑧ R-30 BATT INSULATION W/ CRAFT PAPER

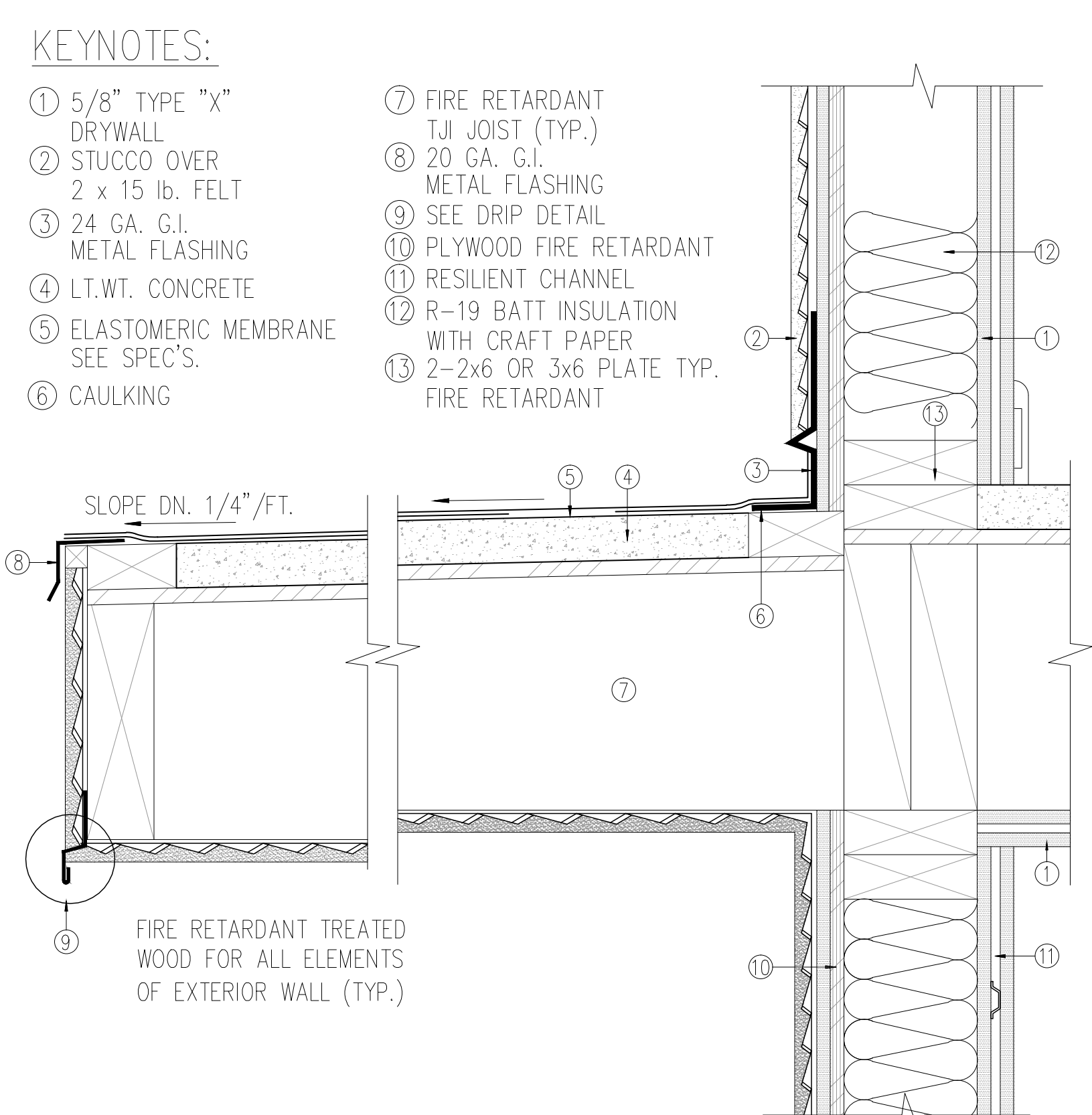
FOR ROOF FRAMING AT AIR CONDITIONING PLATFORMS, REFER TO STRUCTURAL DRAWINGS.

GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL ROOF MOUNTED EQUIPMENT.



- KEYNOTES:
- ① 20 GA. G.I. METAL FLASHING
 - ② DECK COATING MATERIAL
 - ③ APPLY ONE FINISH COAT ON CONCRETE DECK
 - ④ 24 GA. G.I. METAL FLASHING DECK DIATO
 - ⑤ STUCCO OVER 2 x 15 lb. FELT
 - ⑥ 5/8" DRYWALL
 - ⑦ APPLY ONE BROWN COAT AND ONE FINISH COAT ON CONCRETE

FIRE RETARDANT TREATED WOOD FOR ALL ELEMENTS OF EXTERIOR WALL (TYP.)



- KEYNOTES:
- ① 5/8" TYPE "X" DRYWALL
 - ② STUCCO OVER 2 x 15 lb. FELT
 - ③ 24 GA. G.I. METAL FLASHING
 - ④ LT.WT. CONCRETE
 - ⑤ ELASTOMERIC MEMBRANE SEE SPEC'S.
 - ⑥ CAULKING
 - ⑦ FIRE RETARDANT TJI JOIST (TYP.)
 - ⑧ 20 GA. G.I. METAL FLASHING
 - ⑨ SEE DRIP DETAIL
 - ⑩ PLYWOOD FIRE RETARDANT
 - ⑪ RESILIENT CHANNEL
 - ⑫ R-19 BATT INSULATION WITH CRAFT PAPER
 - ⑬ 2-2x6 OR 3x6 PLATE TYP. FIRE RETARDANT

FIRE RETARDANT TREATED WOOD FOR ALL ELEMENTS OF EXTERIOR WALL (TYP.)

Issue #	Description	Date

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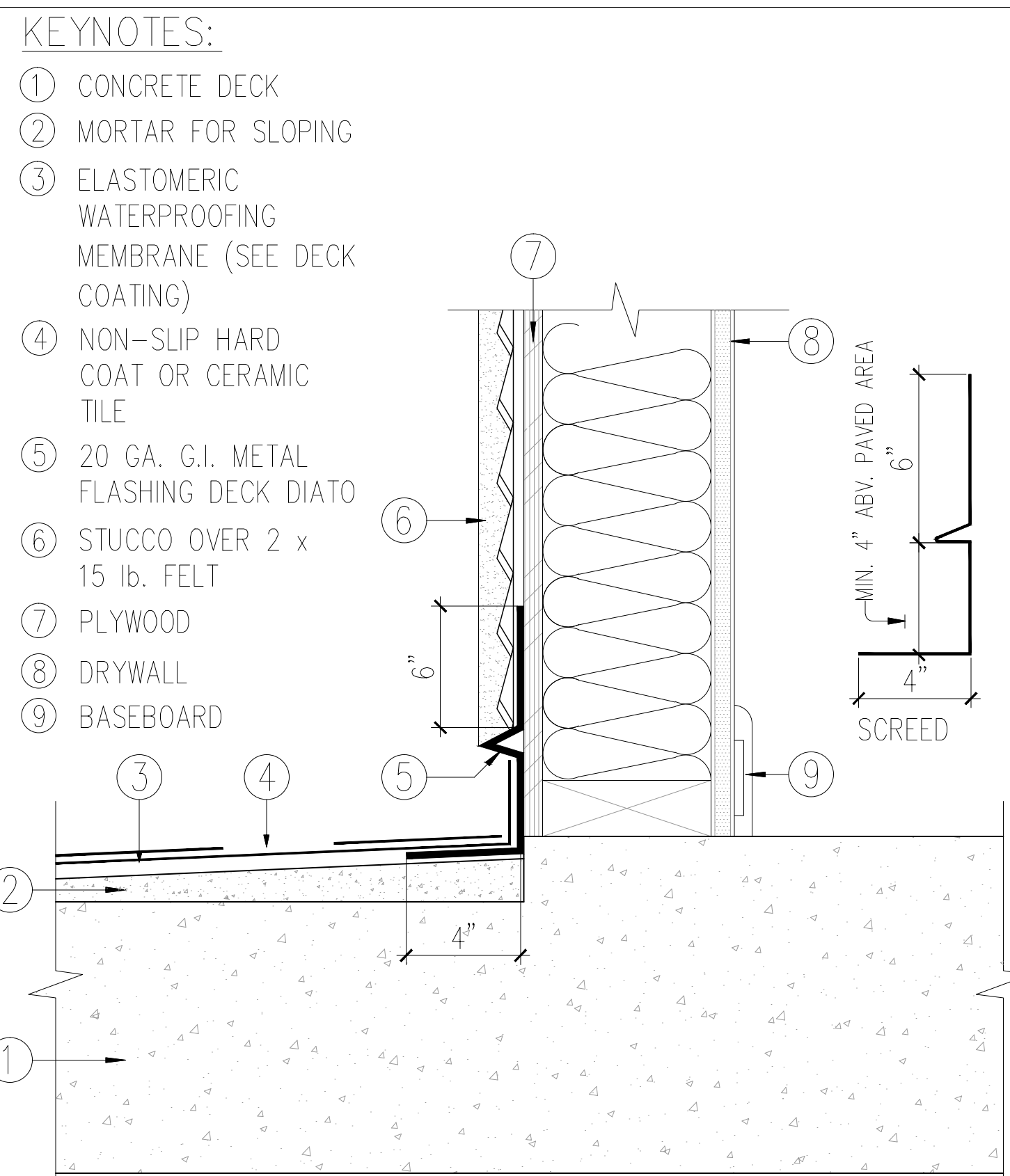
SILL AT SLIDING DOOR

EQUIPMENT PLATFORM

CONCRETE DECK FLASHING

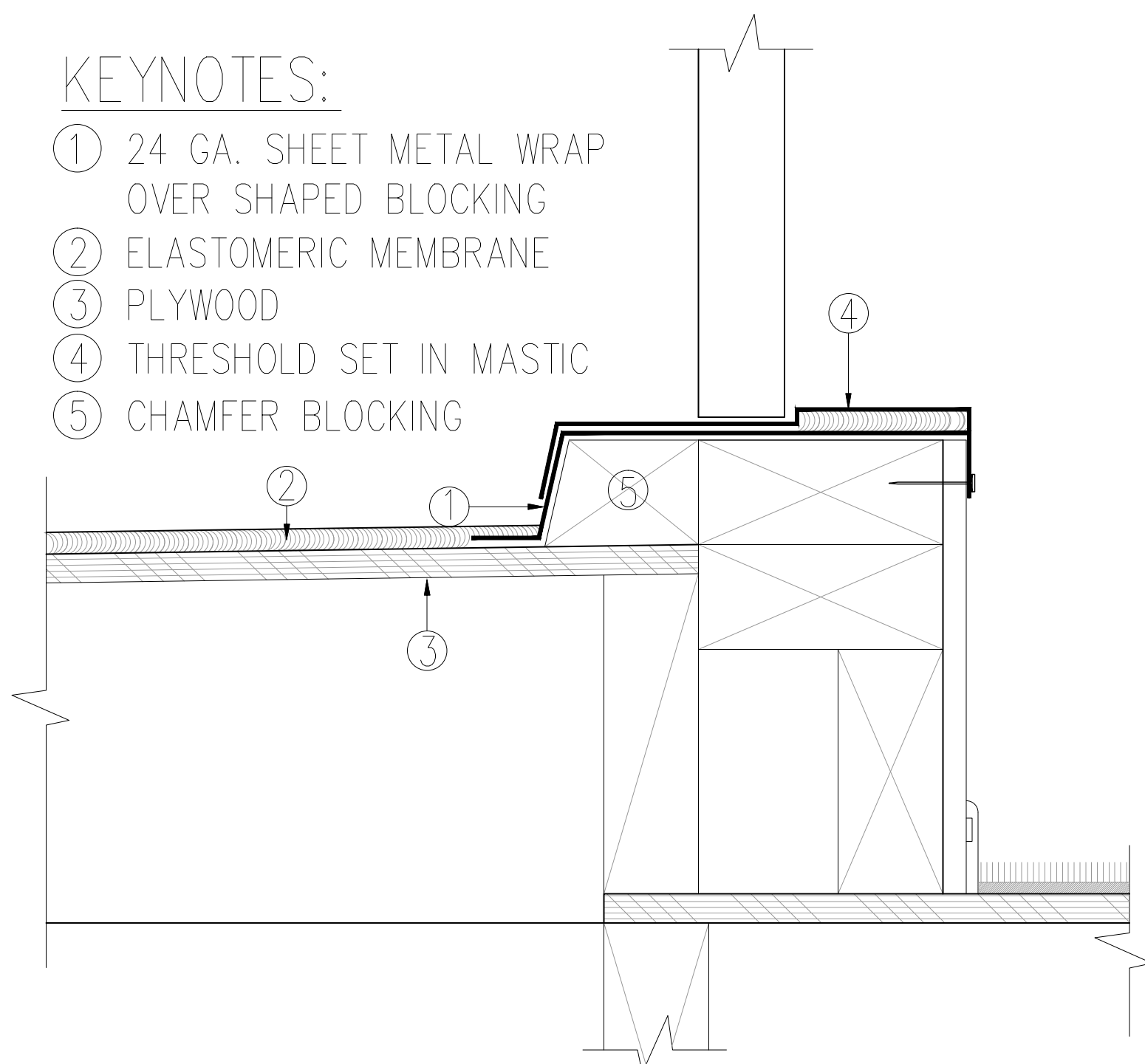
BALCONY FLASHING

4



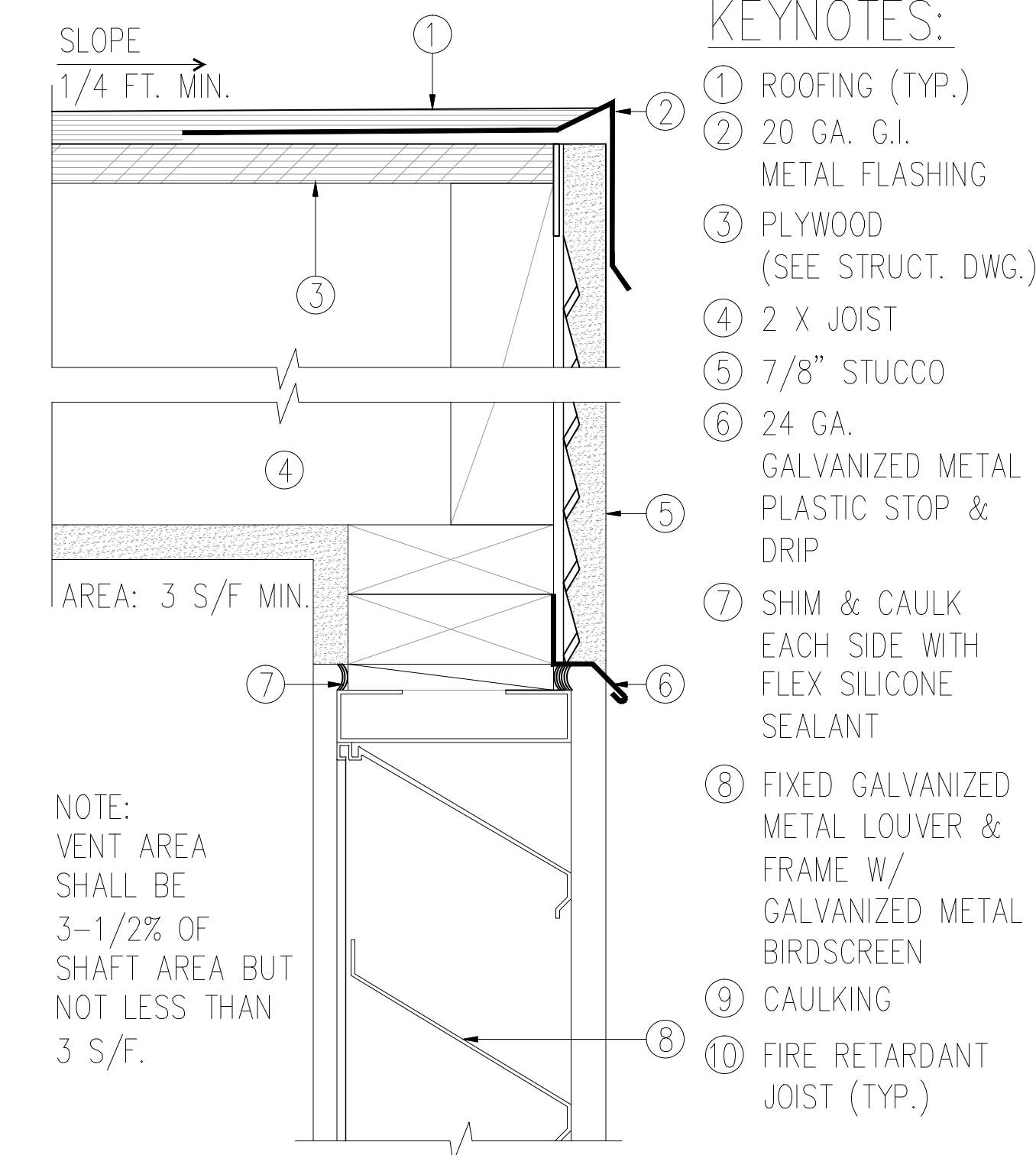
- KEYNOTES:
- ① CONCRETE DECK
 - ② MORTAR FOR SLOPING
 - ③ ELASTOMERIC WATERPROOFING MEMBRANE (SEE DECK COATING)
 - ④ NON-SLIP HARD COAT OR CERAMIC TILE
 - ⑤ 20 GA. G.I. METAL FLASHING DECK DIATO
 - ⑥ STUCCO OVER 2 x 15 lb. FELT
 - ⑦ PLYWOOD
 - ⑧ DRYWALL
 - ⑨ BASEBOARD

FLASHING AT CONC. DECK



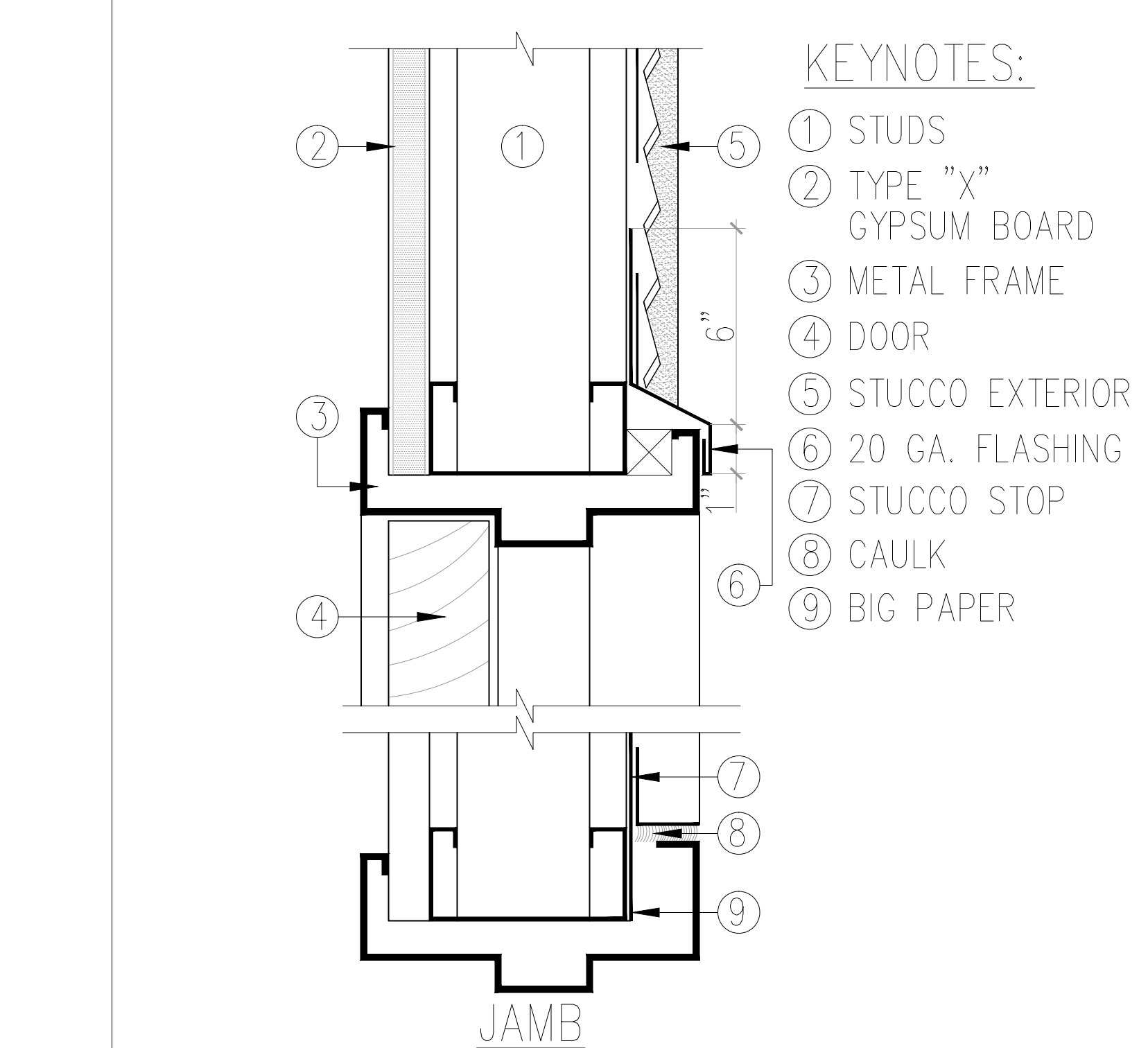
- KEYNOTES:
- ① 24 GA. SHEET METAL WRAP OVER SHAPED BLOCKING
 - ② ELASTOMERIC MEMBRANE
 - ③ PLYWOOD
 - ④ THRESHOLD SET IN MASTIC
 - ⑤ CHAMFER BLOCKING

CURB AT ROOF DECK



- KEYNOTES:
- ① ROOFING (TYP.)
 - ② 20 GA. G.I. METAL FLASHING
 - ③ PLYWOOD (SEE STRUCT. DWG.)
 - ④ 2 X JOIST
 - ⑤ 7/8" STUCCO
 - ⑥ 24 GA. GALVANIZED METAL PLASTIC STOP & DRIP
 - ⑦ SHIM & CAULK EACH SIDE WITH FLEX SILICONE SEALANT
 - ⑧ FIXED GALVANIZED METAL LOUVER & FRAME W/ GALVANIZED METAL BIRDSCREEN
 - ⑨ CAULKING
 - ⑩ FIRE RETARDANT JOIST (TYP.)

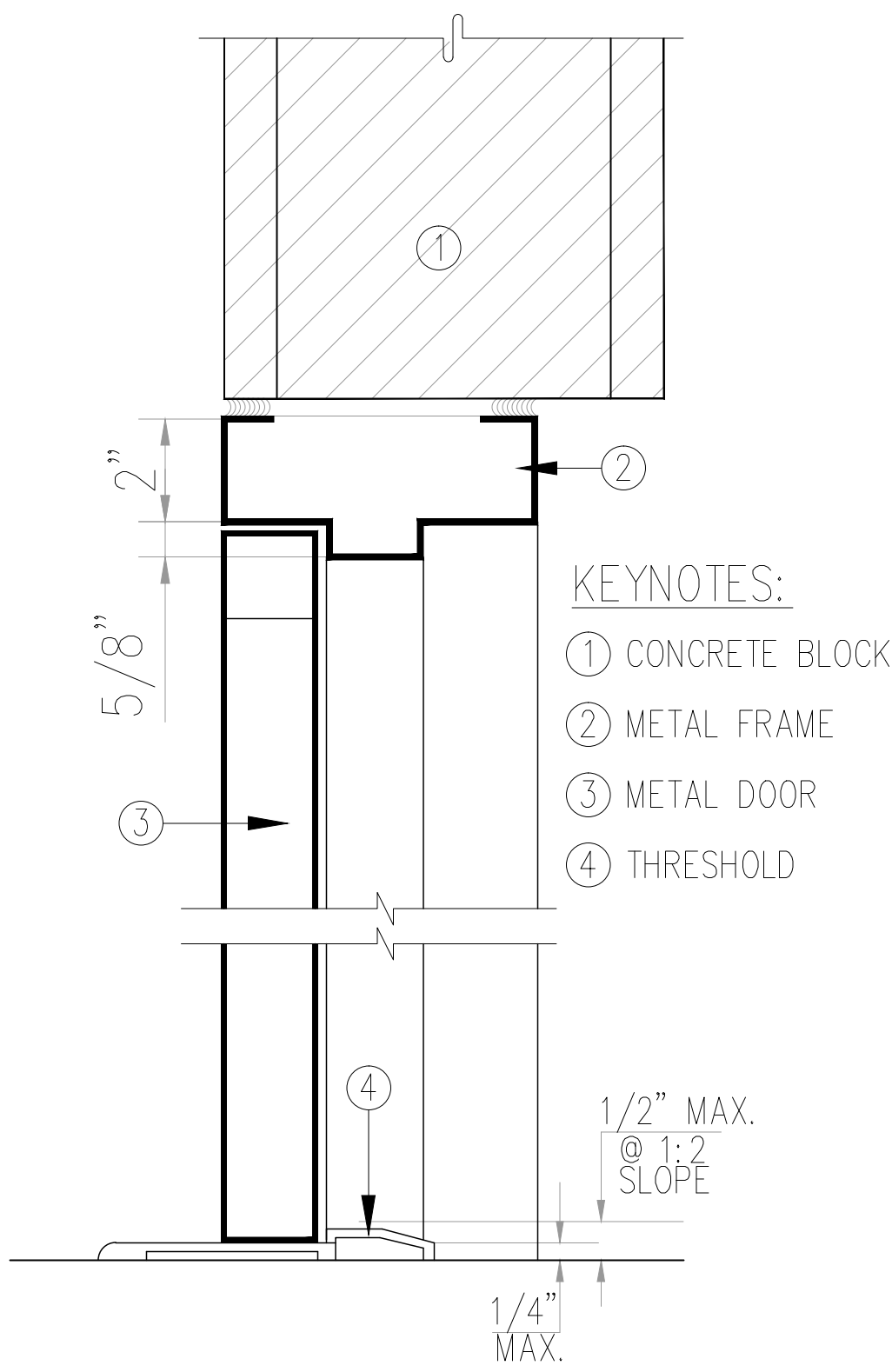
LOUVER DETAIL



- KEYNOTES:
- ① STUDS
 - ② TYPE "X" GYPSUM BOARD
 - ③ METAL FRAME
 - ④ DOOR
 - ⑤ STUCCO EXTERIOR
 - ⑥ 20 GA. FLASHING
 - ⑦ STUCCO STOP
 - ⑧ CAULK
 - ⑨ BIG PAPER

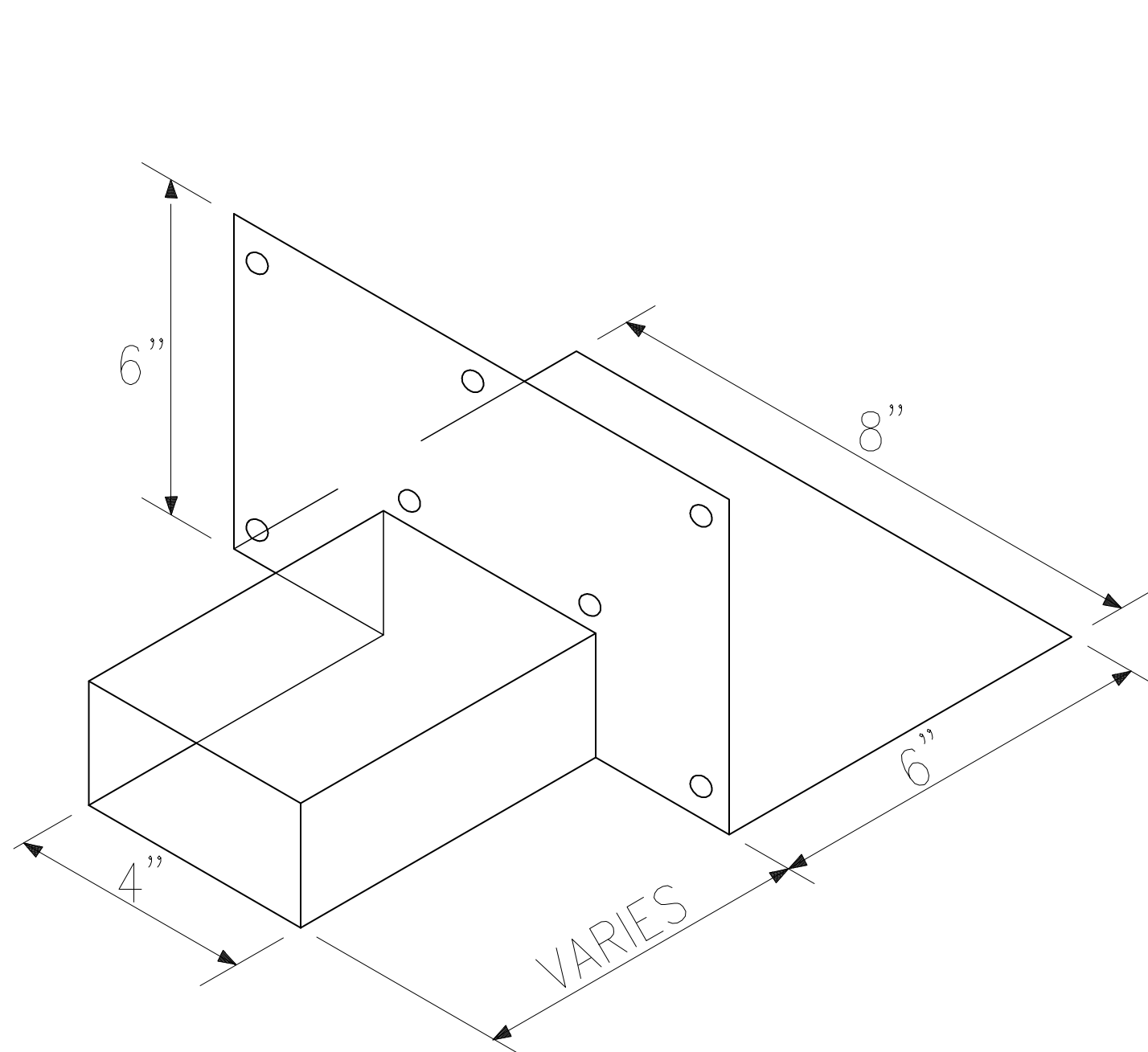
HEAD AT ENTRY DOOR

8

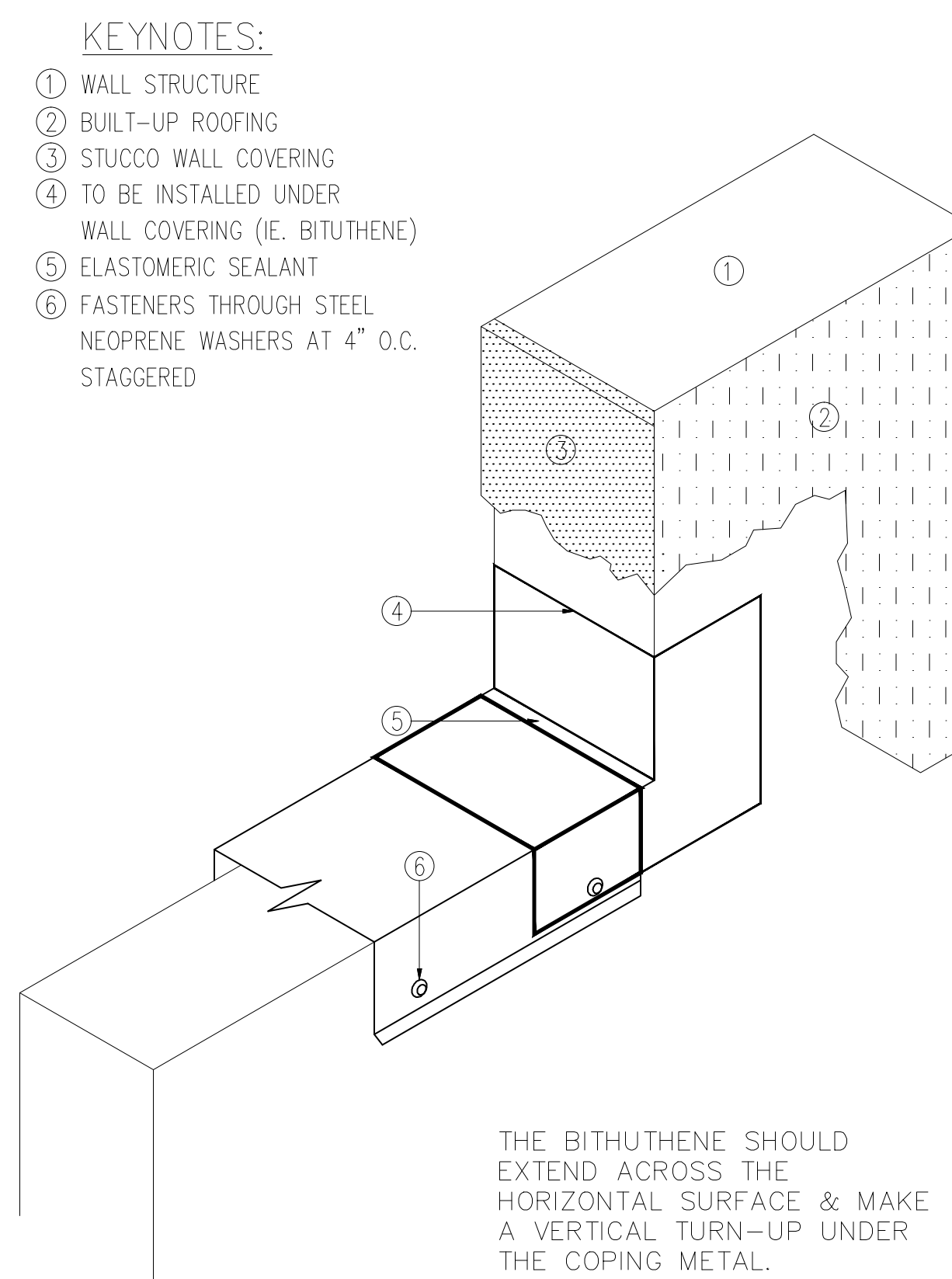


- KEYNOTES:
- ① CONCRETE BLOCK
 - ② METAL FRAME
 - ③ METAL DOOR
 - ④ THRESHOLD

METAL DOOR FRAME

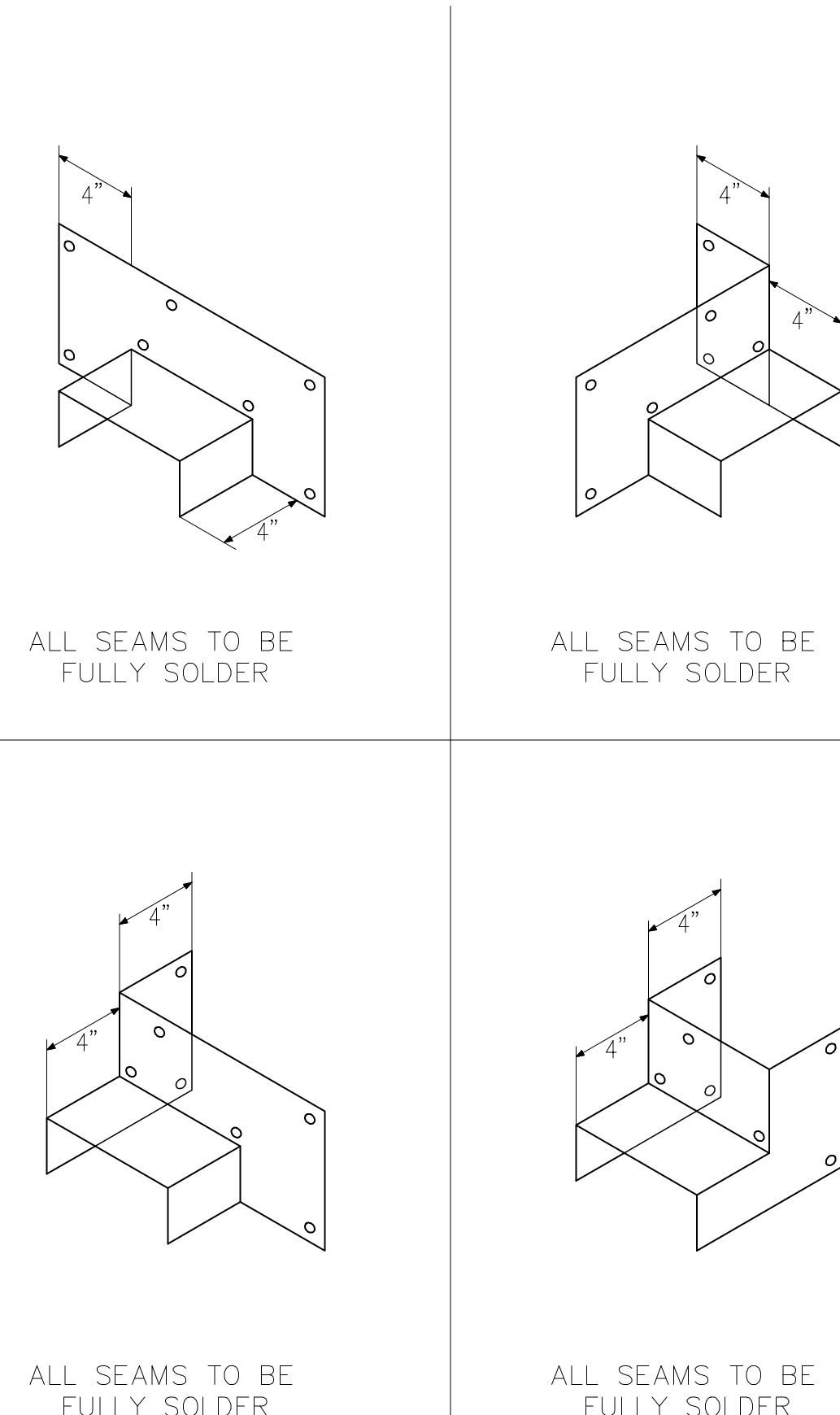


SCUPPER AT BALCONY



- KEYNOTES:
- ① WALL STRUCTURE
 - ② BUILT-UP ROOFING
 - ③ STUCCO WALL COVERING
 - ④ TO BE INSTALLED UNDER WALL COVERING (IE. BITUTHENE)
 - ⑤ ELASTOMERIC SEALANT
 - ⑥ FASTENERS THROUGH STEEL NEOPRENE WASHERS AT 4" O.C. STAGGERED

COPING WALL TRANSITION



11

Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

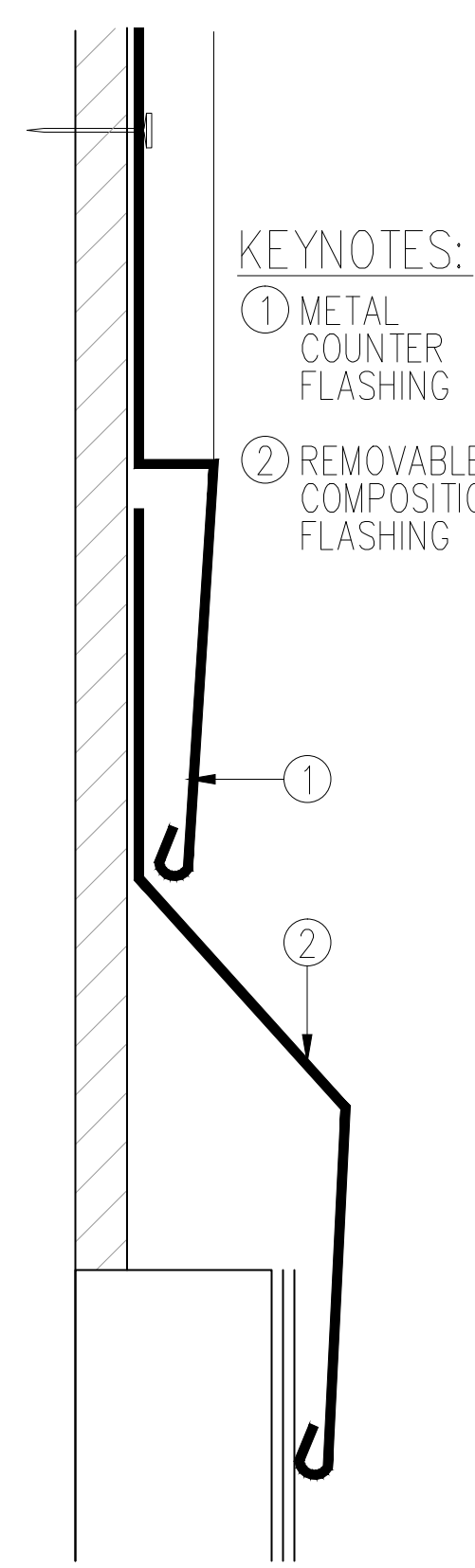
Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:
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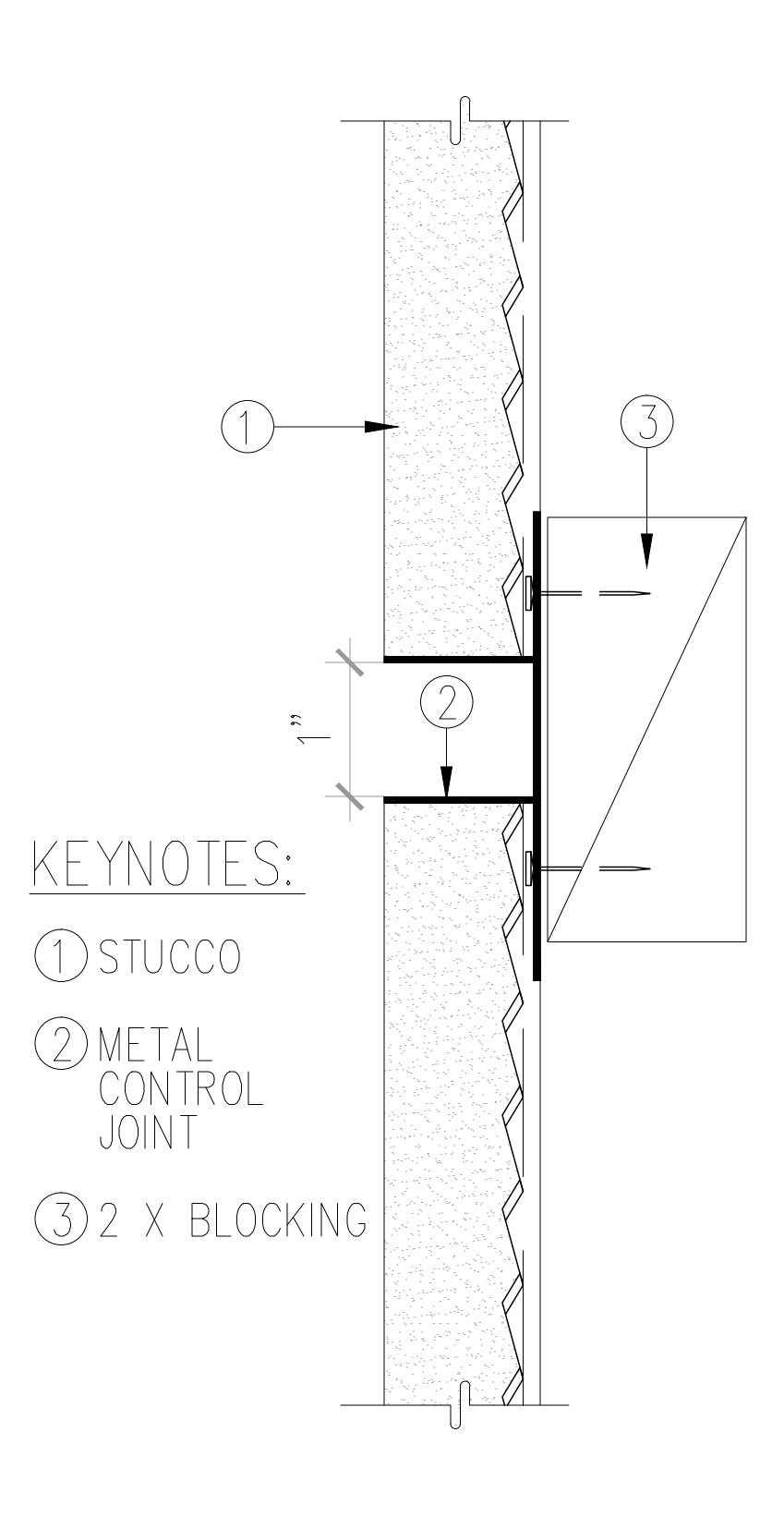
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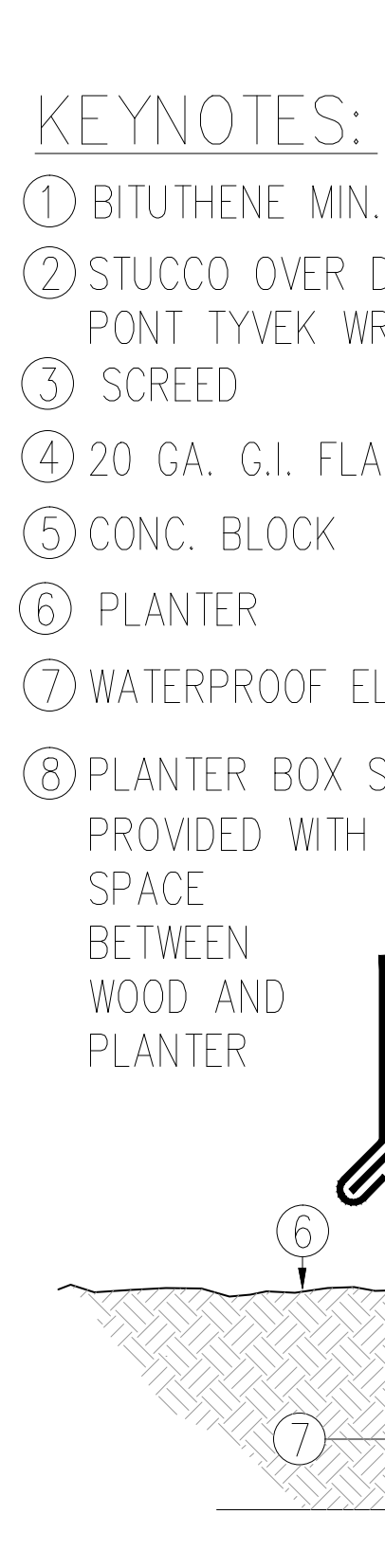
KEYNOTES:

- 1 METAL COUNTER FLASHING
- 2 REMOVABLE COMPOSITION FLASHING



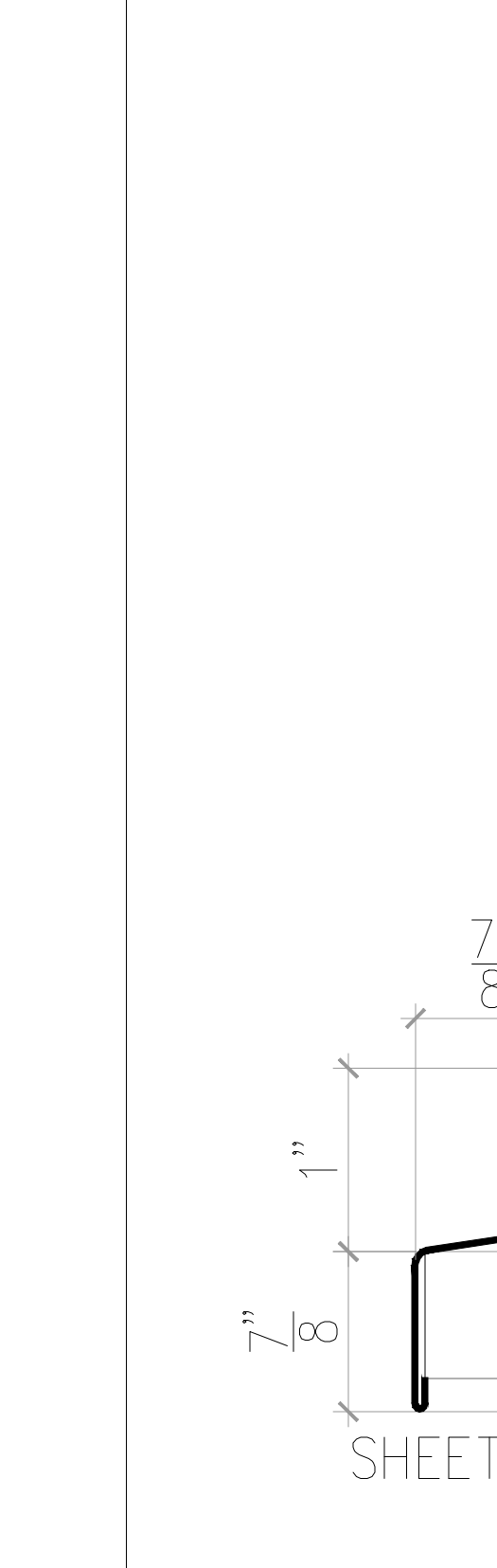
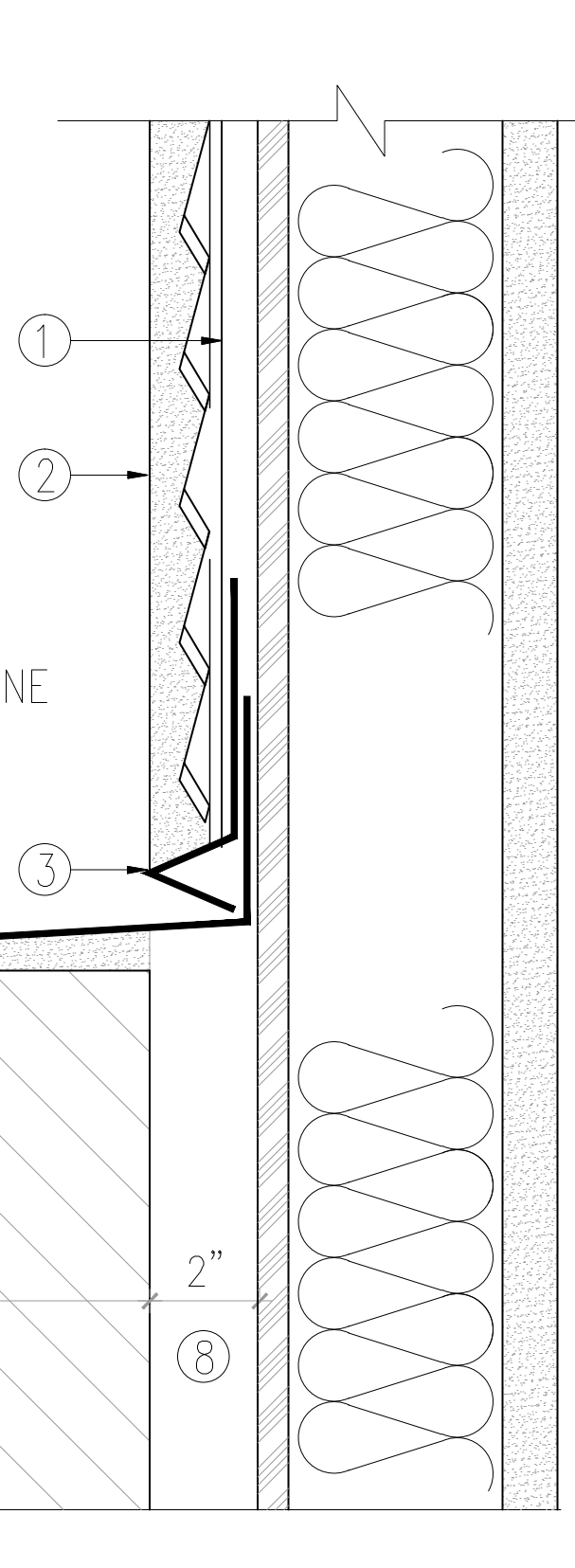
KEYNOTES:

- 1 STUCCO
- 2 METAL CONTROL JOINT
- 3 2 X BLOCKING



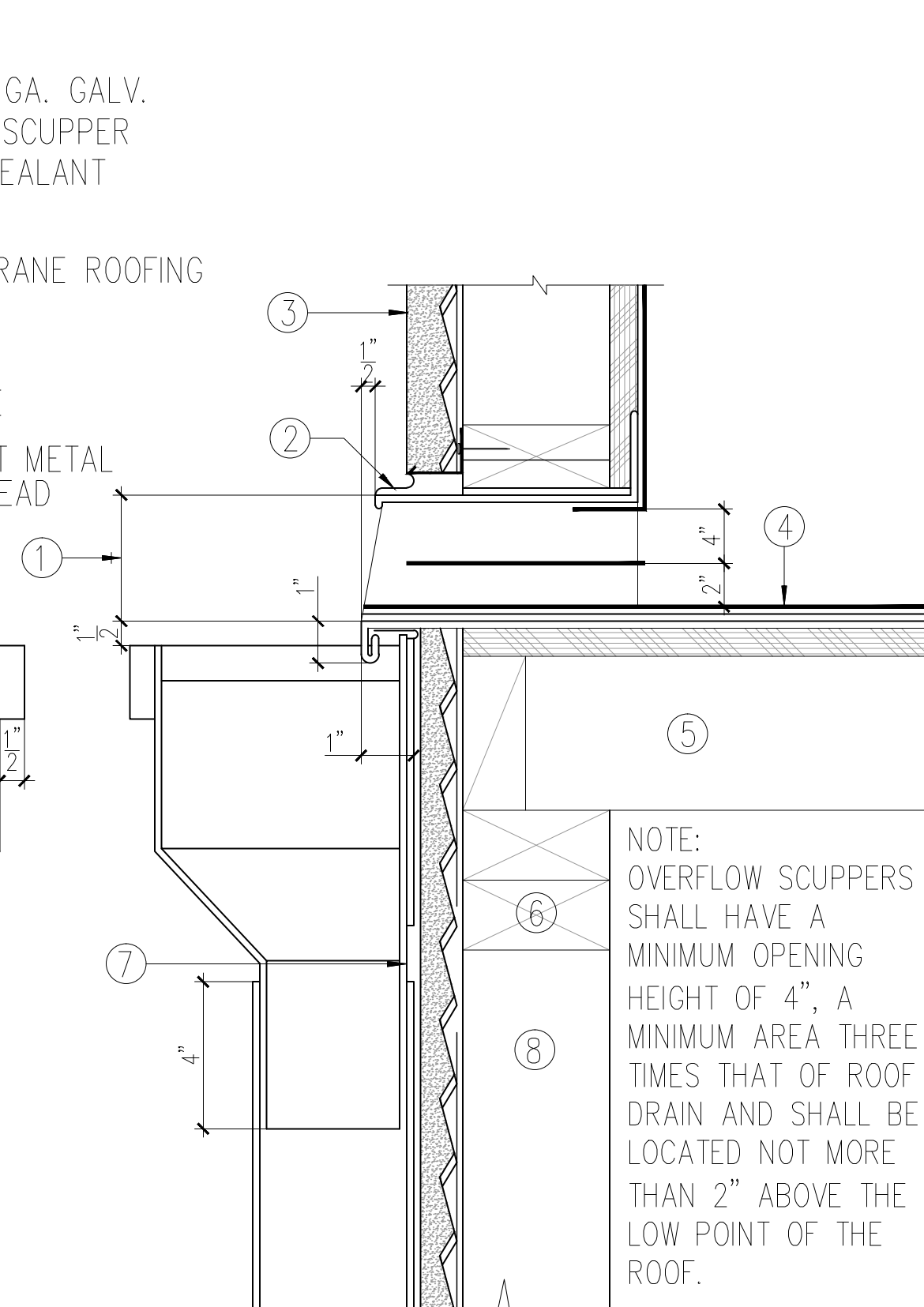
KEYNOTES:

- 1 BITUTHENE MIN. 2 FEET
- 2 STUCCO OVER DU PONT TYVEK WRAP
- 3 SCREED
- 4 20 GA. G.I. FLASHING
- 5 CONC. BLOCK
- 6 PLANTER
- 7 WATERPROOF ELASTOMERIC MEMBRANE
- 8 PLANTER BOX SHALL BE PROVIDED WITH 2" AIR SPACE BETWEEN WOOD AND PLANTER



KEYNOTES:

- 1 4" x 4" x 20 GA. GALV. SHEET METAL SCUPPER
- 2 CAULK WITH SEALANT
- 3 STUCCO
- 4 EXTEND MEMBRANE ROOFING INTO SCUPPER
- 5 ROOF JOIST
- 6 DOUBLE PLATE
- 7 5" WIDE SHEET METAL CONDUCTOR HEAD
- 8 STUDS



NOTE: OVERFLOW SCUPPERS SHALL HAVE A MINIMUM OPENING HEIGHT OF 4", A MINIMUM AREA THREE TIMES THAT OF ROOF DRAIN AND SHALL BE LOCATED NOT MORE THAN 2" ABOVE THE LOW POINT OF THE ROOF.

1 ROOF FLASHING

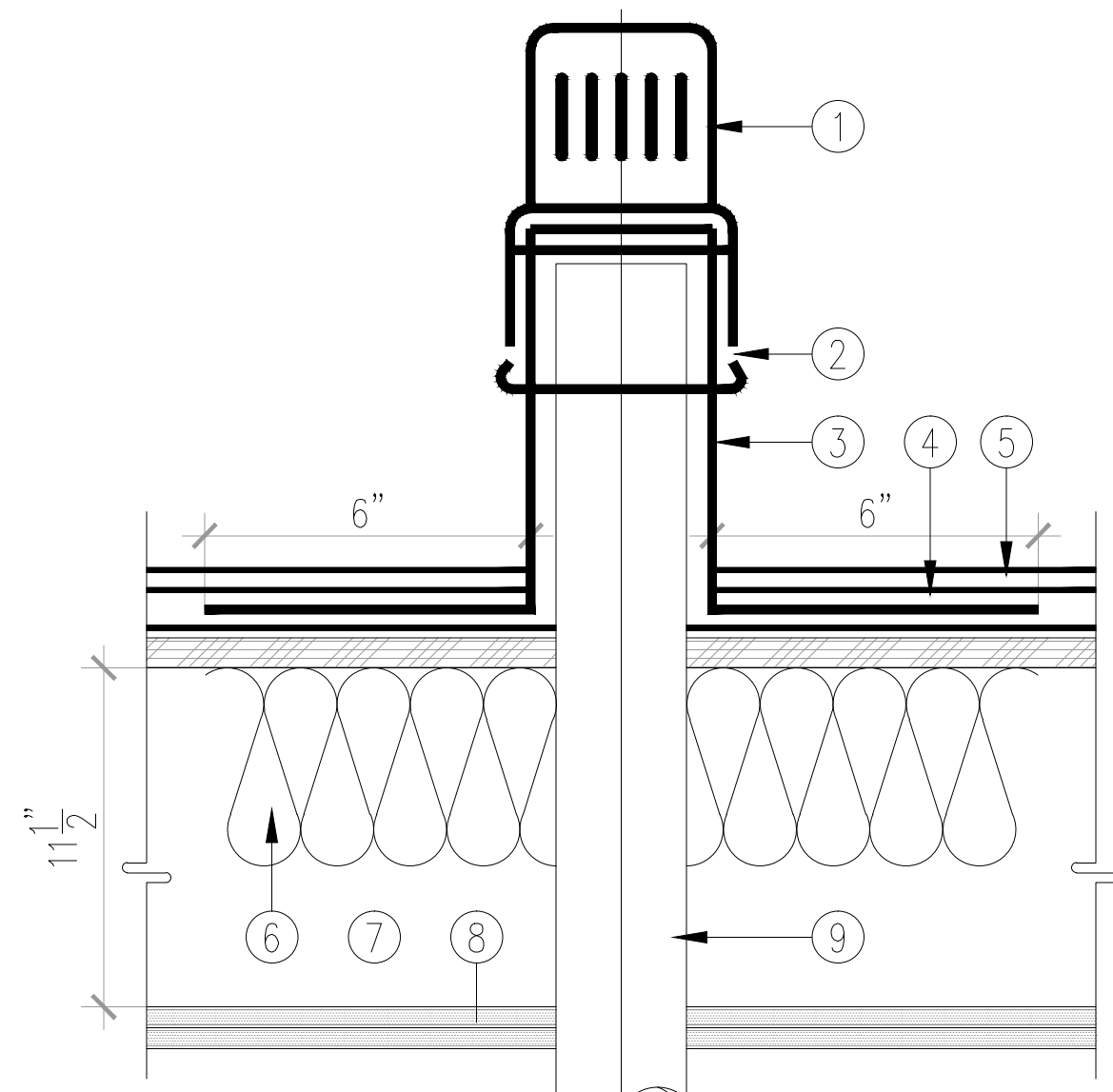
2 PLASTER CONTROL JOINT

3 PLANTER WALL

4 METAL DRIP

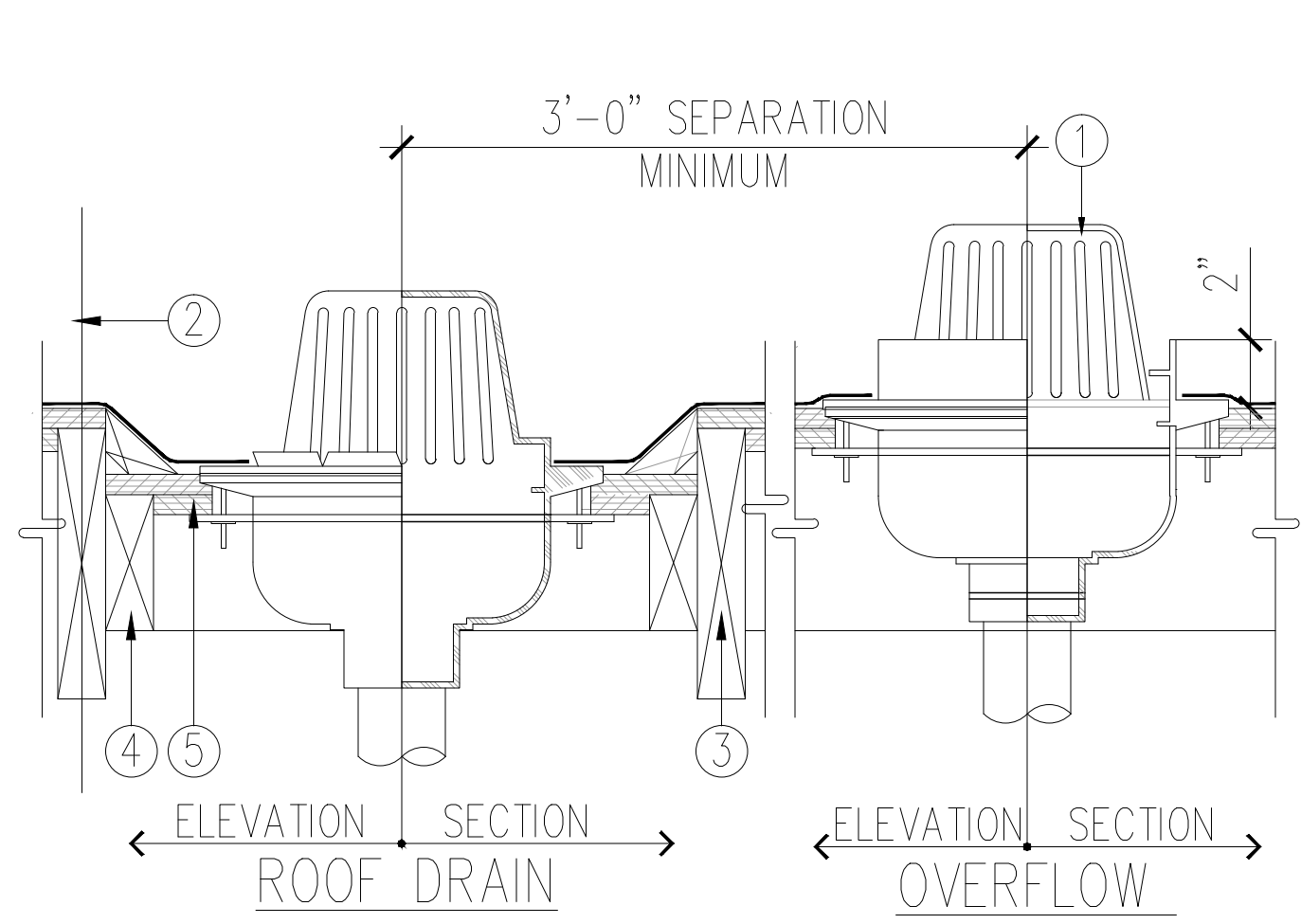
5 SCUPPER & OVERFLOW

6



KEYNOTES:

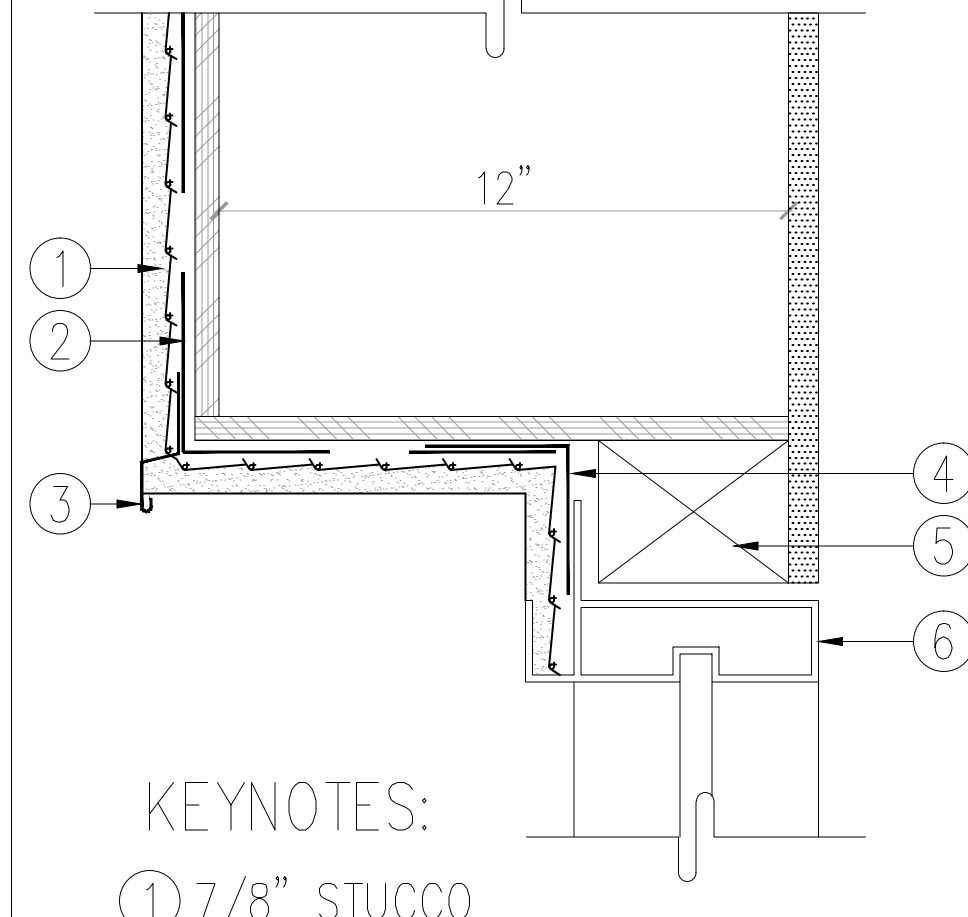
- 1 VALDALPROOF SPUN ALUMINUM CAP
 - 2 HOLE FOR POP RIVET CAP TO BE FASTENED TO LEAD OR ALUMINUM FLASHING, FLOATING 1" ABOVE PLUMBING PIPE TO ALLOW FOR SETTLEMENT OF ROOF DECK
 - 3 LEAD OR ALUMINUM FLASHING
 - 4 WATERPROOFING MEMBRANE
 - 5 CAP SHEET
 - 6 R-30 BATT INSULATION W/ CRAFT PAPER
 - 7 2 X JOIST
 - 8 2-LAYER 5/8" TYPE 'X' GYPSUM BD. GA FILE NO. RC 2601, TYP ALL CEILING
 - 9 PLUMBING PIPE
- NOTE: REFER TO LOCAL CODES FOR VENT TERMINATION



NOTE: TOP RING SHALL BE TORQUED DOWN THE BODY OF ROOF DRAIN W/ 6" LEAD FLASH TO INSURE WATER TIGHT SEAL BETWEEN RING AND BODY.

KEYNOTES:

- 1 OVERFLOW SCUPPER BEYOND 2" ABOVE THE LOW POINT OF THE ROOF
- 2 RAFTER SEE FRAMING PLAN
- 3 NORMAL RAFTER
- 4 2 X 4 NAILER AROUND
- 5 SPACES AS REQUIRED
- 6 ROOF DRAIN



KEYNOTES:

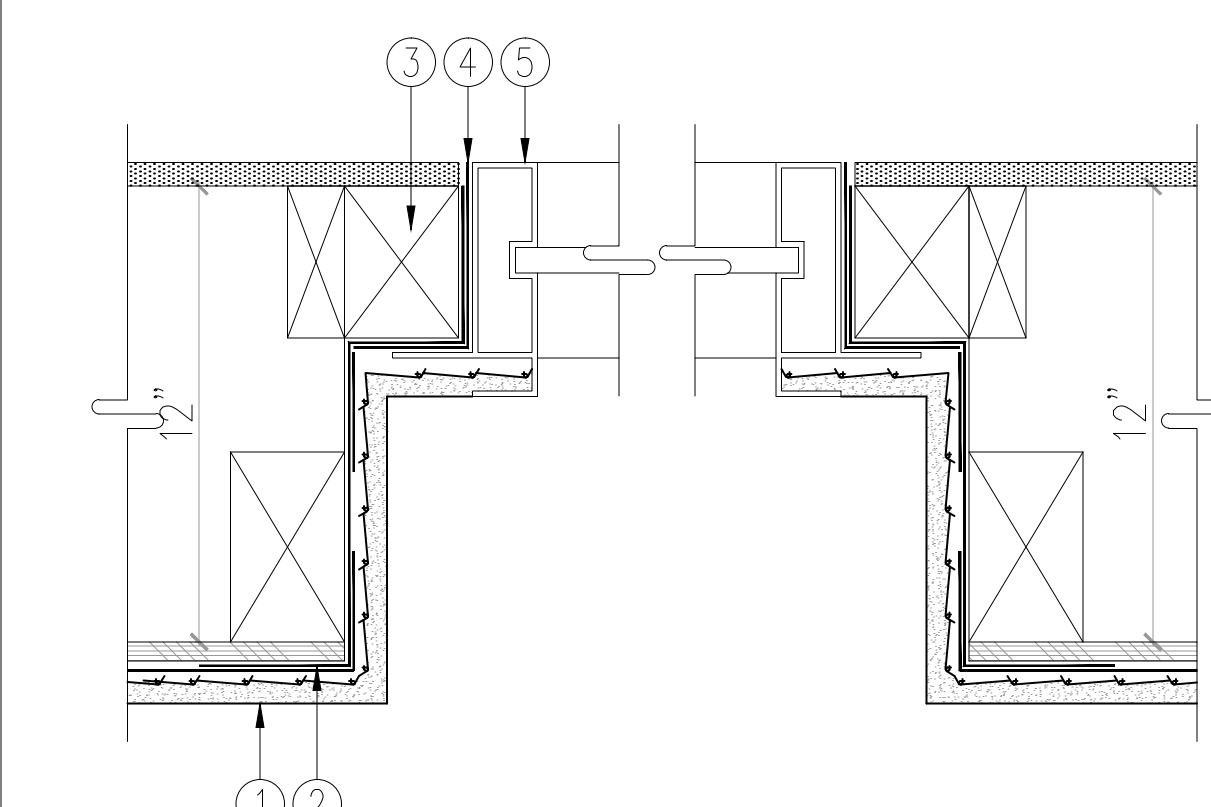
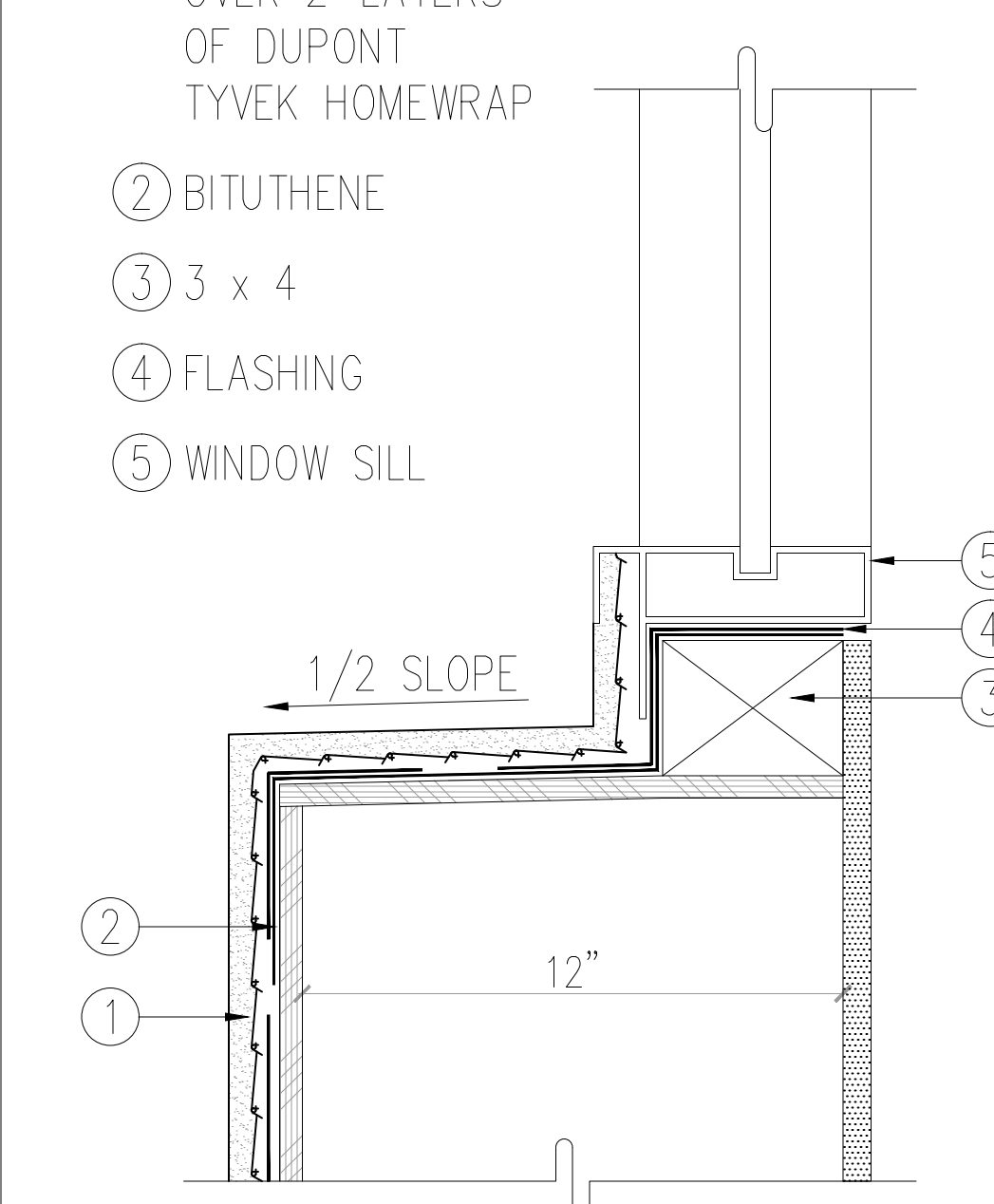
- 1 7/8" STUCCO OVER 2-LAYERS OF DUPONT TYVEK HOMEWRAP
- 2 BITUTHENE
- 3 3 x 4
- 4 FLASHING
- 5 WINDOW SILL

KEYNOTES:

- 1 7/8" STUCCO OVER 2-LAYERS OF DUPONT TYVEK HOMEWRAP
- 2 BITUTHENE
- 3 SHEET METAL DRIP
- 4 FLASHING
- 5 3 x 4
- 6 WINDOW HEAD

KEYNOTES:

- 1 7/8" STUCCO OVER 2-LAYERS OF DUPONT TYVEK HOMEWRAP
- 2 BITUTHENE
- 3 3 x 4
- 4 FLASHING
- 5 WINDOW SILL



7 PIPE THRU ROOF

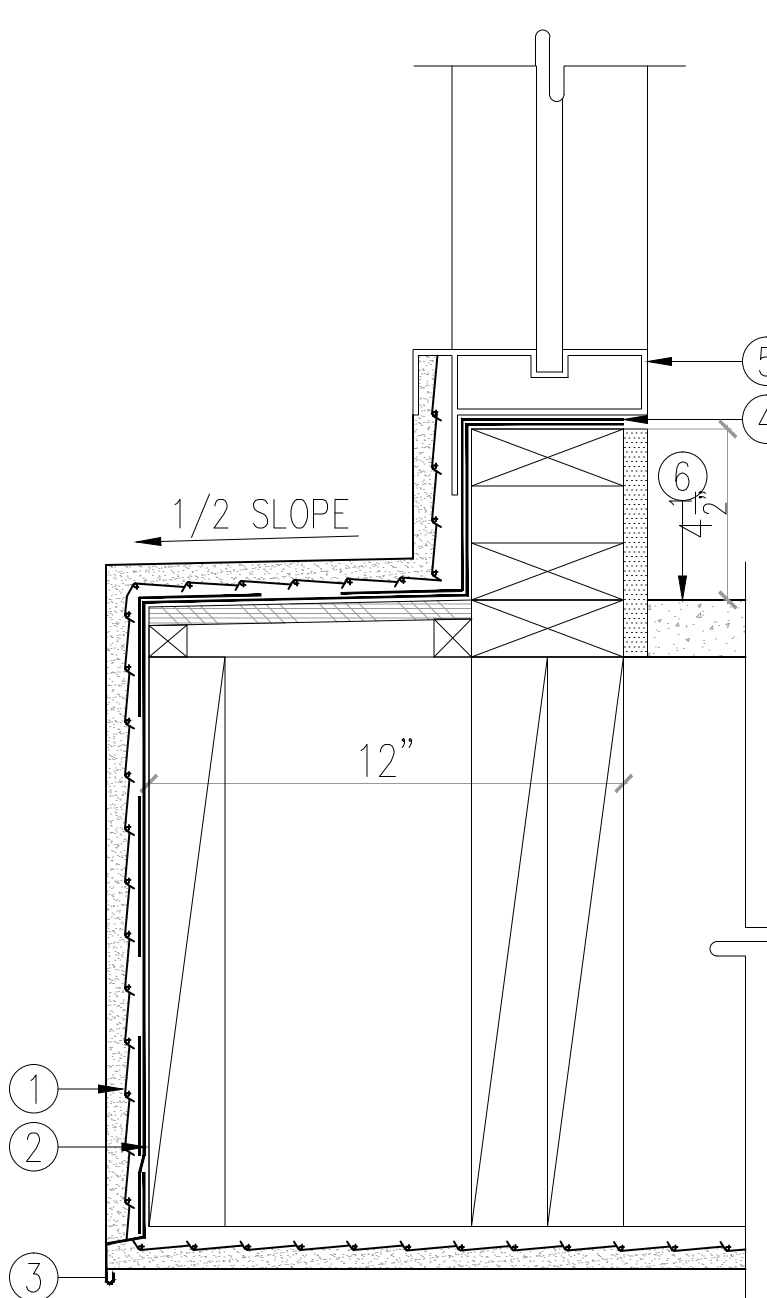
8 ROOF DRAIN & OVERFLOW

9 WINDOW HEAD DETAIL

10 WINDOW SILL DETAIL

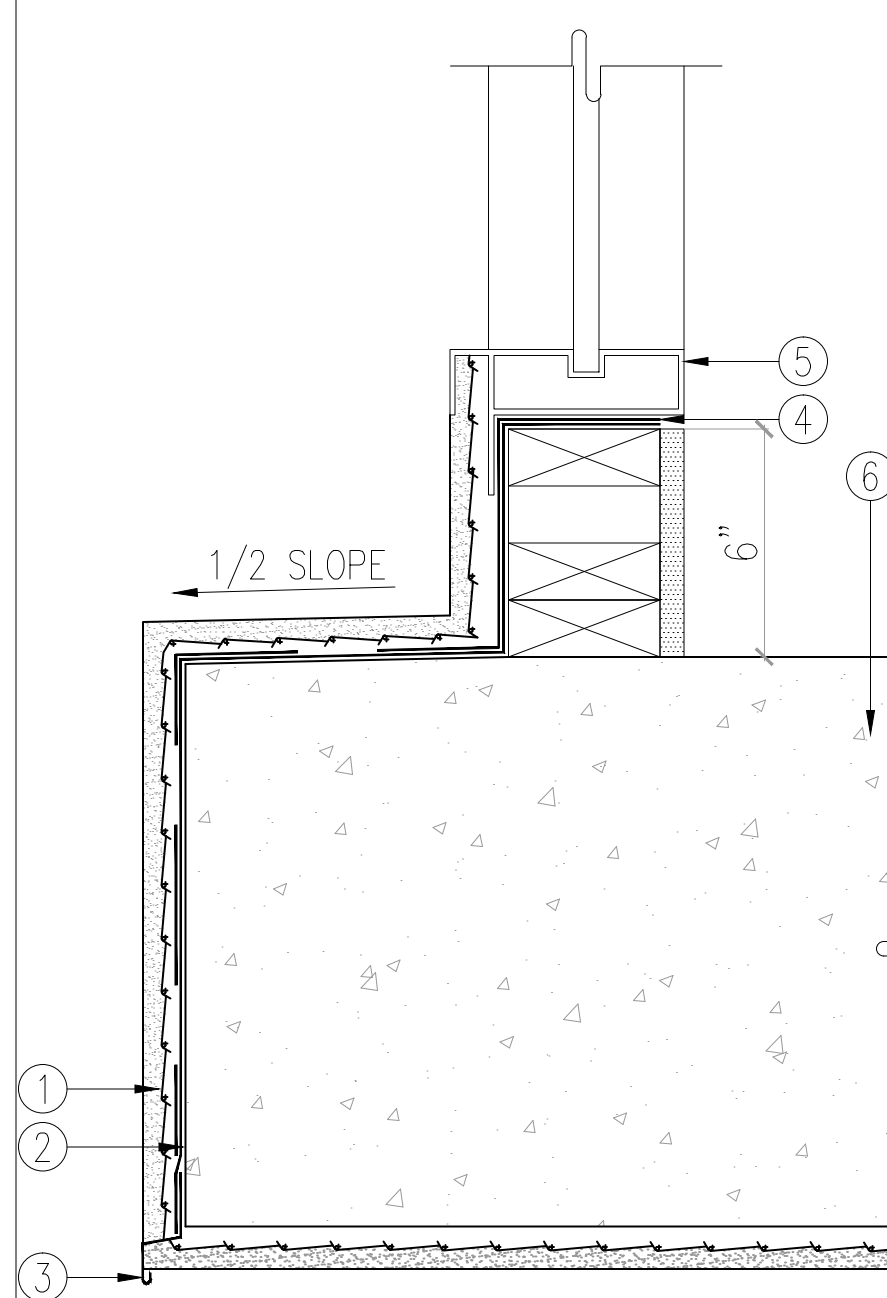
11 WINDOW JAMB DETAIL

12



KEYNOTES:

- 1 7/8" STUCCO OVER 2-LAYERS OF DUPONT TYVEK HOMEWRAP
- 2 BITUTHENE
- 3 SHEET METAL DRIP
- 4 FLASHING
- 5 WINDOW SILL
- 6 1-1/2" LIGHT WEIGHT CONCRETE 3,000 P.S.I. (OVER ENKASONIC)



KEYNOTES:

- 1 7/8" STUCCO OVER 2-LAYERS OF DUPONT TYVEK HOMEWRAP
- 2 BITUTHENE
- 3 SHEET METAL DRIP
- 4 FLASHING
- 5 WINDOW SILL
- 6 CONCRETE DECK

13 WINDOW SILL @ WOOD DECK

14 WINDOW SILL @ CONC. DECK

15

16

Sheet Issue & Revision Log

No.	Issue / Revision

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KEYNOTES:
 ① 1-1/2" X 1-1/2" DIA. POST @ 4'-0" O.C. MAX.
 ② 1/2" - 1/2" WROUGHT IRON
 ③ 1-1/2" X 3/4" WROUGHT IRON
 ④ 2" X 4" STRIP OF NON-SLIP CONTRASTING COLOR:
 - ON TOP & BOTTOM TREAD FOR INTERIOR STAIRS
 - ON EACH TREAD FOR EXTERIOR STAIRS
 ⑤ STEEL STRINGER (SEE STRUC.)
 ⑥ 4-1/2" WEDGE ANCHORS FOR CONCRETE RR#25705 MIN. 2-3/4" EMBEDMENT

NOTE:
 AT RATED STAIRWAYS, PROVIDE SUFFICIENT SPACE BETWEEN WALL & STRINGER TO ACCOMMODATE FULL INSTALLATION OF PRE-ROCK FIRE RATED ASSEMBLY.
 - AT 1HR WALL, ALLOW 1/2" SPACE.
 - AT 2HR WALL, ALLOW 2" SPACE.

(SEE STRUCTURAL)

STAIR @ CONCRETE SLAB

1

KEYNOTES:
 ① 1-1/4" X 1-1/4" DIA. POST @ 5'-0" O.C. MAX.
 ② 1/2" - 1/2" WROUGHT IRON
 ③ 1-1/4" X 3/4" WROUGHT IRON
 ④ 2" X 4" STRIP OF NON-SLIP CONTRASTING COLOR:
 - ON TOP & BOTTOM TREAD FOR INTERIOR STAIRS
 - ON EACH TREAD FOR EXTERIOR STAIRS
 ⑤ STEEL STRINGER (SEE STRUC.)
 ⑥ 4-1/2" WEDGE ANCHORS FOR CONCRETE RR#25705 MIN. 2-3/4" EMBEDMENT

NOTE:
 AT RATED STAIRWAYS, PROVIDE SUFFICIENT SPACE BETWEEN WALL & STRINGER TO ACCOMMODATE FULL INSTALLATION OF PRE-ROCK FIRE RATED ASSEMBLY.
 - AT 1HR WALL, ALLOW 1/2" SPACE.
 - AT 2HR WALL, ALLOW 2" SPACE.

STAIR @ LANDING ON FLOOR

2

KEYNOTES:
 ① 1-1/2" X 1-1/2" DIA. POST @ 4'-0" O.C. MAX.
 ② 1/2" - 1/2" WROUGHT IRON
 ③ 1-1/2" X 3/4" WROUGHT IRON
 ④ 2" X 4" STRIP OF NON-SLIP CONTRASTING COLOR:
 - ON TOP & BOTTOM TREAD FOR INTERIOR STAIRS
 - ON EACH TREAD FOR EXTERIOR STAIRS
 ⑤ STEEL STRINGER (SEE STRUC.)
 ⑥ 4-5/16" LAG BOLTS
 ⑦ 6" SQ X 1/4" PLATE

NOTE:
 AT RATED STAIRWAYS, PROVIDE SUFFICIENT SPACE BETWEEN WALL & STRINGER TO ACCOMMODATE FULL INSTALLATION OF PRE-ROCK FIRE RATED ASSEMBLY.
 - AT 1HR WALL, ALLOW 1/2" SPACE.
 - AT 2HR WALL, ALLOW 2" SPACE.

STAIR @ FLOOR

3

1-1/2" DIA. PIPE
 12"
 34" - 38"
 7" MAX.
 TW 12"
 34" - 38"
 7" MAX.
 TW 12"
 34" - 38"
 TW = TREAD WIDTH (11" MIN.)

2-1/2" HOLE FILL W/ DRYPAK

STAIR HANDRAIL

4

KEYNOTES:
 ① 1-1/2" DIA. TUBES @ 4" O.C. MAX. SPACING
 ② 2" X 4" STRIP OF NON-SLIP CONTRASTING COLOR:
 - ON TOP & BOTTOM TREAD FOR INTERIOR STAIRS
 - ON EACH TREAD FOR EXTERIOR STAIR
 ③ 6" SQ X 1/4" PLATE
 ④ 4-5/16" LAG BOLTS FOR WOOD - MIN. 3" EMBEDMENT
 ⑤ 4-1/2" WEDGE ANCHORS FOR CONCRETE - MIN. 2-3/4" EMBEDMENT
 ⑥ 2" X 14" STRINGER

NOTE:
 PROVIDE SELF ADHERED MEMBRANE BEHIND THE STUCCO WHERE THE METAL ATTACHMENT BRACKET OCCURS.

12"
 42"
 1"
 3/16"
 4"
 11" TW
 7" MAX.
 34" - 38"
 42"
 TW = TREAD WIDTH
 LESS THAN 4" CLEAR
 LESS THAN 6" CLEAR

STAIR HANDRAIL

5

KEYNOTES:
 ① TS 1-1/2" X 1-1/2" X 3/16" SEE STRUCT. DWGS.
 ② 1/2" DIA. TUBES @ 4" O.C. MAX. SPACING
 ③ TS 1-1/2" X 1-1/2" X 3/16" @ 4'-0" MAX. O.C. SEE STRUCT. DWGS.
 ④ 4-5/16" LAG BOLTS FOR WOOD - MIN. 3" EMBEDMENT
 ⑤ 4-1/2" WEDGE ANCHORS FOR CONCRETE RR#25705 MIN. 2-3/4" EMBEDMENT
 ⑥ 6" SQ X 1/4" PLATE

NOTE:
 PROVIDE SELF ADHERED MEMBRANE BEHIND THE STUCCO WHERE THE METAL ATTACHMENT BRACKET OCCURS.

3'-6"
 4'-0"
 4" O.C. MAX.
 4" O.C. MAX.
 3/16"
 1"

HANDRAIL DETAIL

6

KEYNOTES:
 ① 1 1/4"-1 1/2" DIA. HANDRAIL W/ 1" X 1/4" BRACKET & 2 3/4" DIA. BASE PLATE W/ SCREW TO WALL & BLOCKING.
 ② 2 X 4 BLOCKING (MIN.)
 ③ MAX. BRACKET SPACING 5'-0" O.C. & 6" FROM EACH END
 ④ 1 1/4"-1 1/2" DIA. HANDRAIL
 ⑤ 1/4" LAG BOLT FOR WOOD 3/8" WEDGE ANCHOR FOR CONCRETE

PLAN
 SECTION

STAIR IN UNIT INTERIOR

7

KEYNOTES:
 ① 1-1/4" HANDRIP
 ② 1-1/4" X 3/4" TUBE PIPE
 ③ 1-1/4" X 1-1/4" WROUGHT IRON
 ④ 2 X 12
 ⑤ 2 X 14 STRINGER
 ⑥ 5/8" GYP. BD. TYPE 'X'
 ⑦ 4-5/16" LAG BOLTS FOR WOOD - MIN. 3" EMBEDMENT
 ⑧ 4-1/2" WEDGE ANCHORS FOR CONCRETE - MIN. 2-3/4" EMBEDMENT
 ⑨ 6" SQ X 1/4" PLATE

① MINIMUM OF 6'-8" HEADROOM CLEARANCE AT TREAD NOSING.
 ② HANDRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NOT GREATER THAN 2" IN CROSS-SECTION FOR CIRCULAR TYPE, 4"-6.25" PERIMETER FOR OTHER SHAPES.
 ③ A MIN. 1.5" HANDRAIL CLEARANCE FROM ADJACENT WALL.

42"
 7/16" MAX. RISER
 10" MIN. TREAD
 4" MAX.
 1"

STAIR IN UNIT INTERIOR

8

STAIR No. 1
 Floors B through 4

NO ROOF ACCESS
 Exit at Floor 1

3

KEYNOTES:
 ① IDENTIFICATION OF STAIR ENCLOSURE MIN. 1-1/2" BLOCK LETTERING WITH 1/4" STROKES
 ② FLOOR LEVEL DESIGNATION MIN. 5" WITH 3/4" STROKES. THE MEZZANINE LEVELS SHALL HAVE THE LETTER "M" PRECEDING THE MIN. 5" WITH 3/4" STROKES. THE BASEMENT LEVELS SHALL HAVE THE LETTER "B" PRECEDING THE FLOOR NUMBER.
 ③ ALL OTHER LETTERING & NUMBERS SHALL BE OF MINIMUM 1" IN HEIGHT.

NOTE:
 APPROVED TACTILE STAIRWAY IDENTIFICATION SIGNS THAT COMPLY WITH SECTION 1117B.5.1 SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRWAYS IN BUILDINGS TWO OR MORE STORIES IN HEIGHT. THE SIGN SHALL IDENTIFY STAIRWAY, INDICATE WHETHER THERE IS ROOF ACCESS, THE FLOOR LEVEL, AND THE UPPER AND LOWER TERMINUS OF THE STAIRWAY. THE SIGN SHALL BE LOCATED APPROXIMATELY 5' ABOVE THE FLOOR LANDING IN A POSITION WHICH IS READILY VISIBLE WHEN THE DOOR IS IN THE OPEN OR CLOSED POSITION OR, THE SIGN SHALL BE LOCATED APPROXIMATELY 5' ABOVE THE FLOOR LANDING IMMEDIATELY ADJACENT TO THE DOOR ON THE STRIKE SIDE. SIGNS SHALL COMPLY WITH THE REQUIREMENTS OF THE IBC STD. NO.10-2.

4 BRAILLE SYSTEM (GRADE-II)

FLOOR LINE

TYP. STAIR SIGN (SAMPLE)

9

EXIT

FLOOR LINE

NOTES:
 a) LOW LEVEL EXIT SIGNS TO BE PROVIDED IN ALL INTERIOR EXIT CORRIDORS.
 b) ALL EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 1-1/2 HOURS IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED ACCORDANCE WITH THE ELECTRICAL CODE.
 c) ANYTIME A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT CANDLE (10.76 lx) AT THE FLOOR LEVEL.
 d) SEE ADDITIONAL SIGNS & IDENTIFICATION NOTES ON "HANDICAPPED NOTES"

FLOOR LINE

FLOOR LEVEL EXIT SIGN

10

KEYNOTES:
 ① ROOF
 ② 3/4" RUNGS @ 12" O.C.
 ③ 2" X 3/8" STEEL BAR STRINGER
 ④ MIN. OF 3'-1/4" X 3" BENT PLATE BRACKETS @ 6'-0" MAX. O.C. WELD TO WALL W/ 3/4" DIA. BOLT A-307
 ⑤ COVER DOOR
 ⑥ PLATE

2'-0" CLEAR
 6" R
 2'-0"
 3'-6"
 7" MIN.
 12"
 WALL
 7'-0"

LADDER RUNG

11

KEYNOTES:
 ① 1 1/2" DIA. STEEL PIPE GATES PROVIDE HARDWARE TO ALLOW GATES TO SWING ONE WAY ONLY
 ② PAINTED METAL SIGNS MOUNTED ON 1/2" SQUARE STEEL PICKETS
 ③ RAIL CLAMP HINGES

1'-6"
 2'-8"
 3'-6"
 1'-6"
 3'-6"
 SEE PLAN FOR DIMENSION
 SEE PLANS FOR DIRECTION OF SWING

STAIR DETAILS

12

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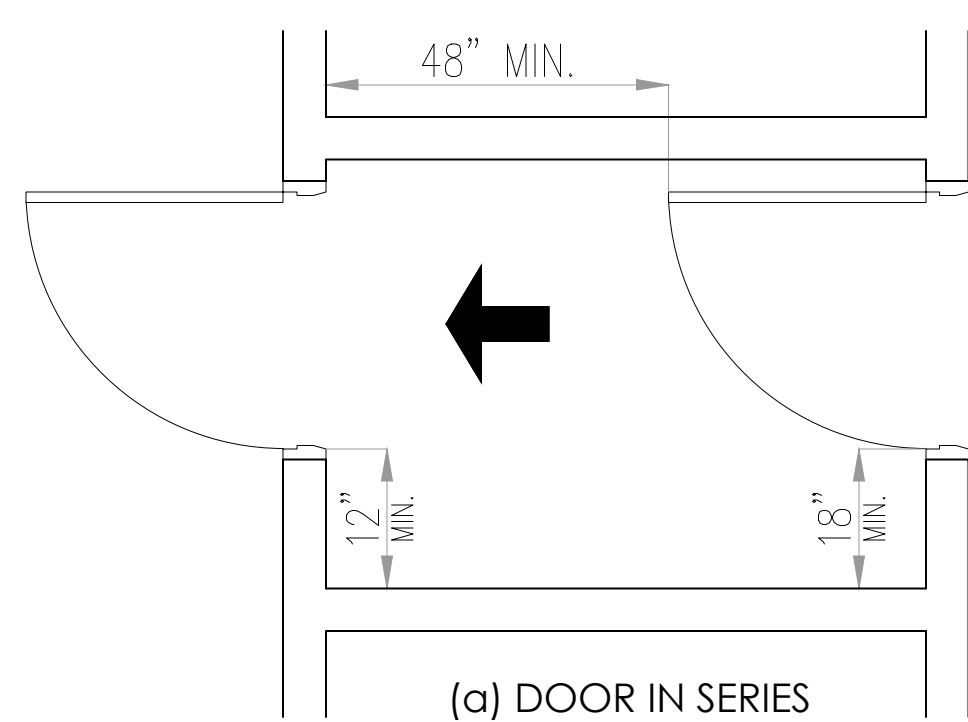
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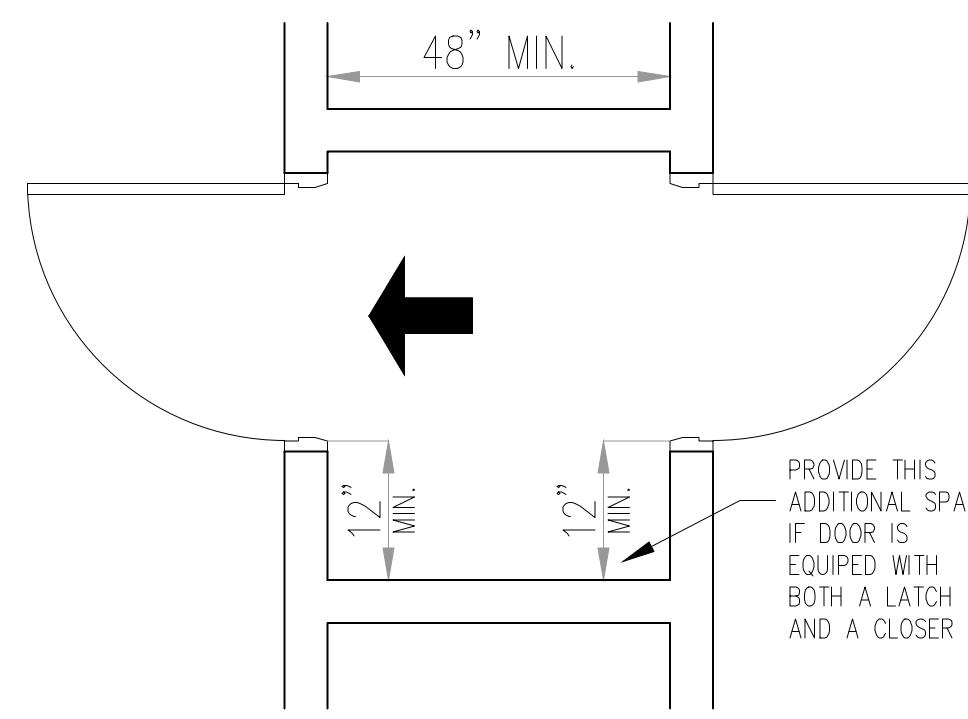
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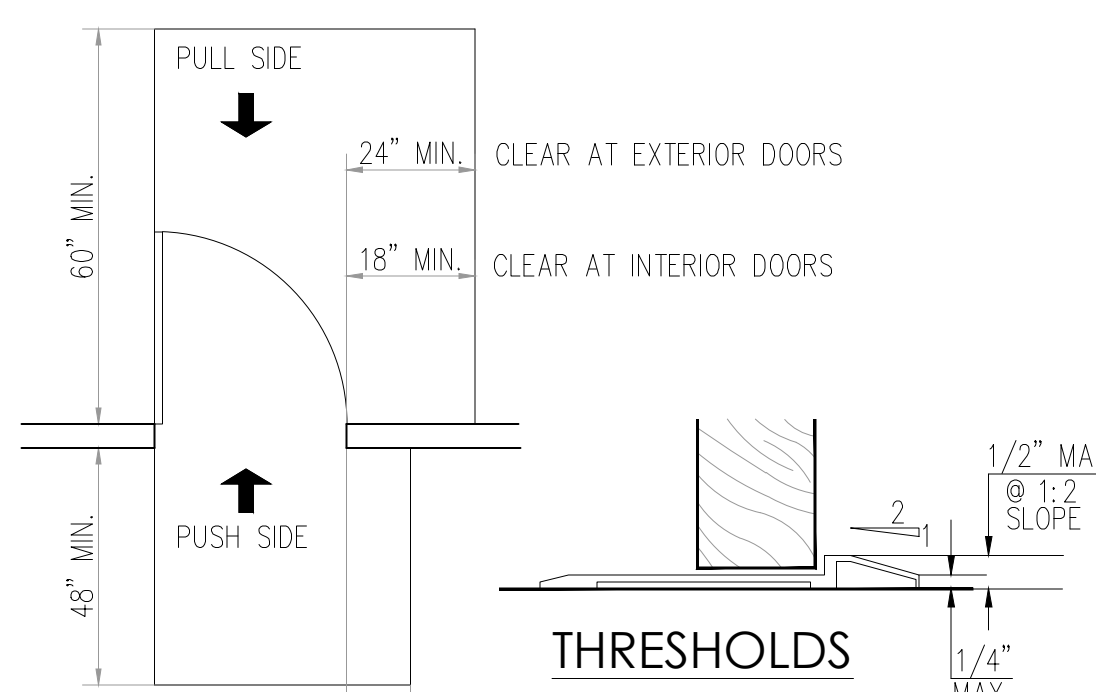
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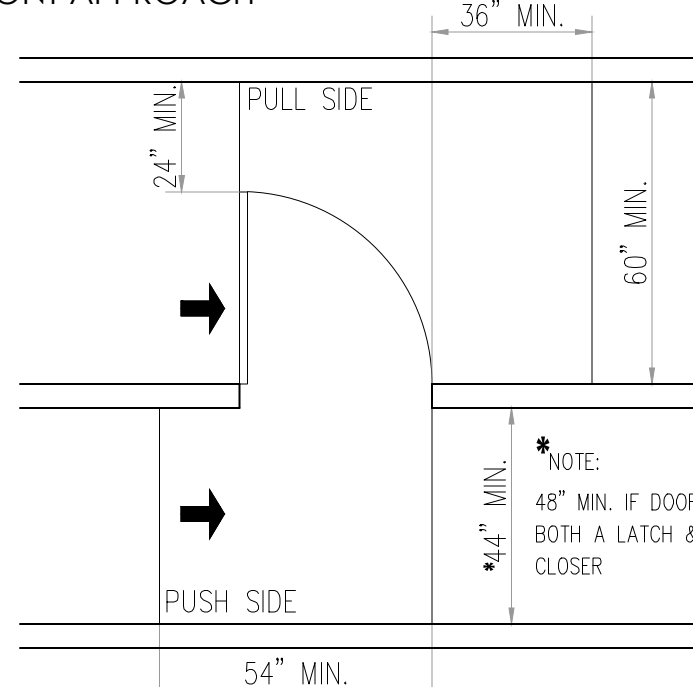
(a) DOOR IN SERIES



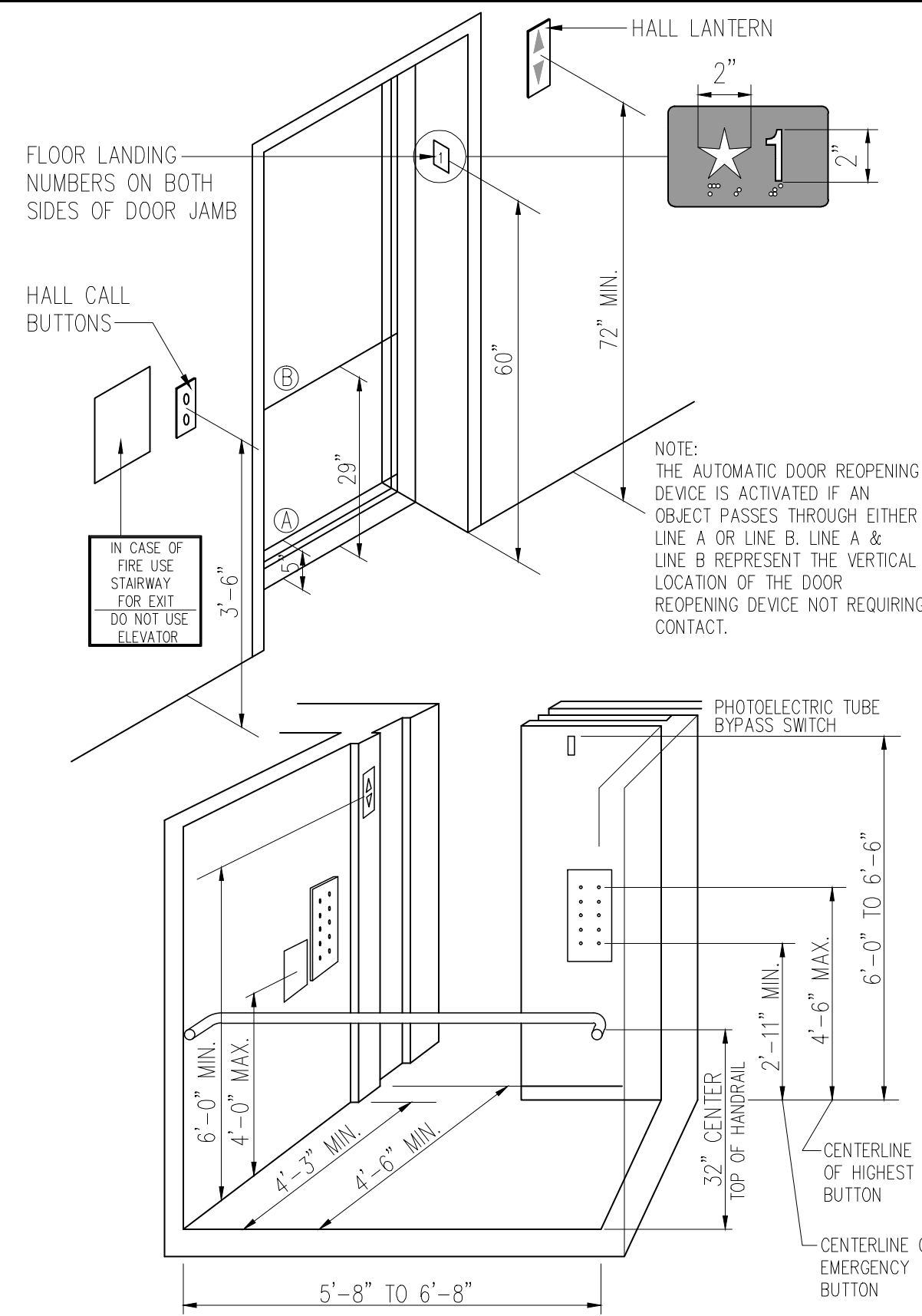
(b) BOTH DOORS OPEN OUT (SERVING OTHERS THAN A REQUIRED EXIT STAIRWAY)



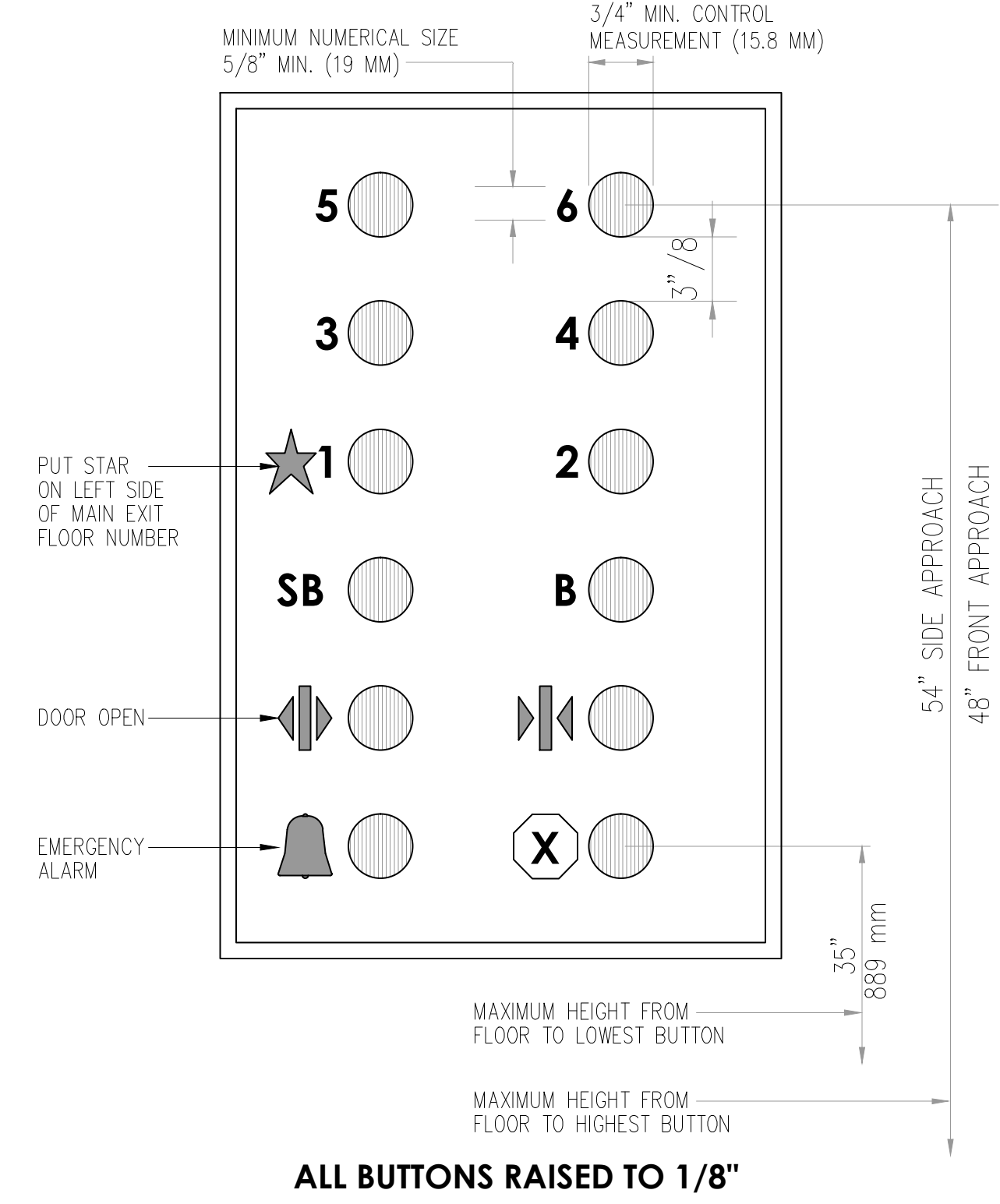
(a) FRONT APPROACH



(b) HINGE APPROACH LEVEL MANEUVERING CLEARANCE @ DOORS



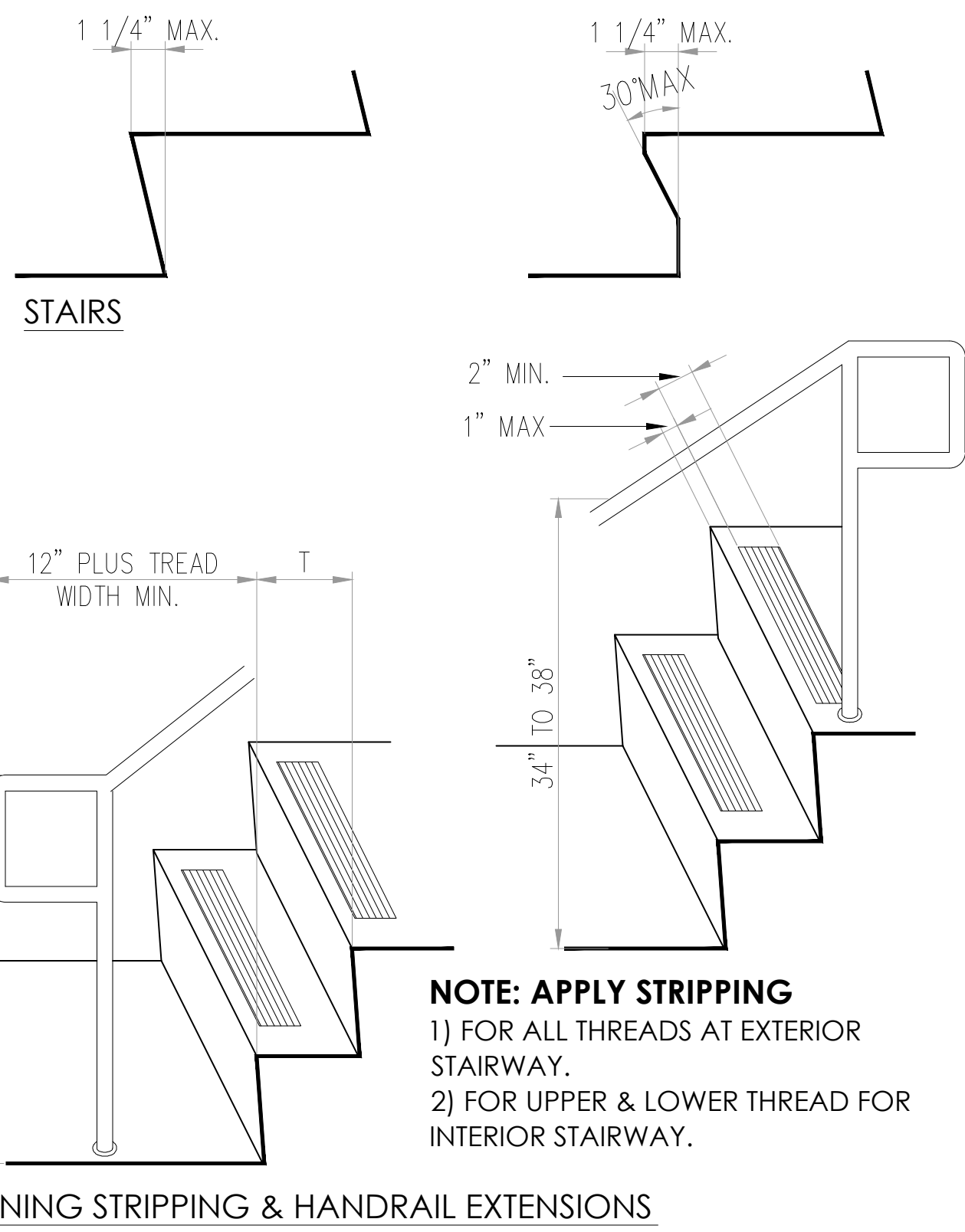
2 ELEVATOR



3 ELEVATOR CONTROL PANEL

VESTIBULE

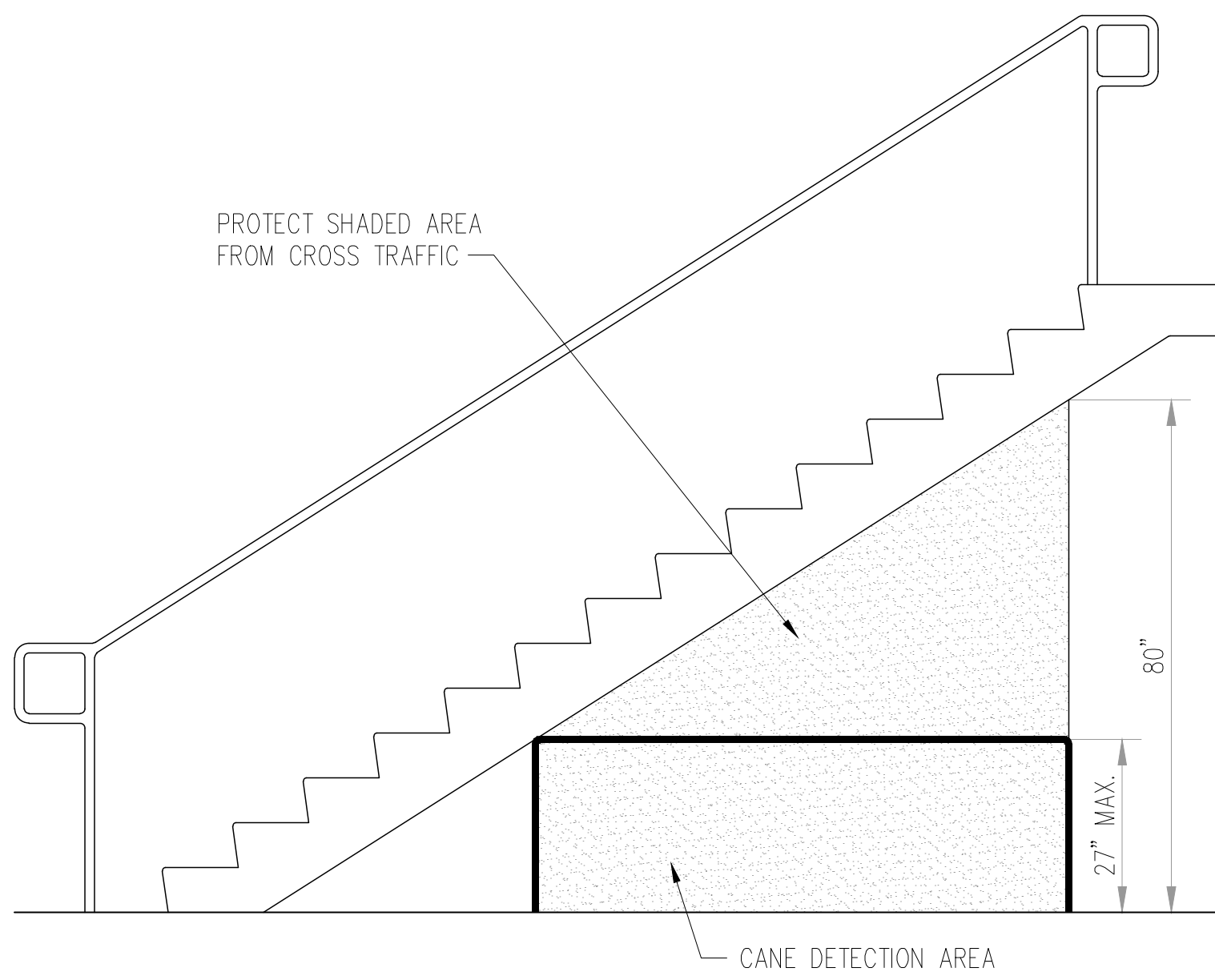
1 MANEUVERING CLEARANCE



5 STAIR HANDRAILS

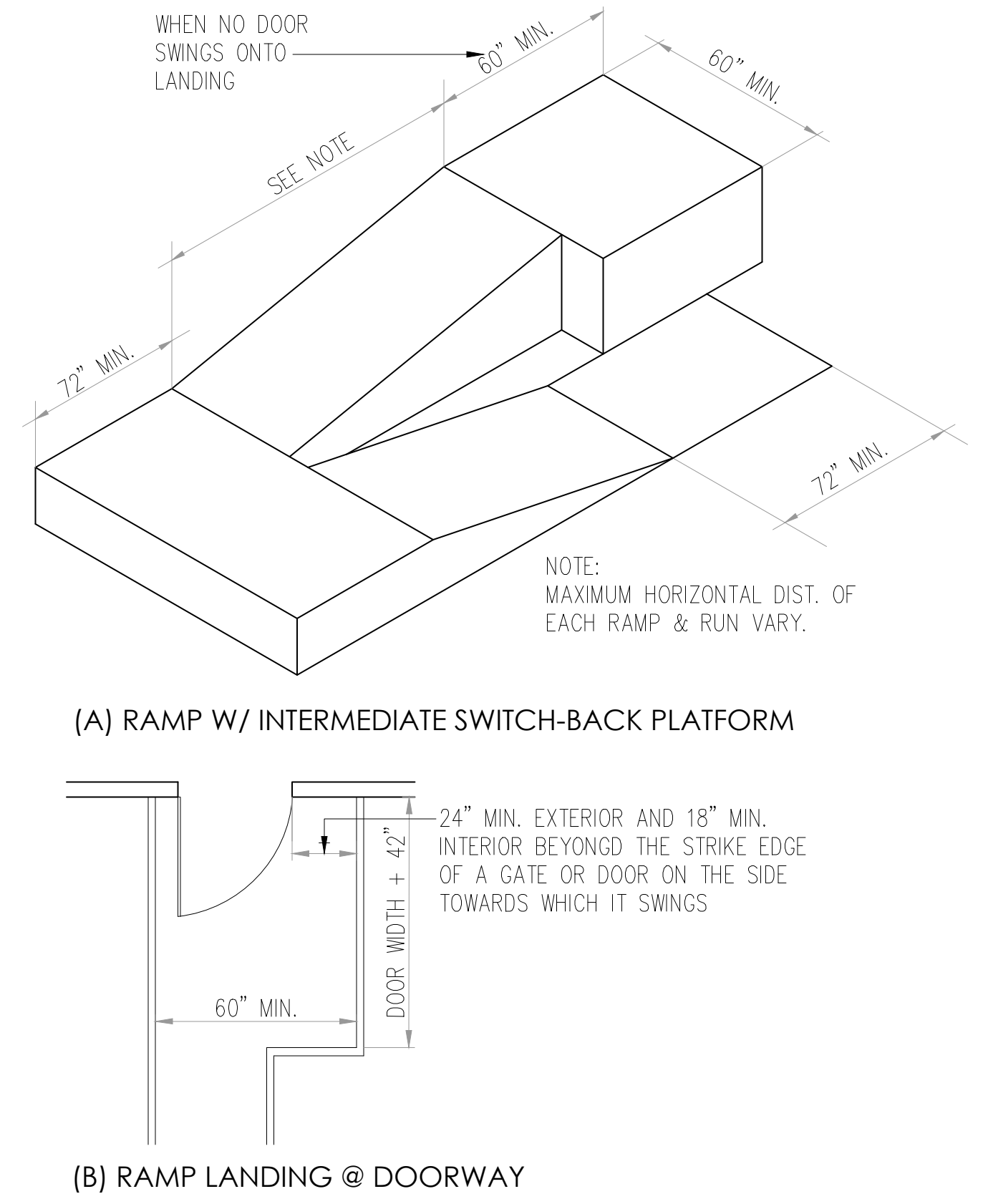
5 STAIR WARNING STRIPPING

2 ELEVATOR



6 OVERHEAD HAZARDS

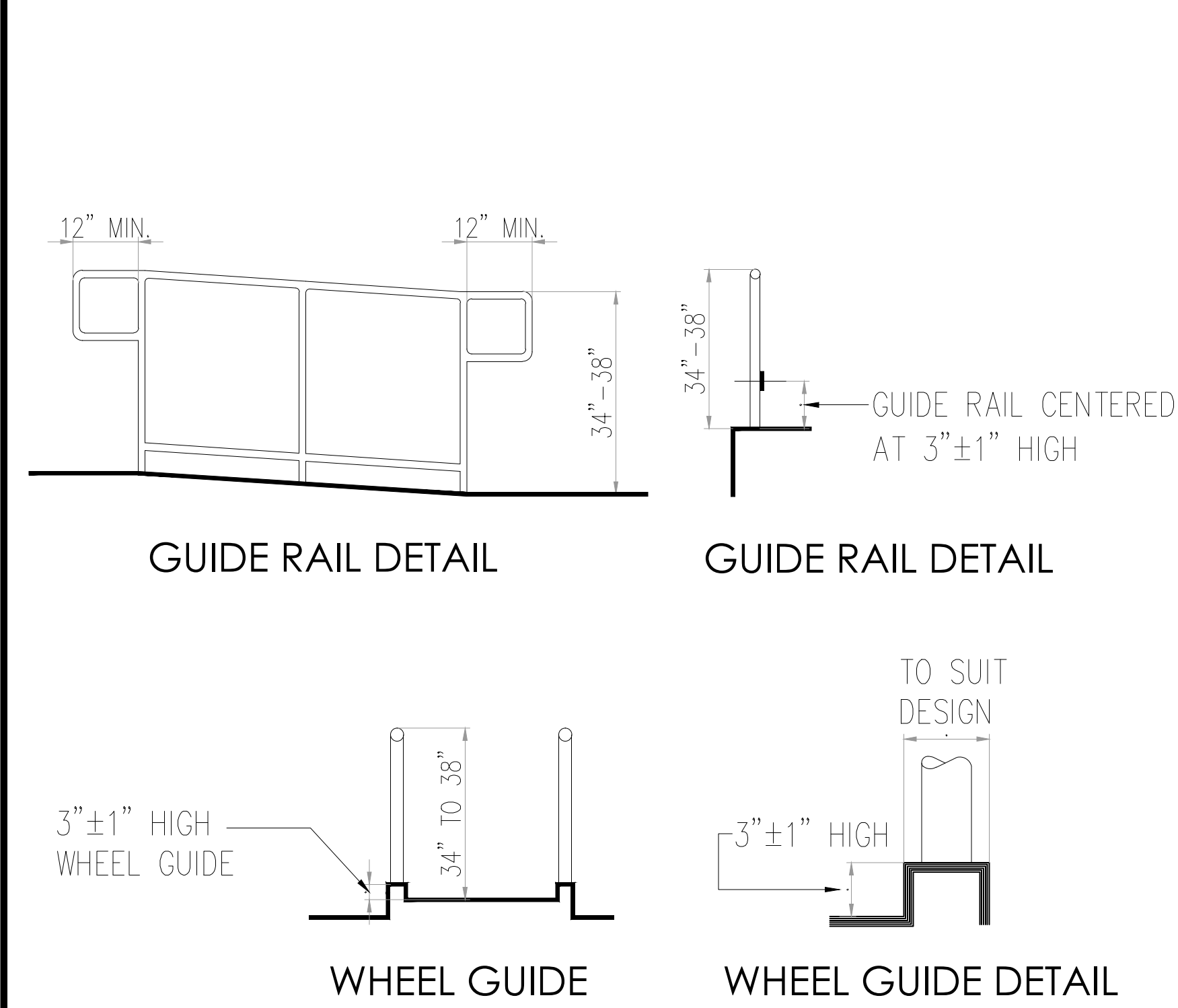
3 ELEVATOR CONTROL PANEL



7 RAMP LANDING

4

5 STAIR HANDRAILS

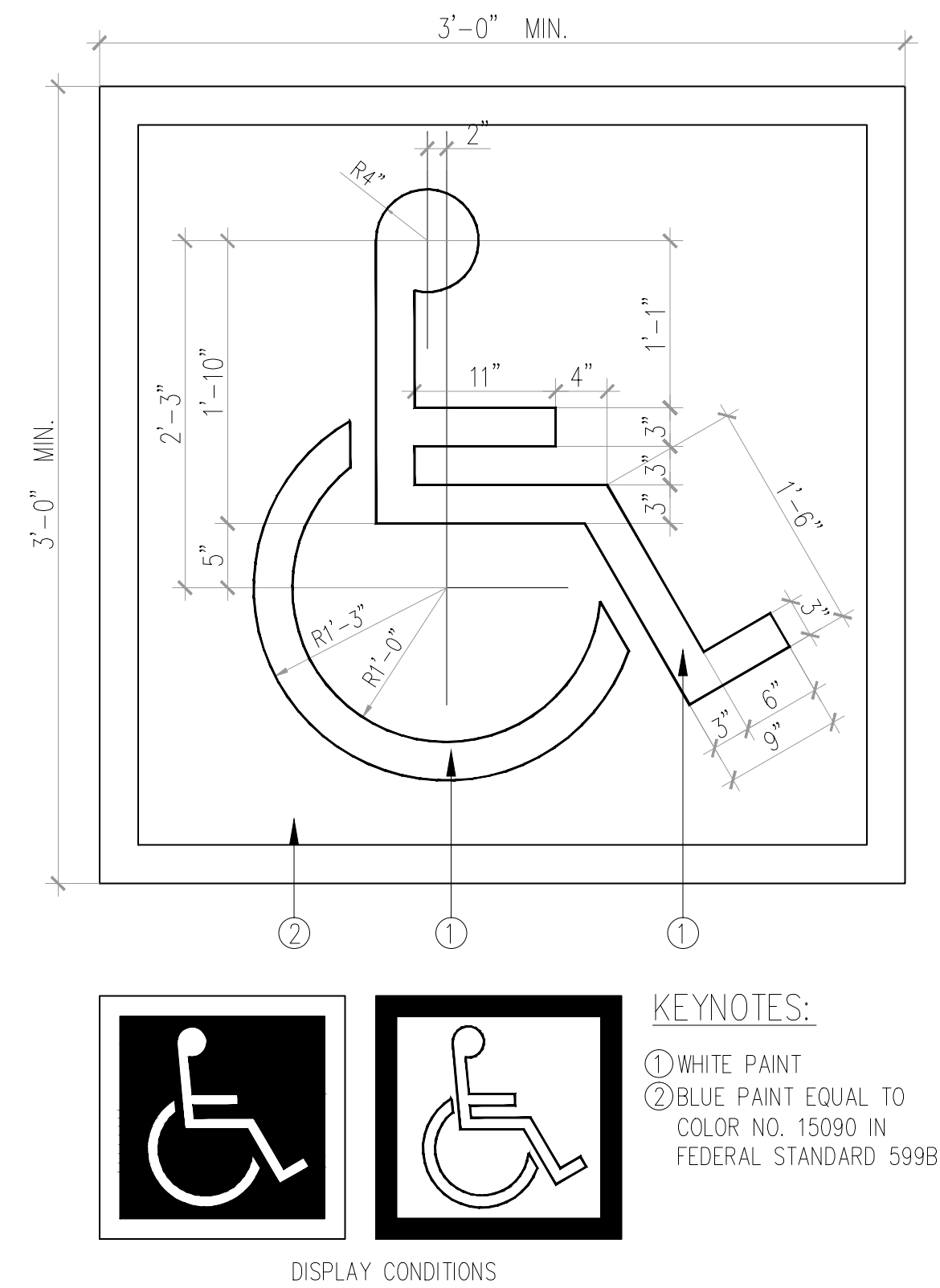


9 RAMP HANDRAIL



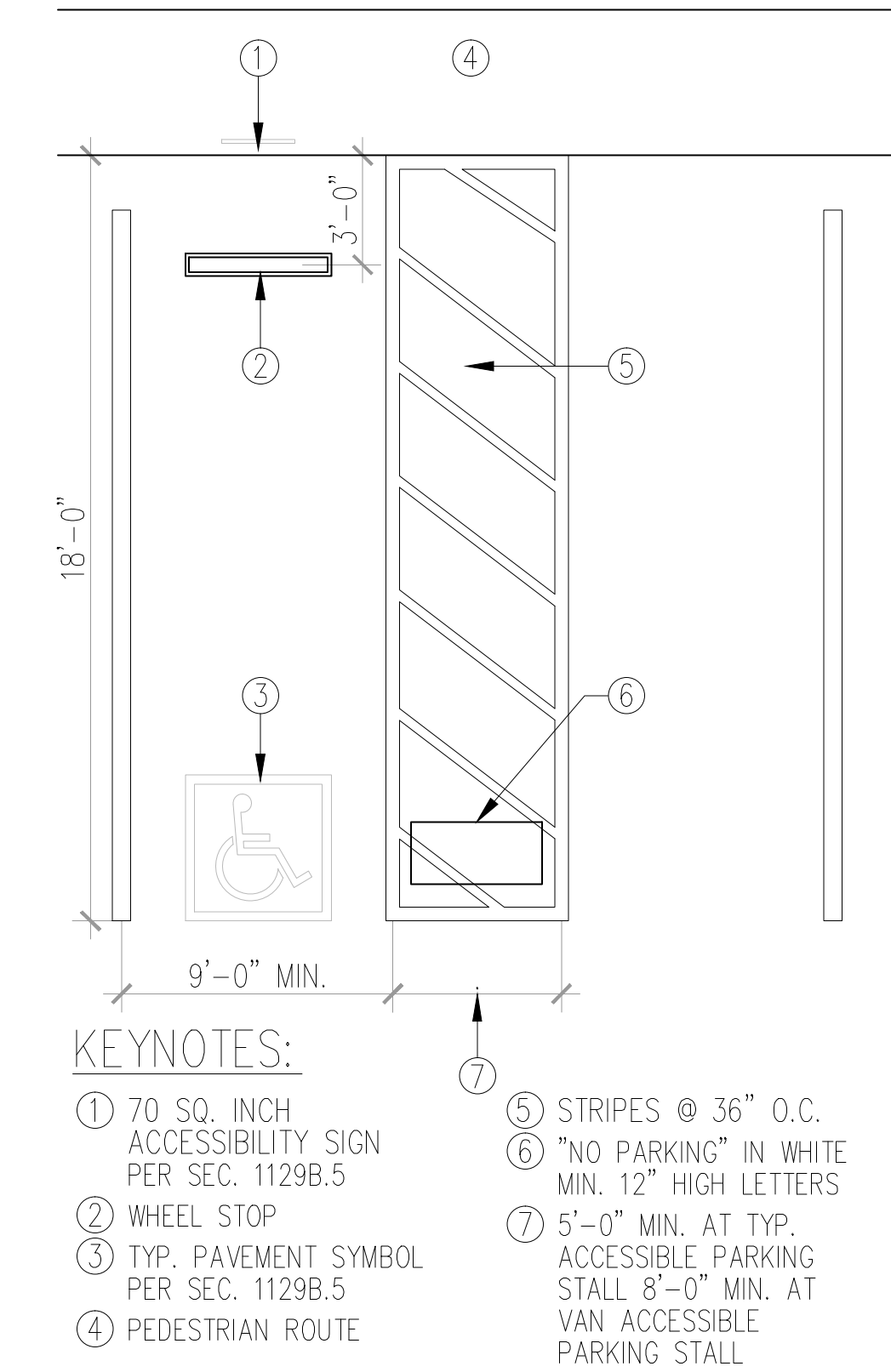
9 HANDICAPPED PARKING SIGN

6 OVERHEAD HAZARDS



10 SIGN DETAIL

7 RAMP LANDING



11 PARKING STALL

8

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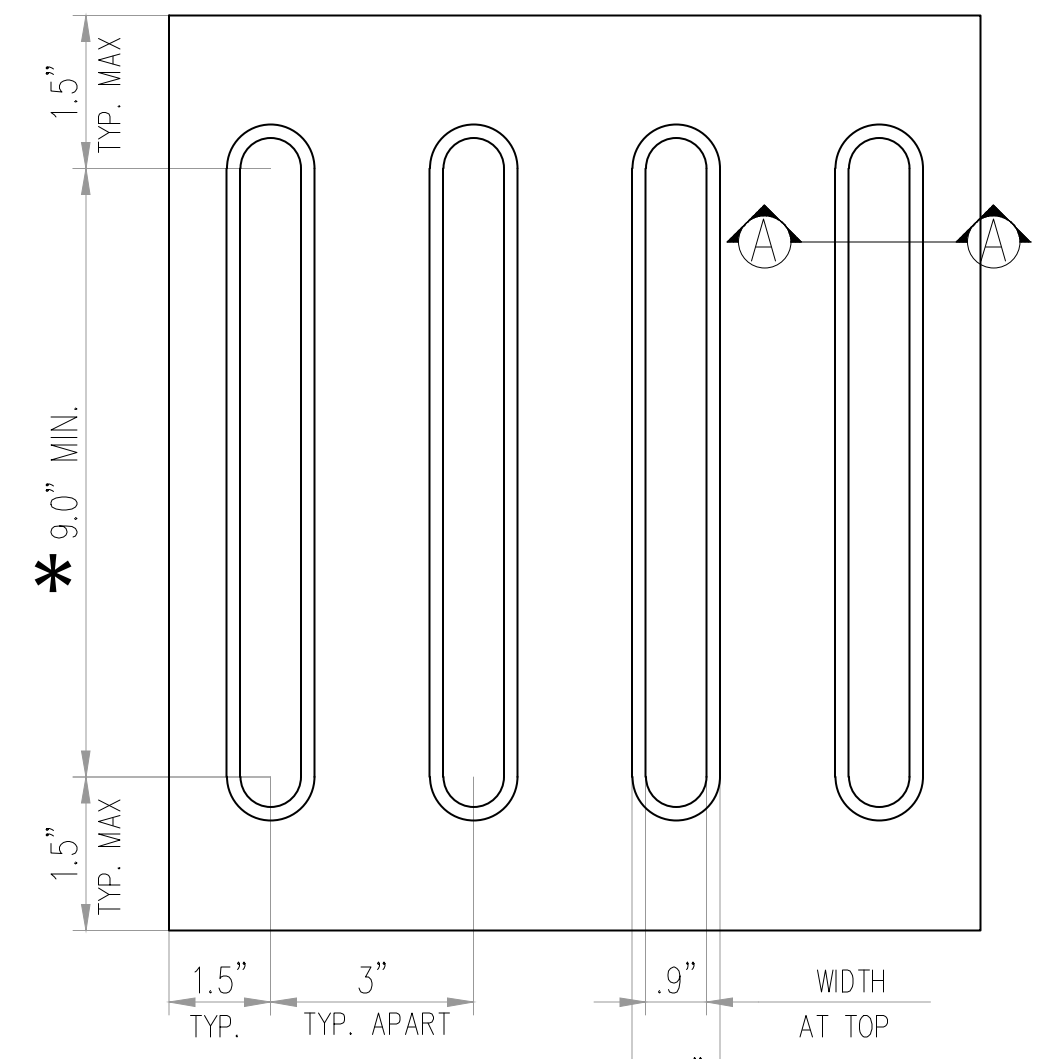
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CAD : ROD
Job : -
Sheet :

A-7.6

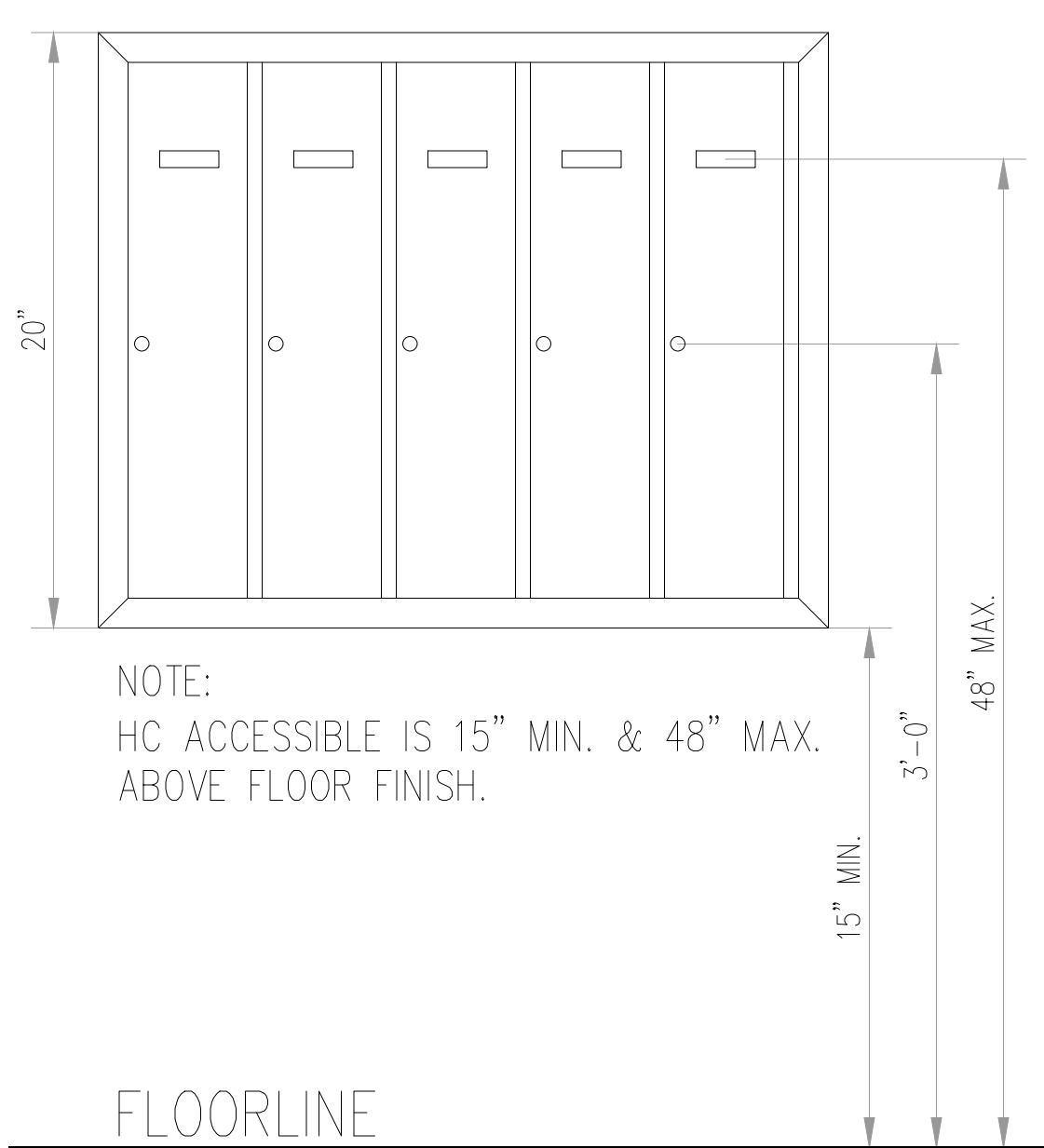
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* NOTE: INDUSTRY STANDARD FOR OVERALL BAR LENGTH IS 11-1/4" TO 11-1/2"

TYPICAL SECTION A-A

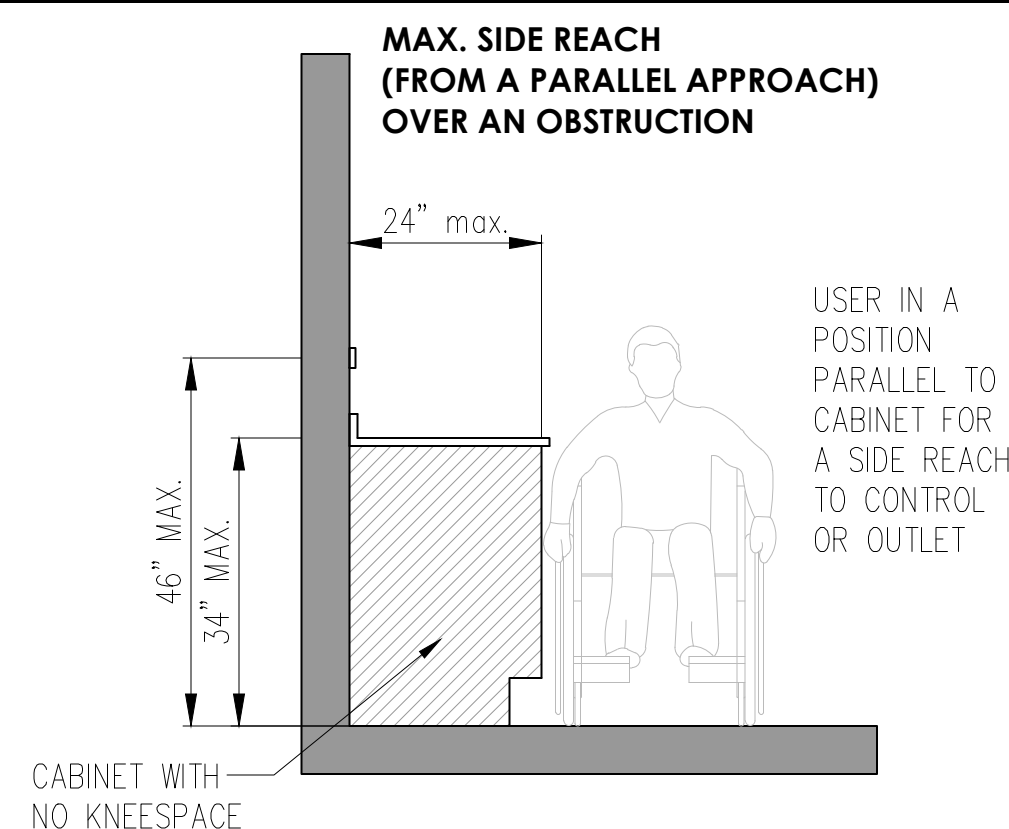
THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.



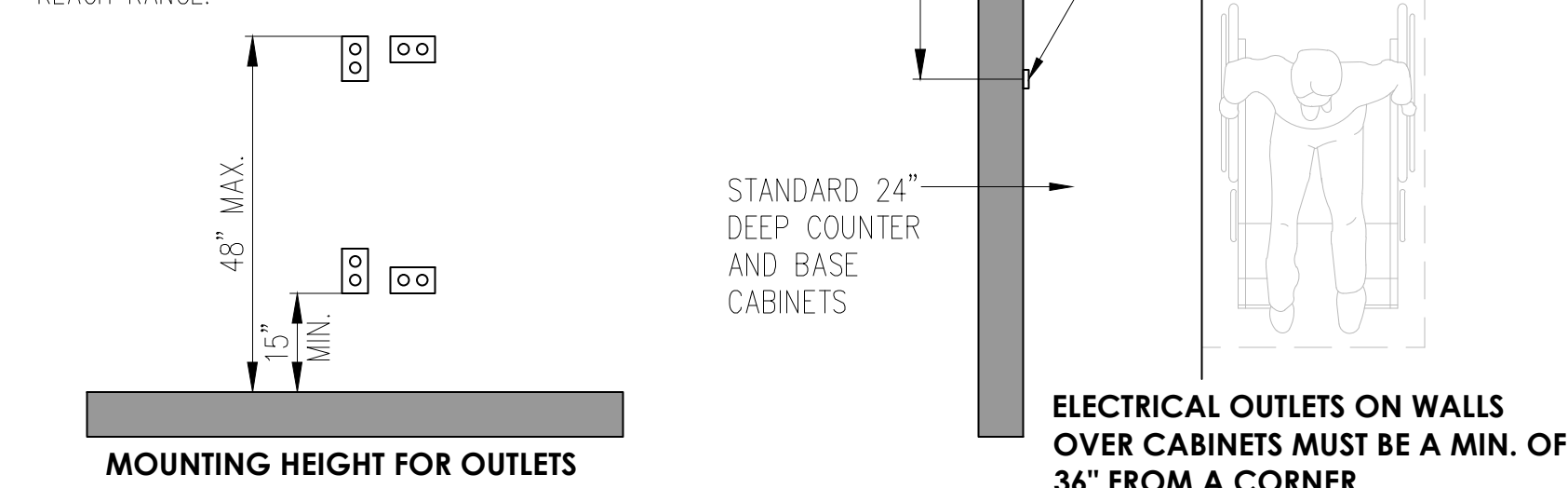
NOTE: HC ACCESSIBLE IS 15" MIN. & 48" MAX. ABOVE FLOOR FINISH.

FLOORLINE

SIDE REACH OVER AN OBSTRUCTION
TO REACH CONTROLS AND OUTLETS MOUNTED OVER BASE CABINETS WHICH LACK KNEE SPACE, A PERSON USING WHEELCHAIR MUST BE ABLE TO APPROACH THE CABINET FROM A POSITION PARALLEL TO THE CABINET AND EXECUTE A SIDE REACH. THIS PARALLEL POSITION IS MADE UP OF A 36-INCH x 48-INCH CLEAR FLOOR SPACE ADJOINING A 36-INCH MINIMUM ACCESSIBLE ROUTE. WHEN EXECUTING A SIDE REACH OVER AN OBSTRUCTION, THE UPPER LIMIT OF THE REACH IS LIMITED TO 46 INCHES. CABINET DEPTH IS LIMITED TO 24 INCHES. HUD PERMITS USE OF A STANDARD 24-INCH DEEP CABINET WITH AN ADDITIONAL EXTENSION OF 1 TO 1-1/2 INCHES FROM COUNTERTOPS FOR A MAXIMUM DEPTH OF 25-1/2 INCHES. IF A BUILT-IN SHELF, CABINET, OR OTHER OBSTRUCTION MUST BE DEEPER THAN 25-1/2 INCHES, THEN ANY SWITCHES, OUTLETS, AND CONTROLS THAT MUST BE IN ACCESSIBLE LOCATIONS ARE NOT PERMITTED TO BE INSTALLED OVER SUCH DEEP SURFACES.



MOUNTING LOCATIONS FOR OUTLETS
FOR ACCESSIBLE CONTROLS AND OUTLETS, ALL OPERABLE PARTS MUST BE WITHIN THE RANGES SPECIFIED ABOVE. WHEN ELECTRICAL OUTLETS ARE INSTALLED HORIZONTALLY OR VERTICALLY, DUPLEX OUTLETS MUST HAVE BOTH RECEPTACLES WITHIN THE REACH RANGE.



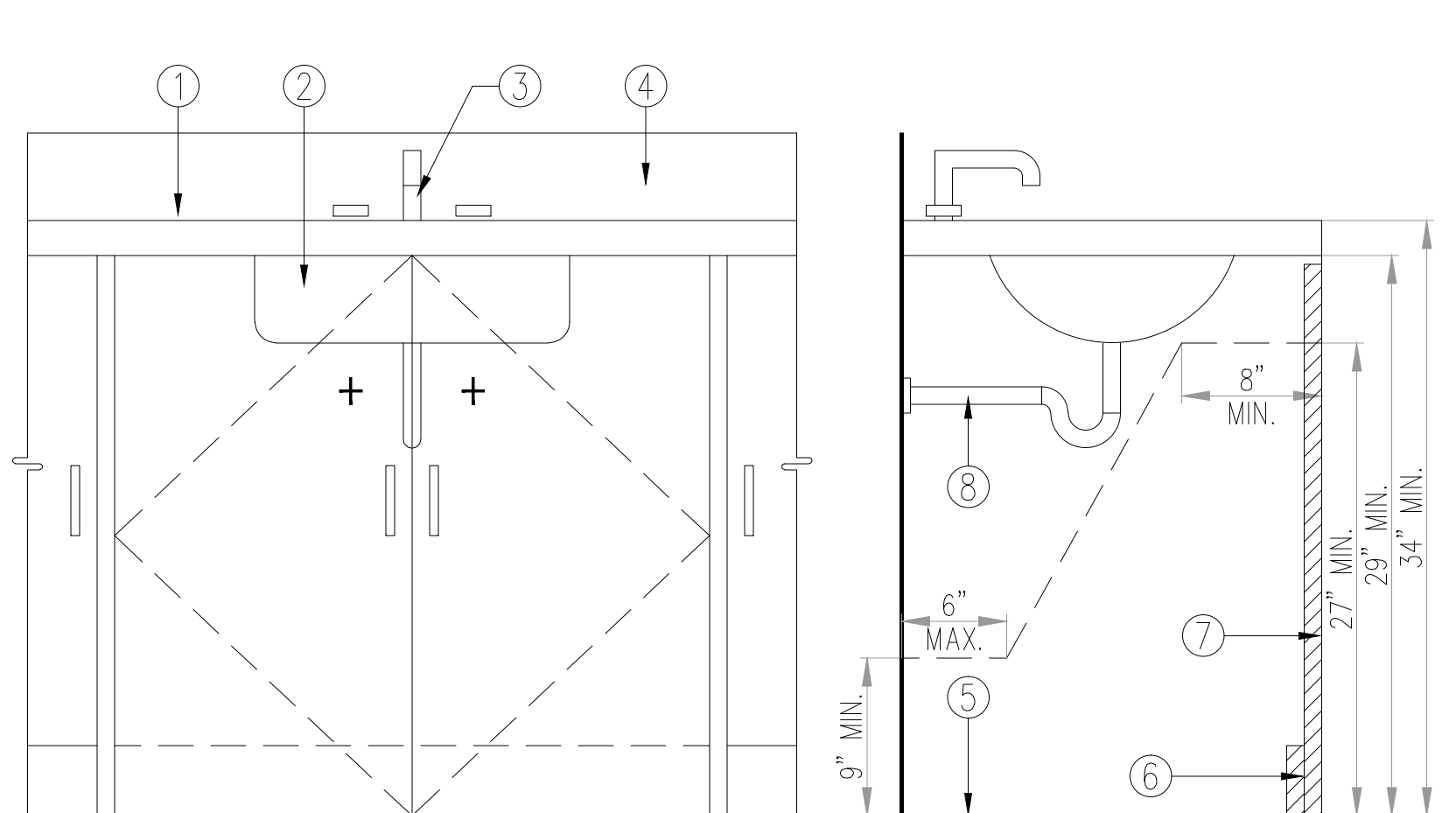
TRUNCATED DOMES

1 EMS- EMERGENCY MEDICAL SERVICE

2 MAILBOX

3 OUTLETS

4

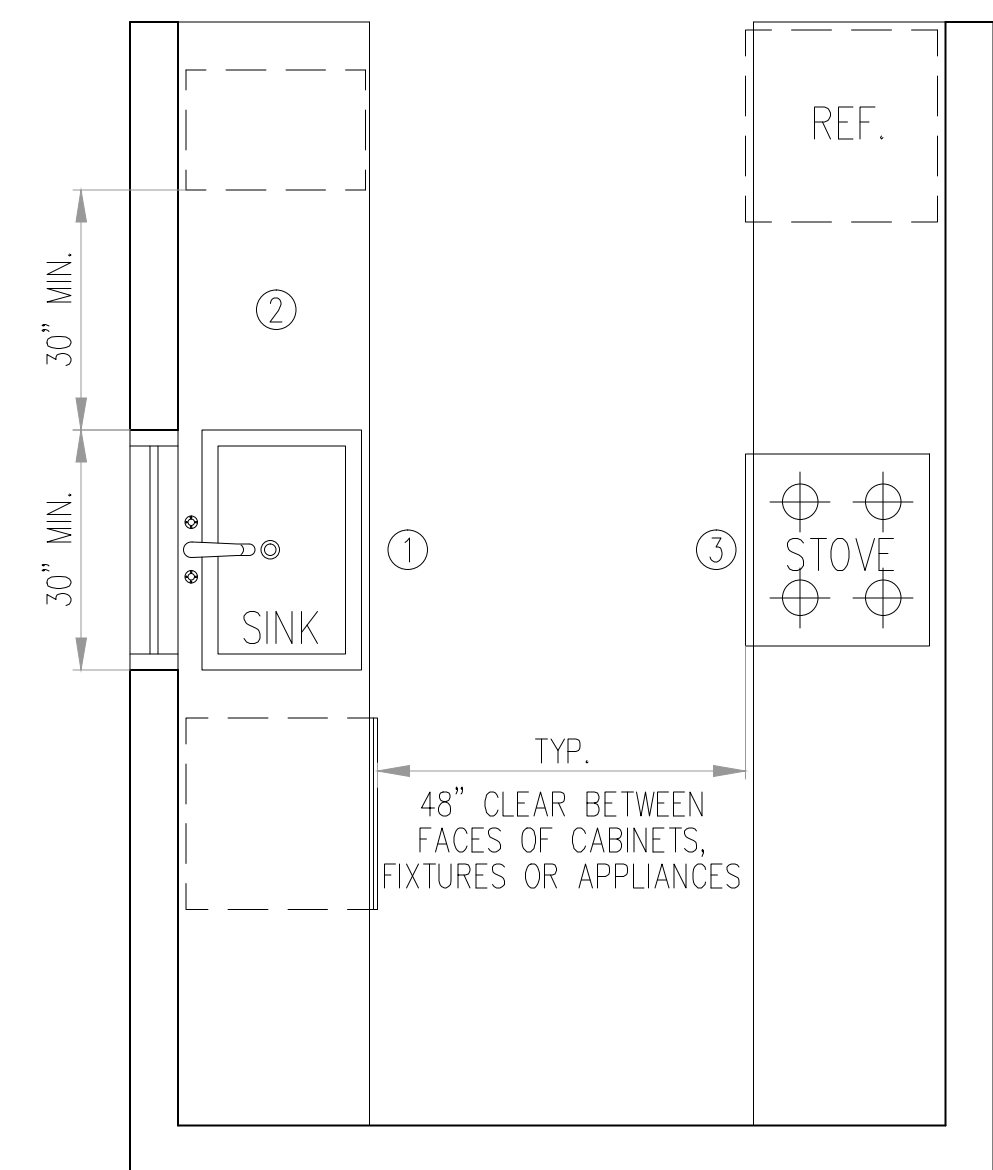


ADAPTABLE UNITS

- KEYNOTES:
 1 GRANITE COUNTERTOP (SEE EXCEPTION)
 2 SINK
 3 FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST (ADD'L NOTES SEE H/C NOTES)
 4 BACKSPASH
 5 FINISHED FLOOR UNDER SINK
 6 BASEBOARD ATTACHED TO THE BACK OF DOOR
 7 REMOVABLE DOOR
 8 INSULATE HOT WATER SUPPLY & LAVATORY DRAIN PIPE TO PREVENT ACCIDENTAL BURNING OF HANDICAPPED PERSONS.

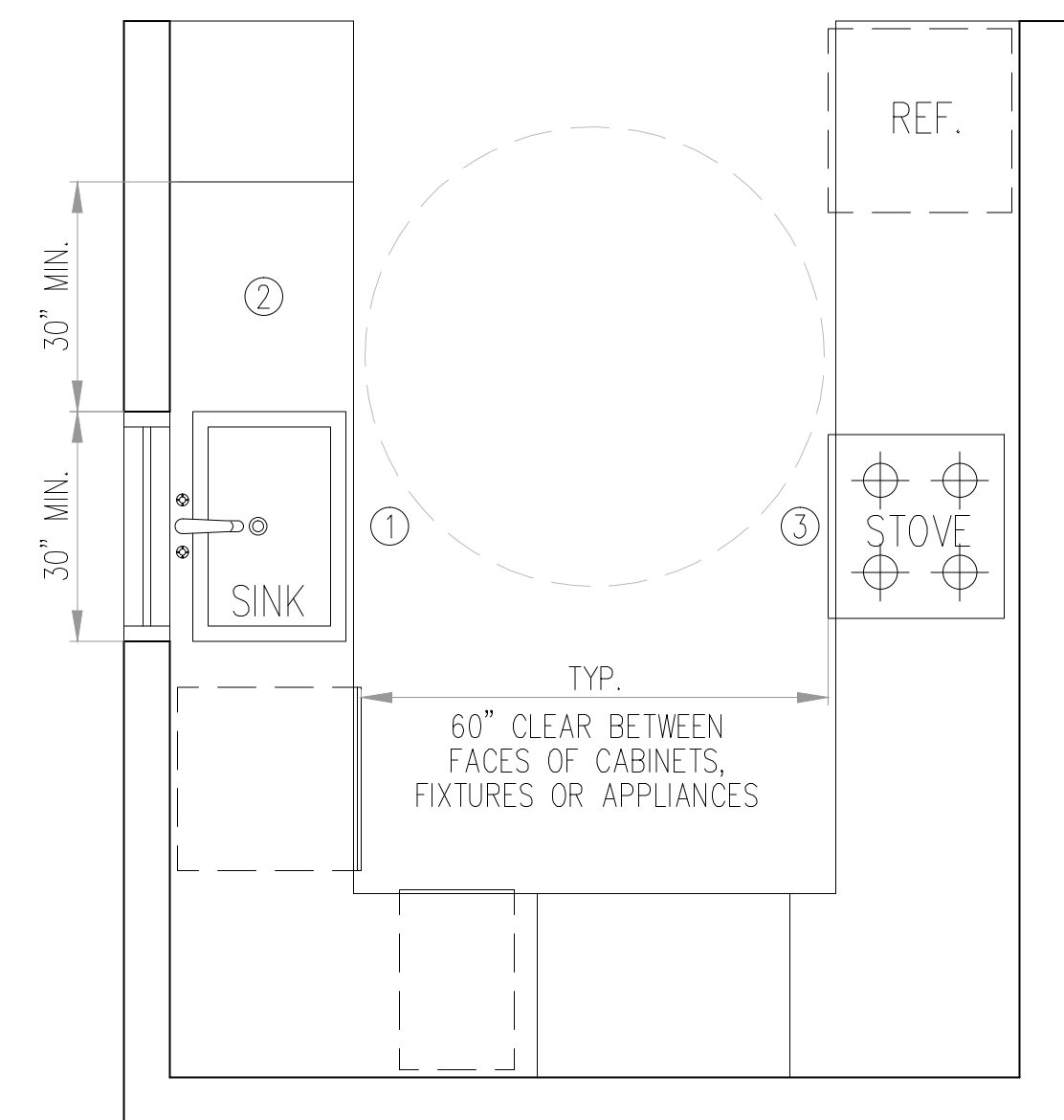
REPOSITIONABLE COUNTERTOPS - EXCEPTIONS (1133A.4.1)

- 6.i) STONE, CULTURED AND TILED COUNTERTOPS MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS.
 6.ii) TWO 15-INCH MINIMUM WIDTH BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30" OF COUNTERTOP WORK SURFACE.



TYPICAL KITCHEN

FIGURE 11A-10A



"U" SHAPED KITCHEN

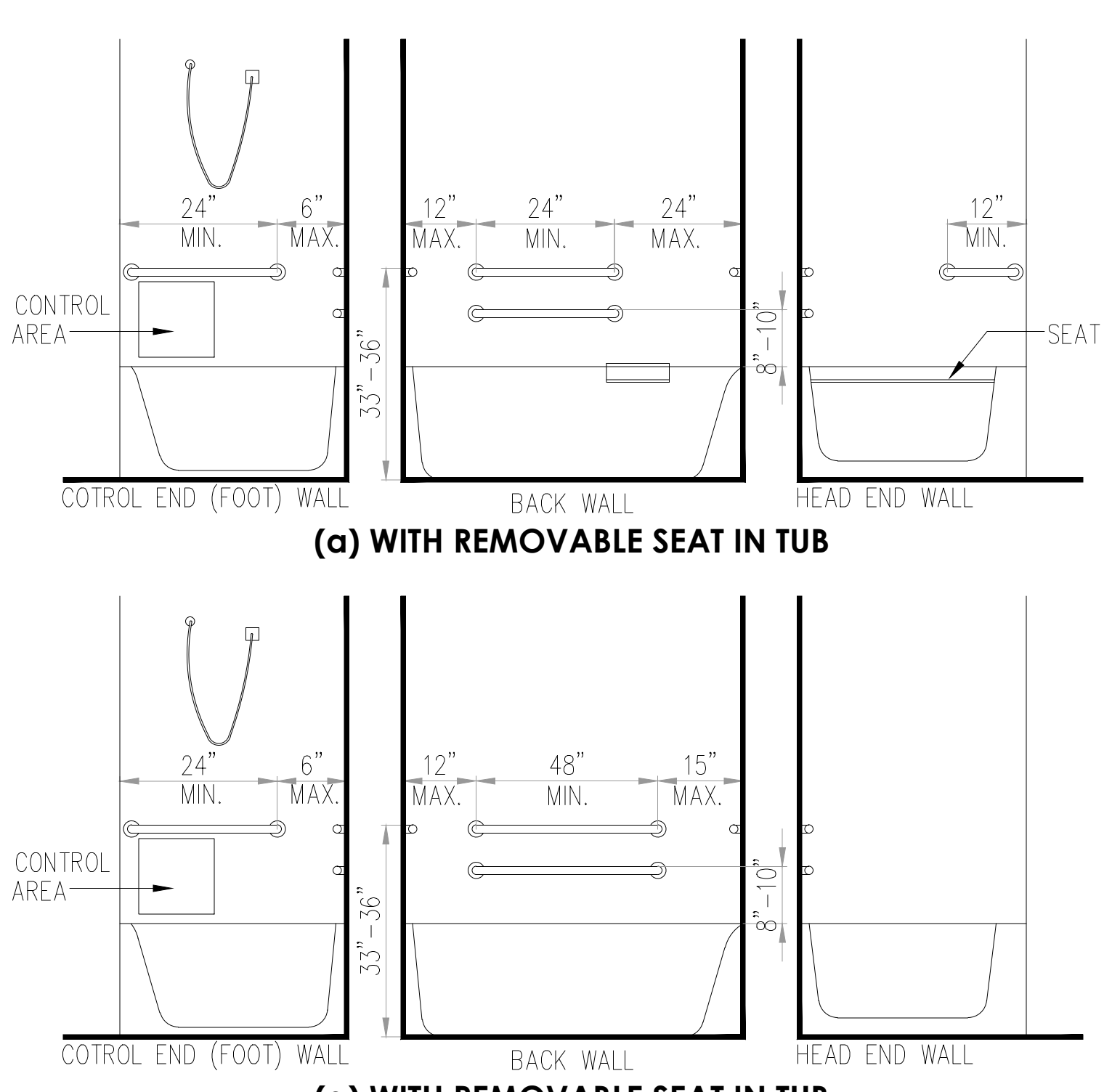
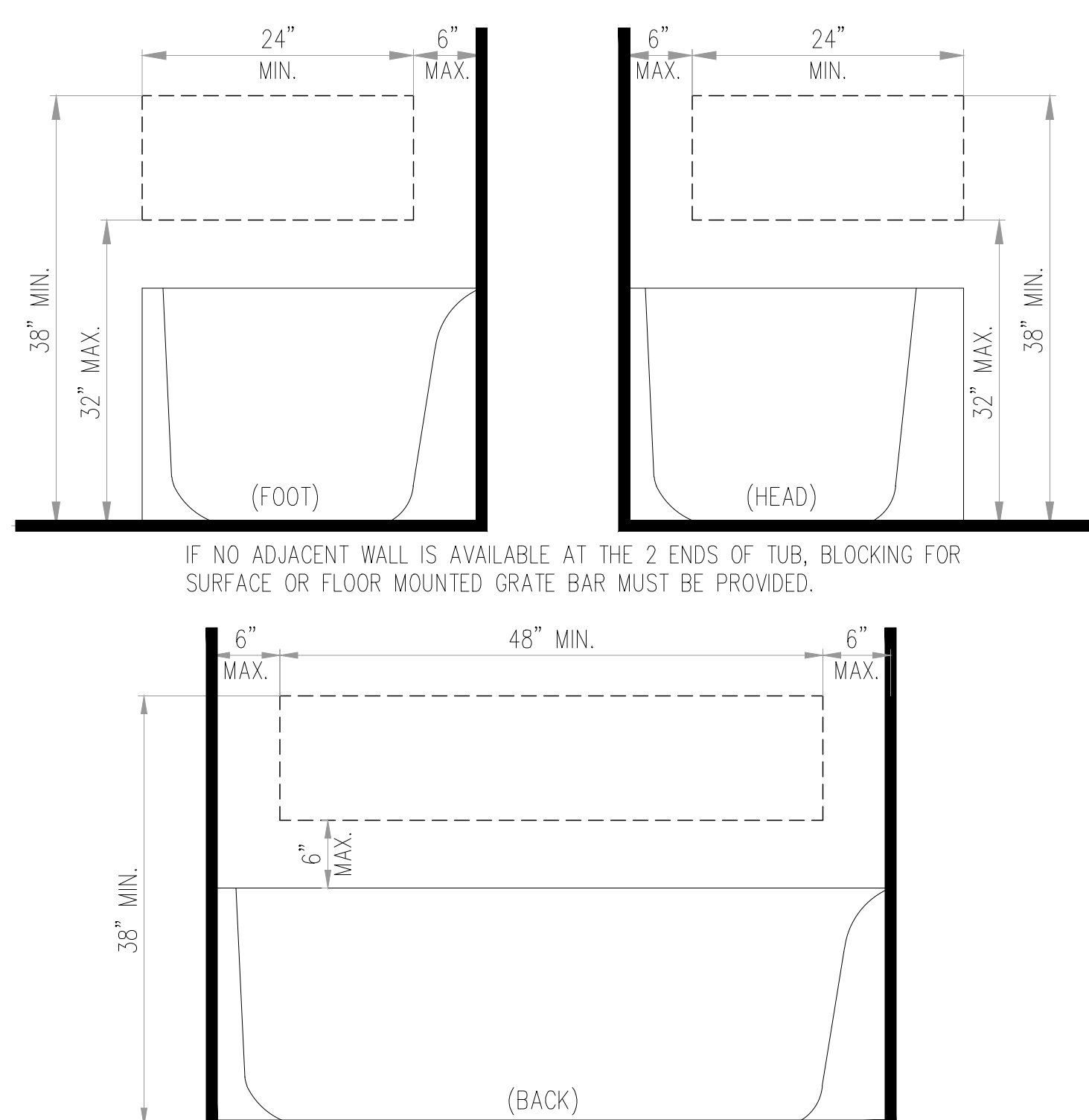
KEYNOTES:

- 30-INCH WIDE COUNTER TOP SPACE FOR SINK INSTALLATION WITH REMOVABLE BASE CABINETS AND FINISH FLOORING BENEATH SINK
- 30-INCH WIDE COUNTER TOP WORKSPACE
- 30-INCH BY 48-INCH CLEAR SPACE ADJACENT TO RANGE OR COOKTOP TO ALLOW PARALLEL APPROACH
- 30-INCH BY 48-INCH EITHER PARALLEL APPROACH AT OVEN, DISHWASHER, TRASH COMPACTOR OR REFRIGERATOR

REPOSITIONABLE COUNTERTOPS - EXCEPTIONS (1133A.4.1)
 6.i) STONE, CULTURED AND TILED COUNTERTOPS MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS
 6.ii) TWO 15-INCH MINIMUM WIDTH BREADBOARDS MAY BE PROVIDED IN LIEU OF THE REQUIRED 30" OF COUNTERTOP WORK SURFACE.

KITCHEN COUNTER

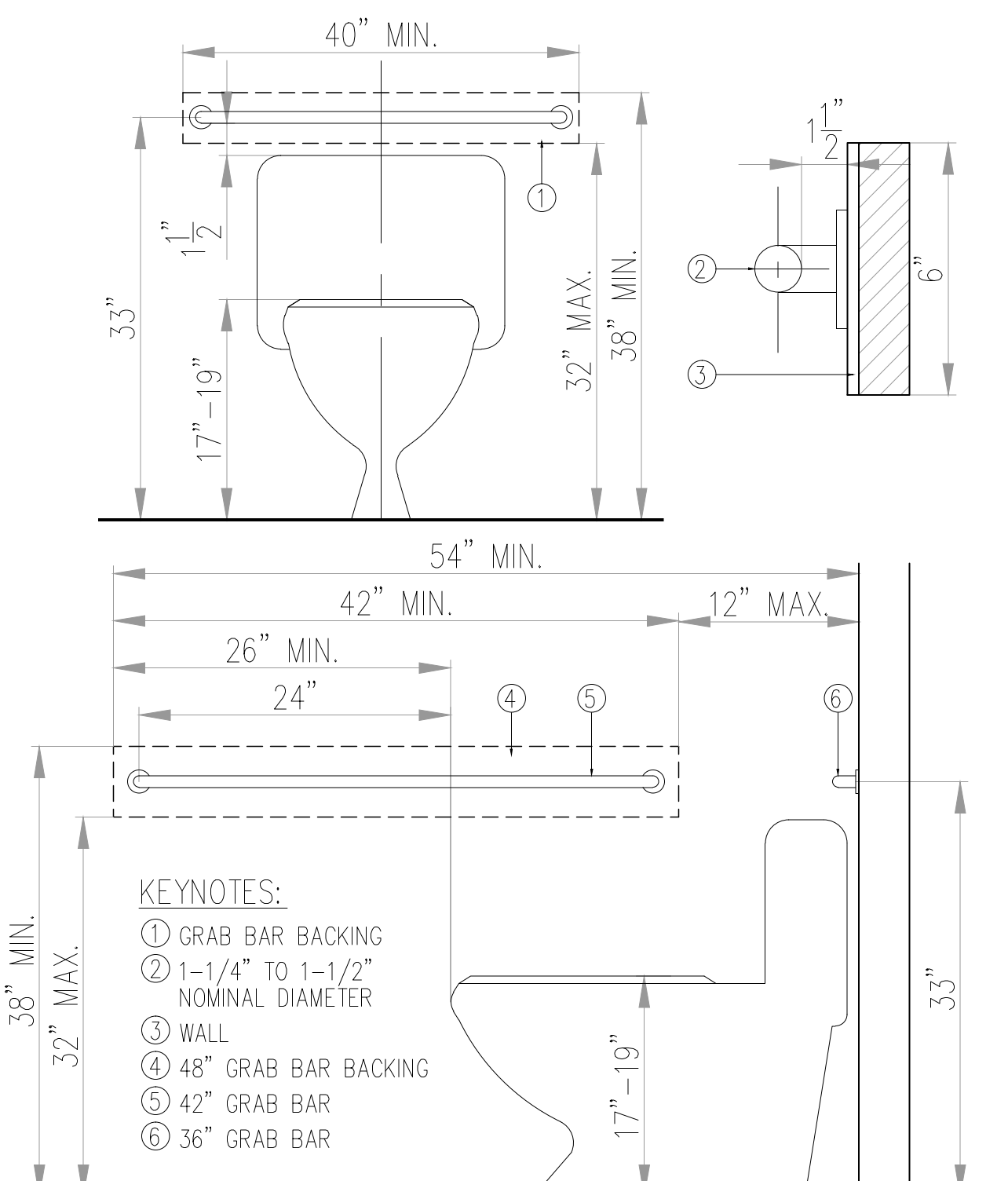
5 KITCHEN COUNTER



THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS & IS INTENDED ONLY AS AN AID FOR THE BUILDING DESIGN AND CONSTRUCTION.

6 LAVATORY (IN UNITS)

7

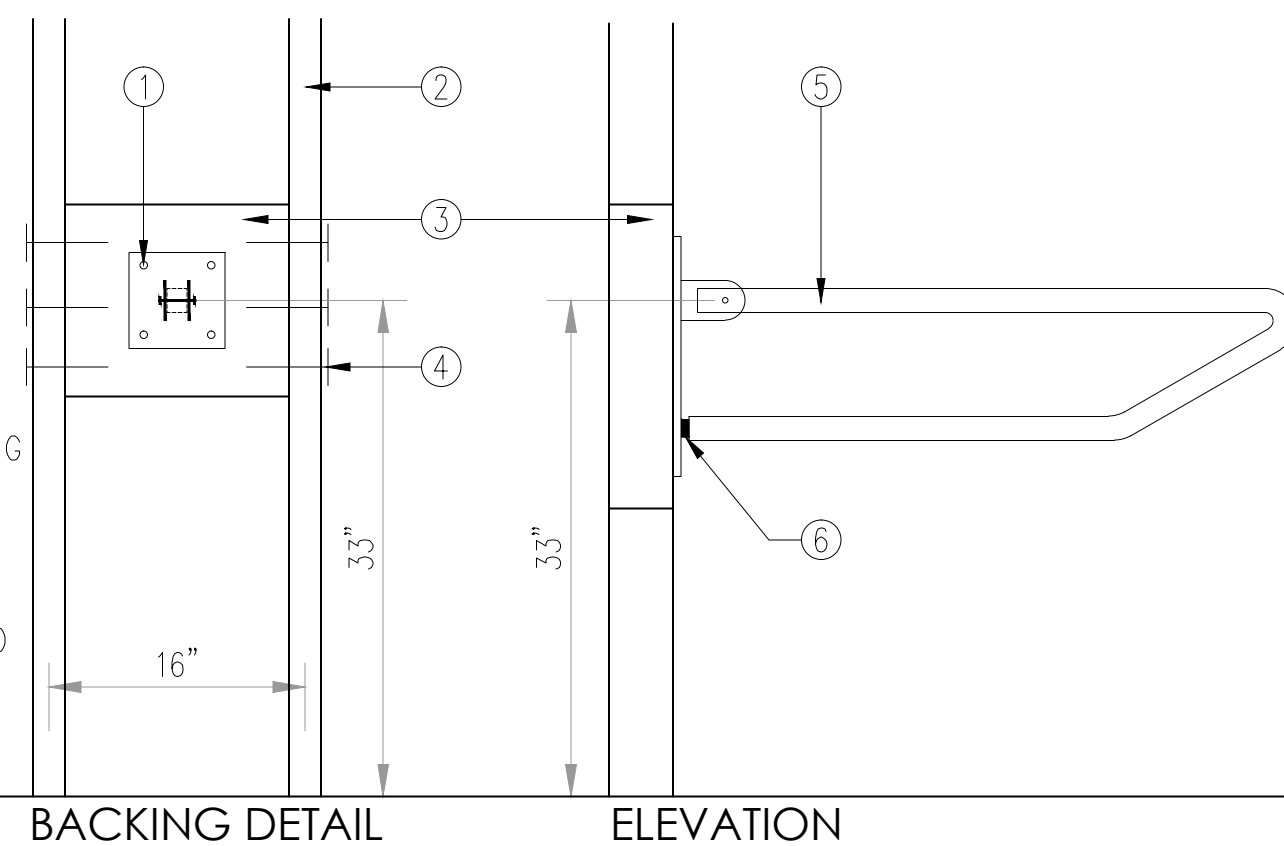


CODE:

- 1134A.8 Lavatories, Vanities, mirrors and towel fixtures.
 1. **Location.** Vanities and Lavatories shall be installed with the centerline of the fixture a minimum of 24 inches (610 mm) horizontally from an adjoining wall or fixture to allow for forward approach. When a parallel approach is provided, lavatories shall be installed with the centerline of the fixture a minimum of 24 inches (610 mm) horizontally from an adjoining wall or fixture. The top of the fixture rim shall be a maximum of 34 inches (864 mm) above the finished floor.
 2. **Floor Space.** A clear maneuvering space of at least 30 inches by 48 inches (762 mm by 1219 mm) shall be provided at lavatories and shall be centered on the lavatory.
 3. **Cabinets.** Cabinets under lavatories are acceptable provided the bathroom has space to allow a parallel approach by a person in a wheelchair and the lavatory cabinets are designed with adaptable knee and toe space. Removable (typical)
 1134A.7 Water Closets
 2. **Reinforce walls for grab bars.** Where the water closet is not placed adjacent to a side wall, the bathroom shall have provisions for installation of floor-mounted, fold-away or similar alternative grab bars.
 1132A.5 Maneuvering Clearances at doors.
 1. Maneuvering clearances at interior doors shall provide a minimum length on both sides of the door at least 42 inches (1067 mm) measured at a right angle to the plane of the door in its closed position.
Exceptions:
 1. A 39-inch (991 mm) length is acceptable when a minimum clear opening with of 34 inches (864 mm) is provided.

KEYNOTES:

- BOLT PER MANUFACTURING
- METAL STUD
- BACKING
- 16D NAIL
- WALL MOUNTED FOLD UP GRAB BAR
- RUBBER BUMPS



GRAB BAR REINFORCEMENT FOR ADAPTABLE TUBS

8 GRAB BARS @ BATHTUBS

9 GRAB BAR REINFORCEMENT FOR ADAPTABLE WATER CLOSETS

10 FOLD UP GRAB BAR

11

Sheet Issue & Revision Log	

Developer:
6200 KESTER APARTMENTS, LLC
 23901 CALABASAS RD, SUITE 2010
 CALABASAS, CA 91302

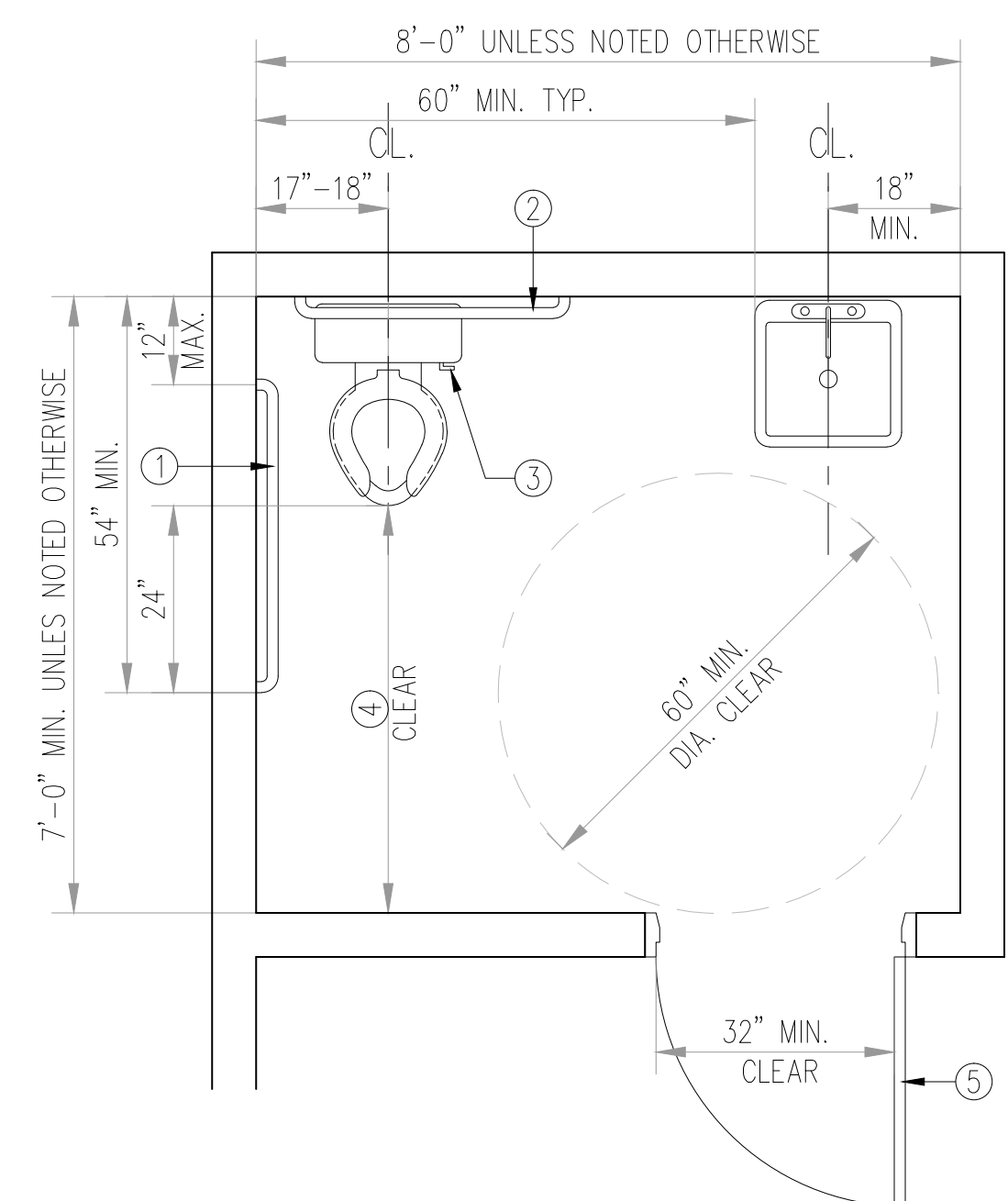
Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
 6200 N. KESTER AVE.
 VAN NUYS, CA 91411

Architect:
DARYOUSH SAFAI
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 2932 Wilshire Boulevard, #210
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 www.architect.com

Architect Stamp:

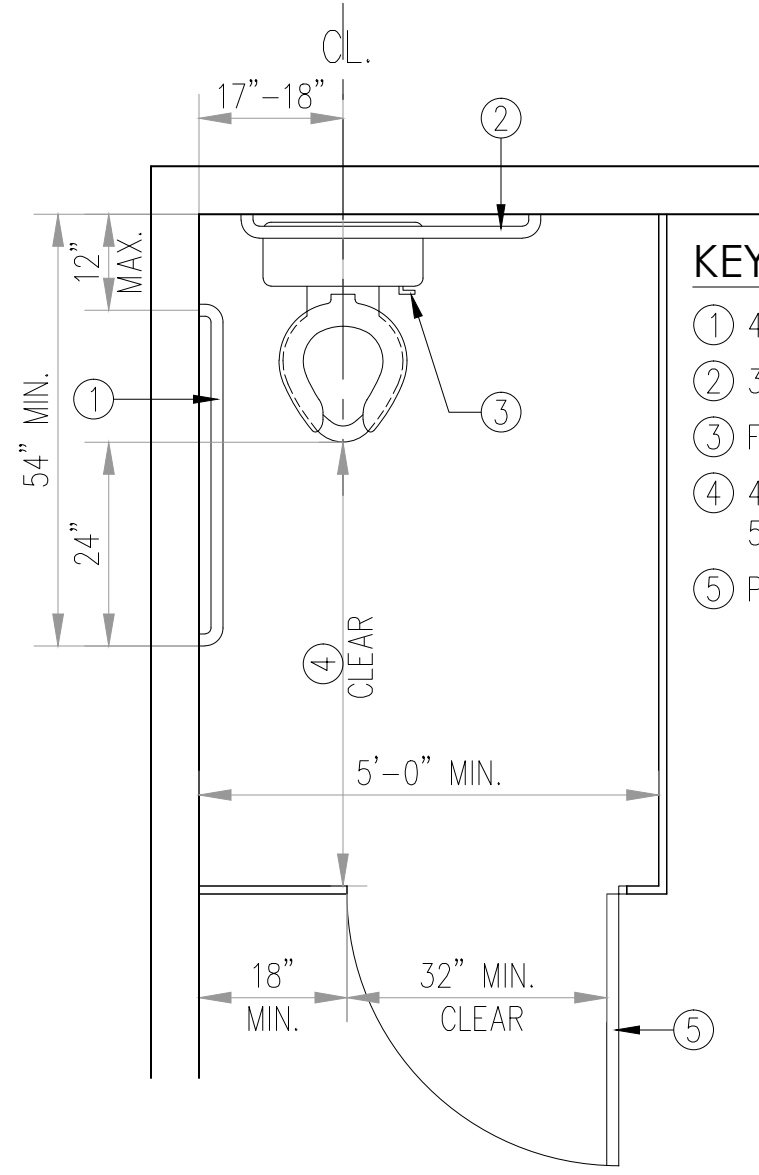
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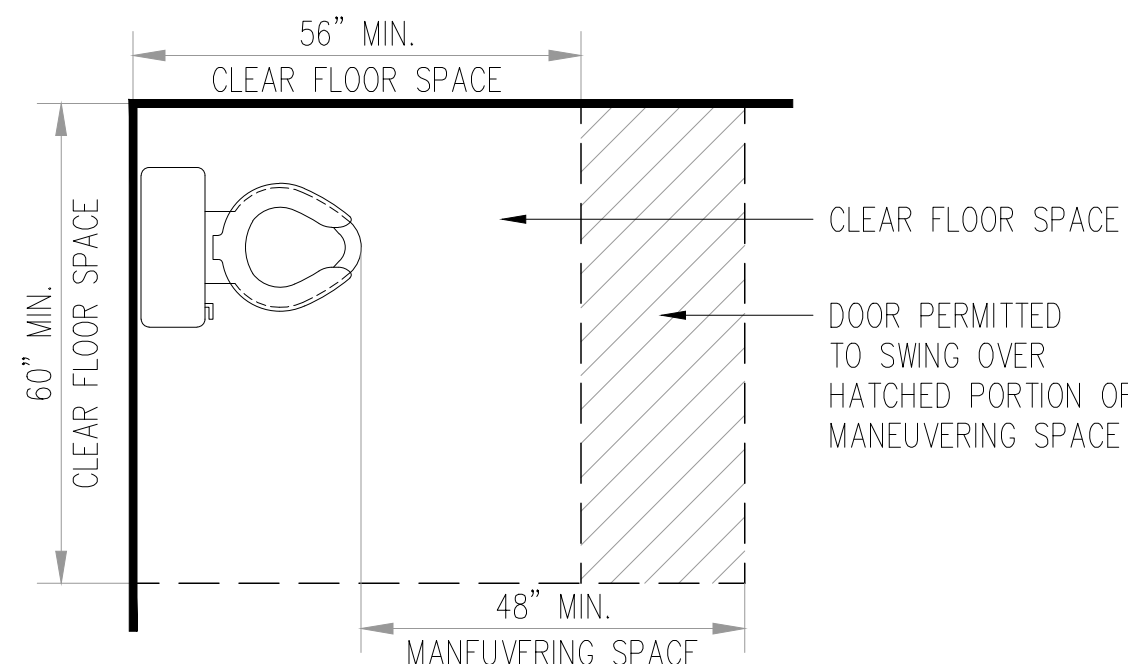
KEYNOTES:

- ① 42" GRAB BAR
- ② 36" GRAB BAR
- ③ FLUSH ACTIVATOR ON WIDE SIDE
- ④ 4'-0" MIN (DOOR SWINGS-OUT)
- ⑤ 5'-0" MIN (DOOR SWINGS-IN)
- ⑥ PRIVACY LOCK

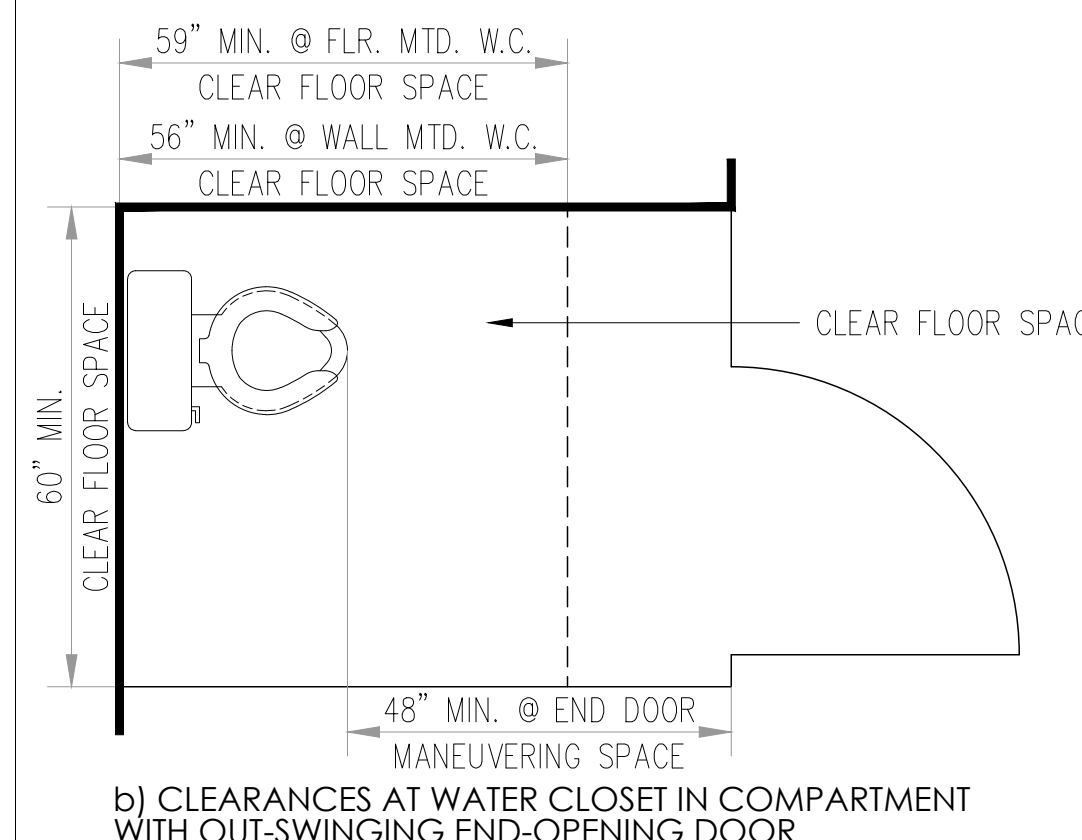


KEYNOTES:

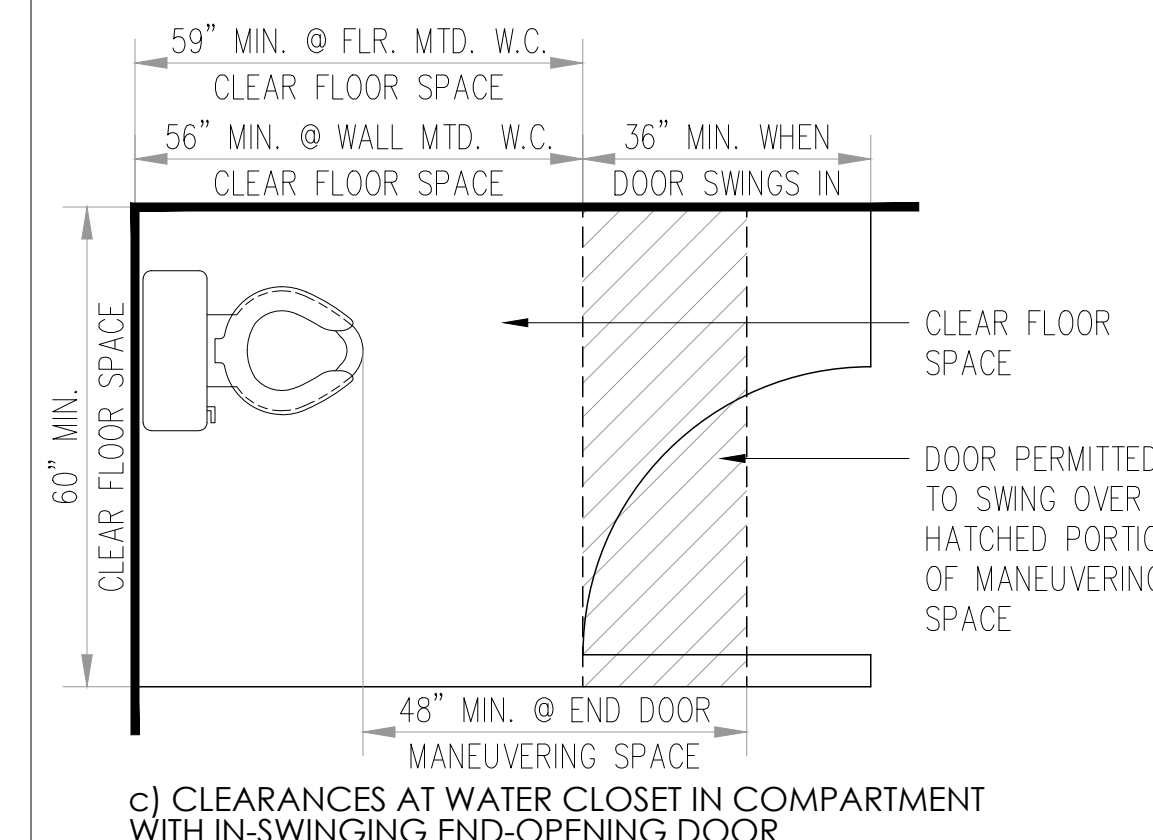
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- ⑤ 5'-0" MIN (DOOR SWINGS-IN)
- ⑥ PRIVACY LOCK



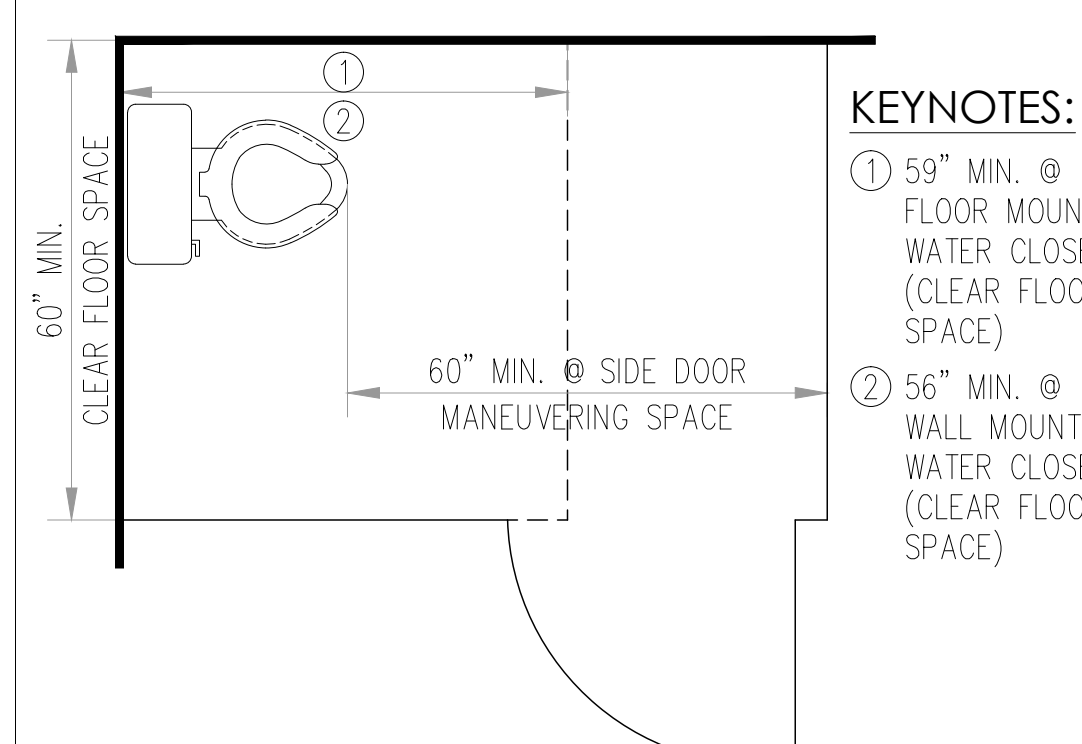
a) CLEARANCES AT WATER CLOSET



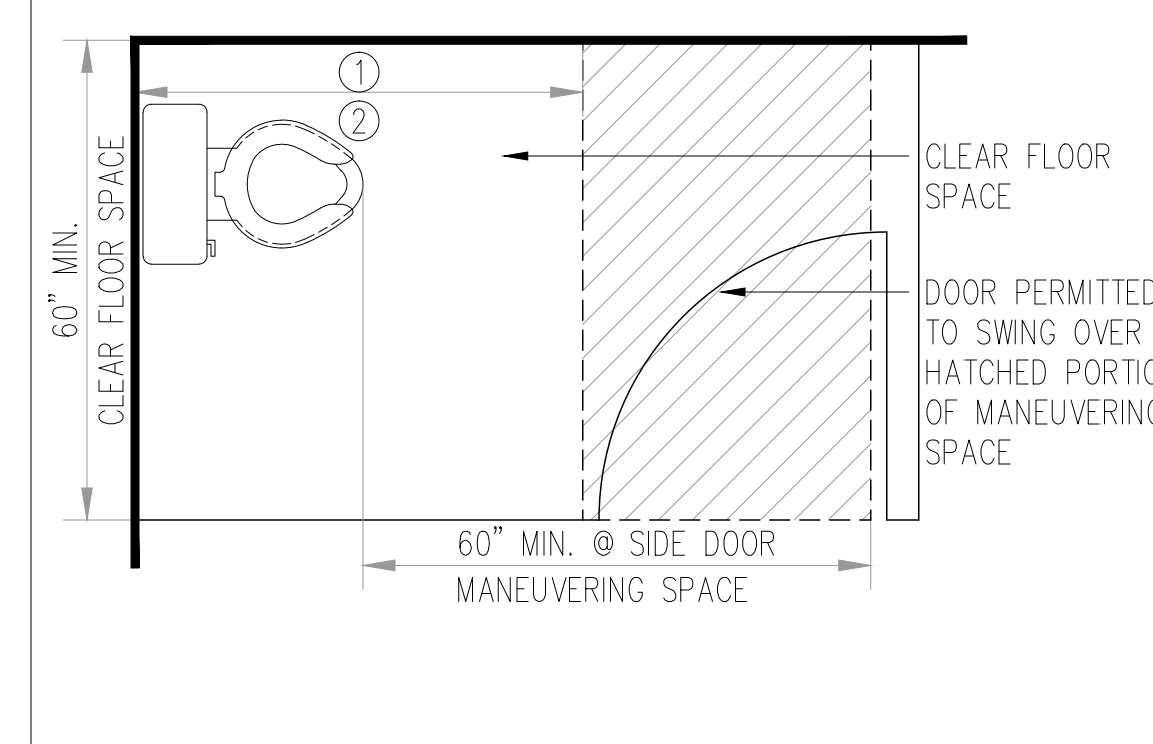
b) CLEARANCES AT WATER CLOSET IN COMPARTMENT WITH OUT-SWINGING END-OPENING DOOR



c) CLEARANCES AT WATER CLOSET IN COMPARTMENT WITH IN-SWINGING END-OPENING DOOR



d) CLEARANCES AT WATER CLOSET IN COMPARTMENT WITH OUT-SWINGING SIDE-OPENING DOOR



e) CLEARANCES AT WATER CLOSET IN COMPARTMENT WITH IN-SWINGING SIDE-OPENING DOOR

SINGLE-ACCOMODATION TOILET

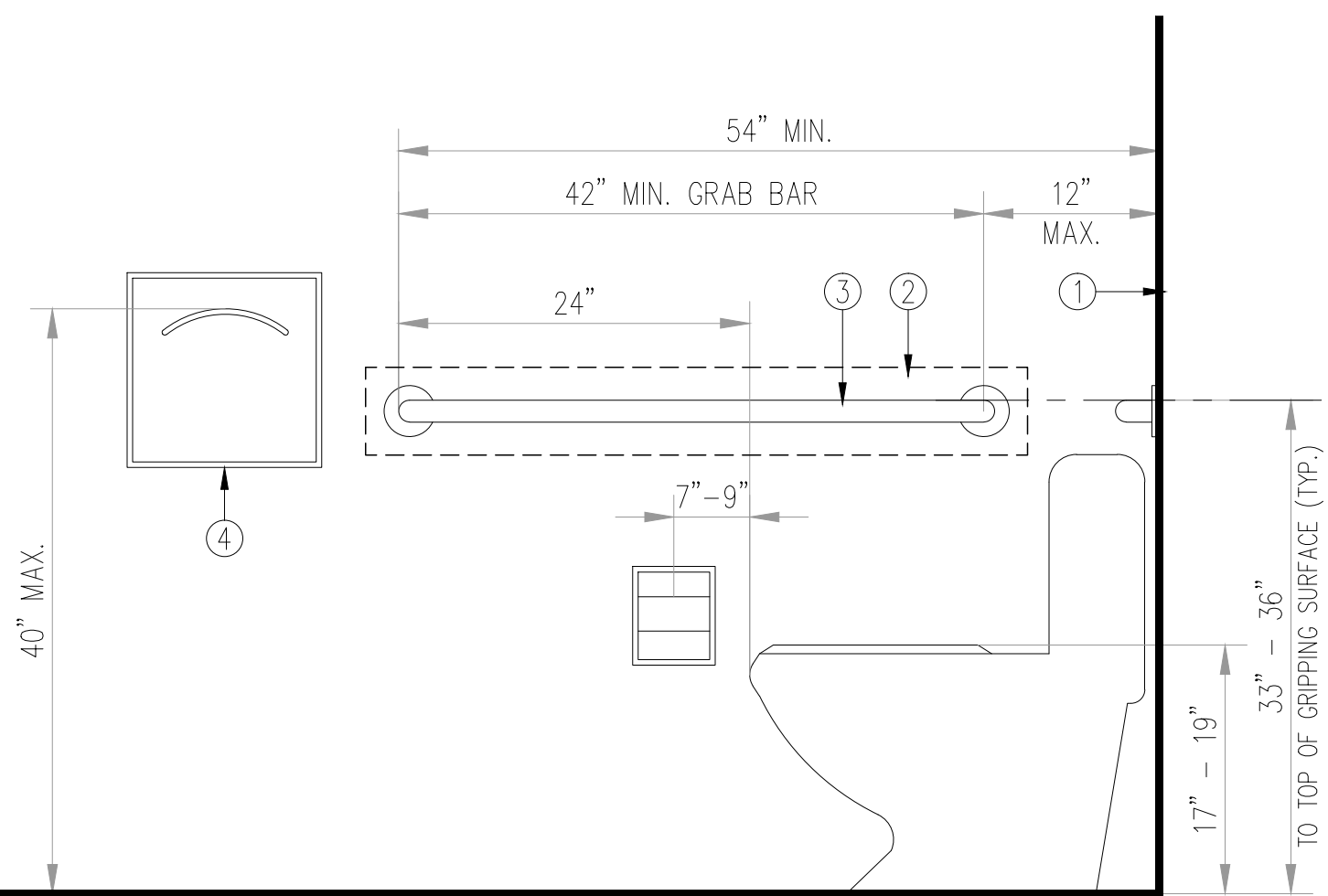
1 MULTIPLE-ACCOMODATION TOILET

2 CLEARANCES AT WATER CLOSETS

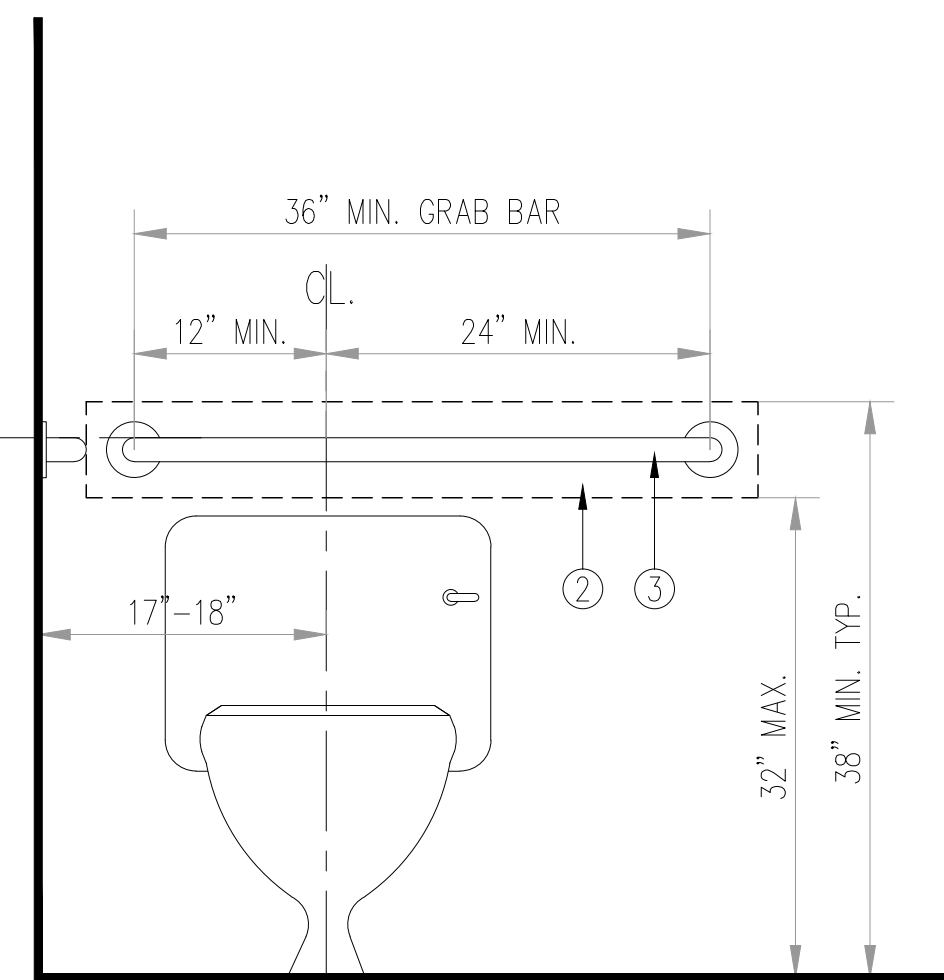
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KEYNOTES:

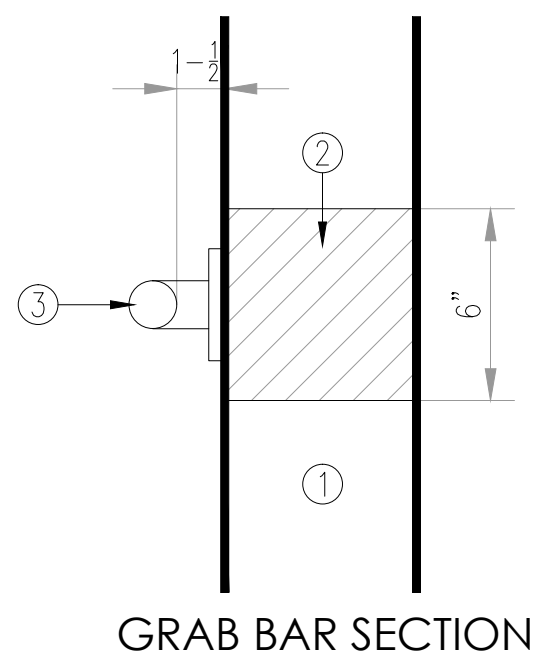
- ① WALL
- ② 48" GRAB BAR BACKING
- ③ 1-1/4" TO 1-1/2" NOMINAL DIAMETER
- ④ ALL DISPENSERS +40" MAX. TO HIGHEST OPERABLE PART



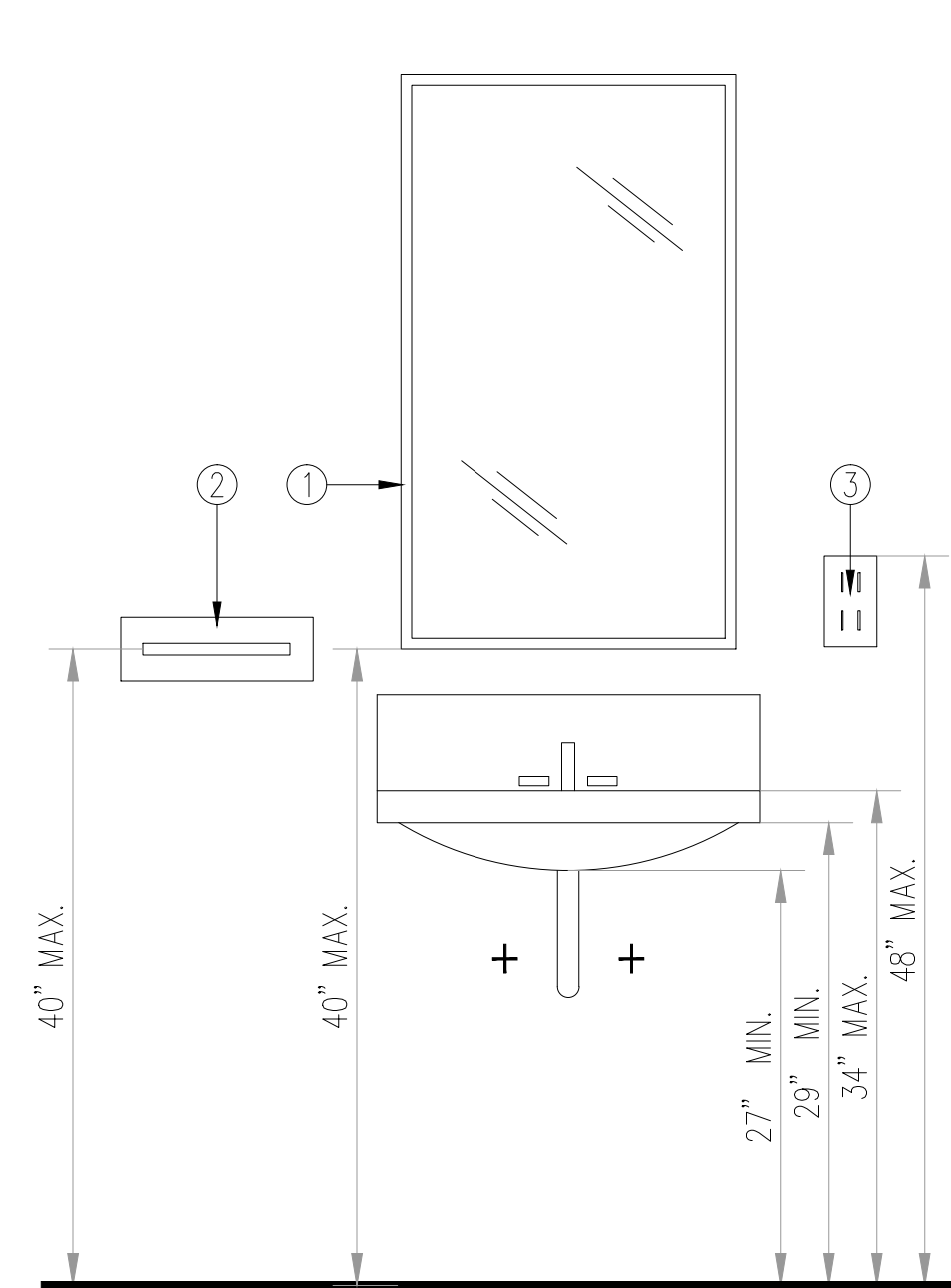
SIDE WALL ELEVATION



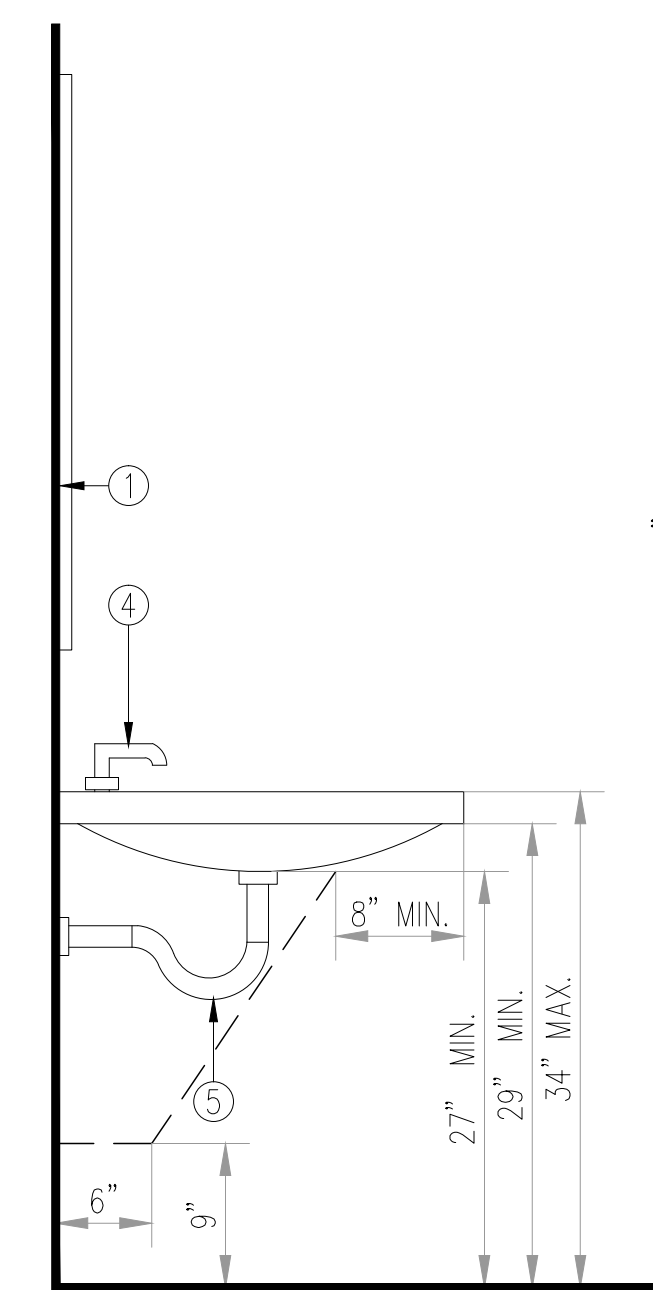
REAR WALL ELEVATION



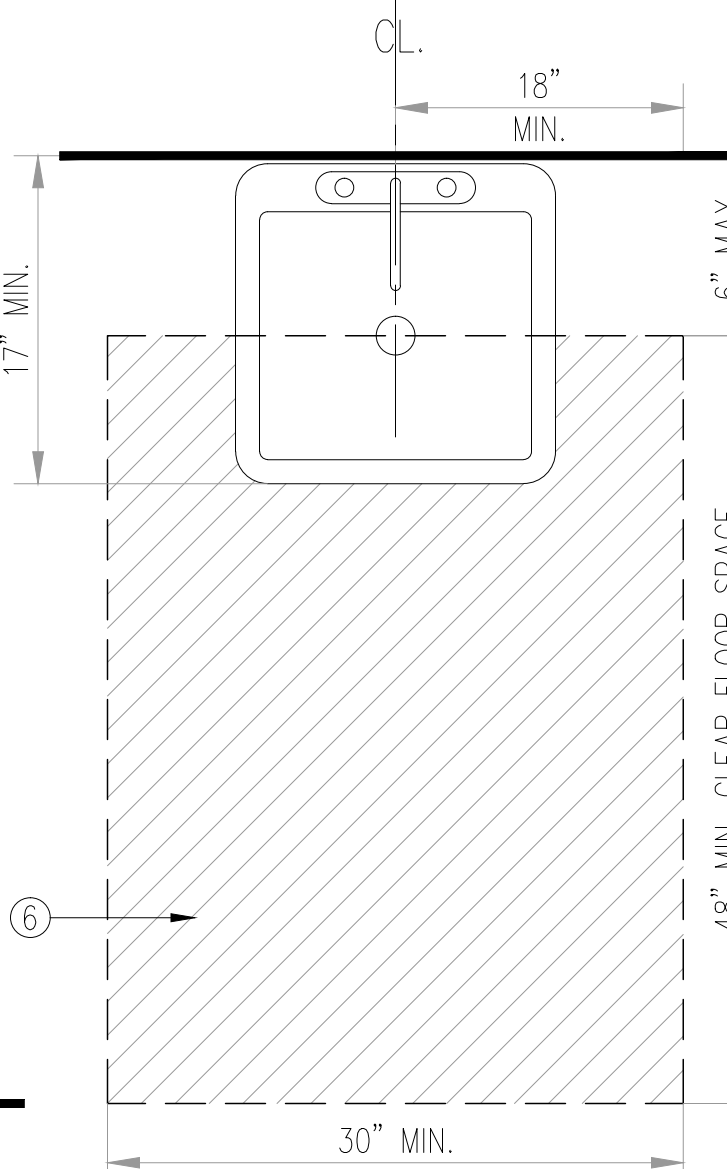
GRAB BAR SECTION



ELEVATION



SECTION



PLAN

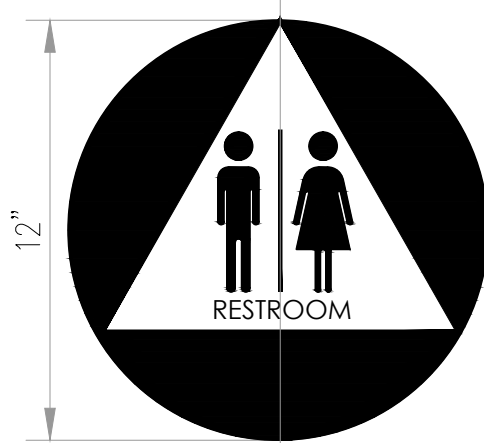
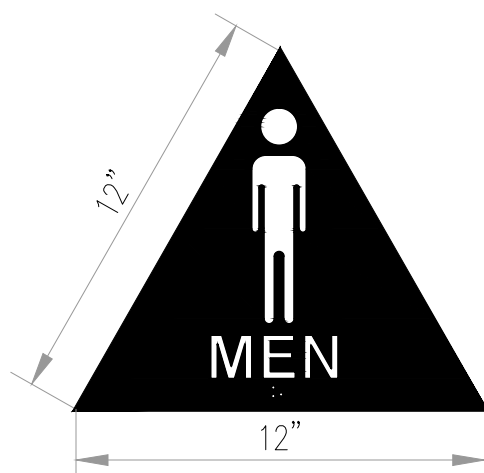
KEYNOTES:

- ① MIRROR
- ② PAPER TOWEL DISPENSER
- ③ RECEPTACLE
- ④ LEVER TYPE FAUCET
- ⑤ INSULATE HOT WATER SUPPLY & LAVATORY DRAIN PIPE TO PREVENT ACCIDENTAL BURNING OF HANDICAPPED PERSONS
- ⑥ CLEAR FLOOR AREA

SECTION/ELEVATION THRU STALL

4 LAVATORY (IN COMMON/PUBLIC AREAS)

5

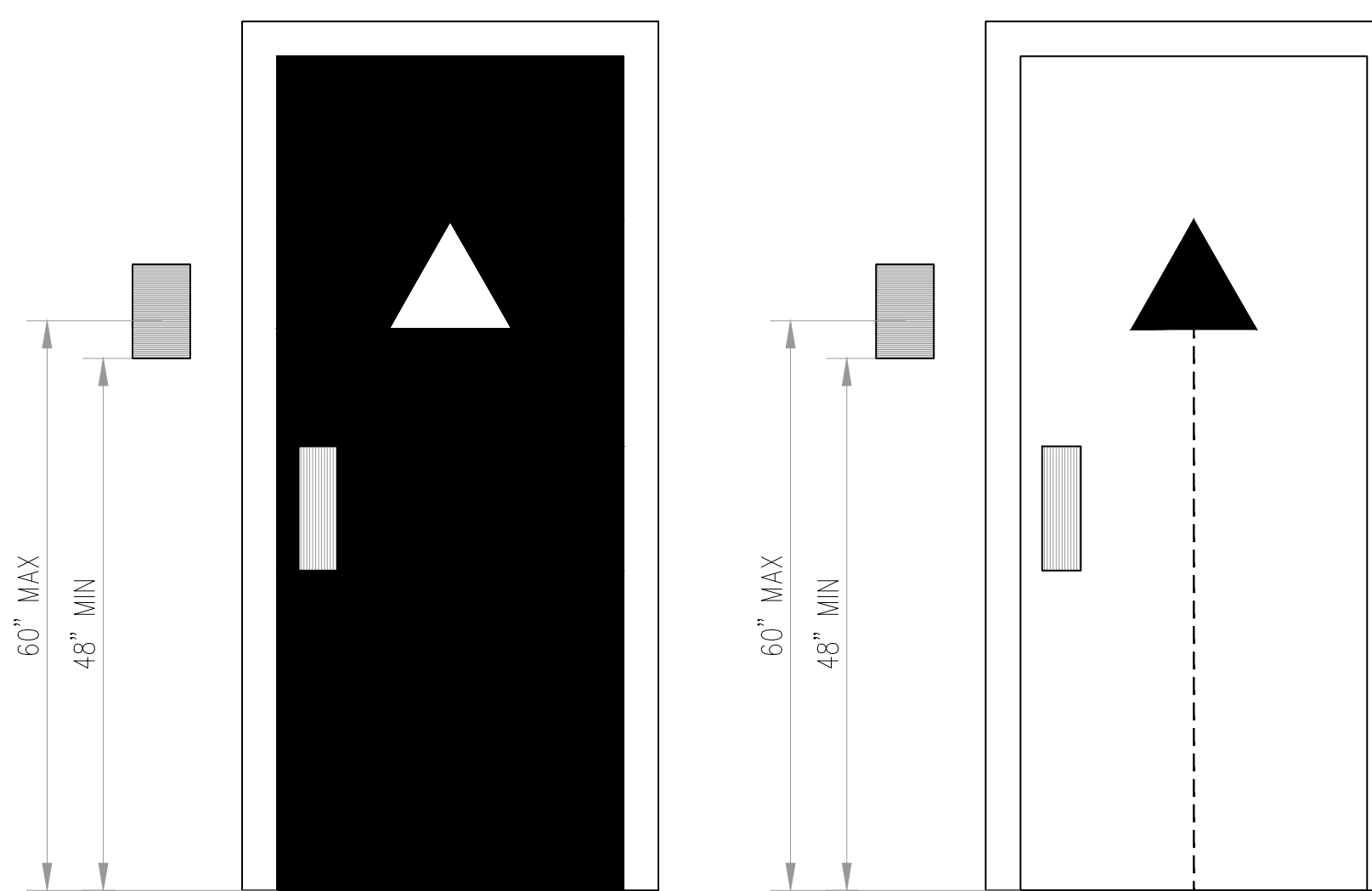


6 SYMBOL

TACTILE RESTROOM SIGNAGE AND CONTRASTING RESTROOM SYMBOLS

7 CONTRASTING RESTROOM SYMBOLS CENTERED

8



SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48 INCHES (1220 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60 INCHES (1525 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF DOOR.

No.	Description

Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

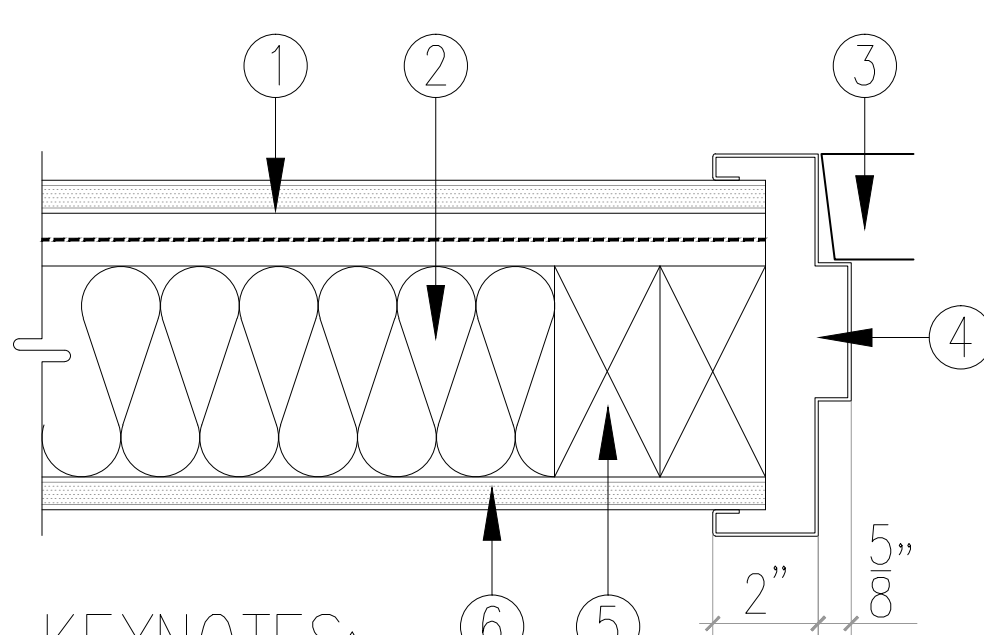
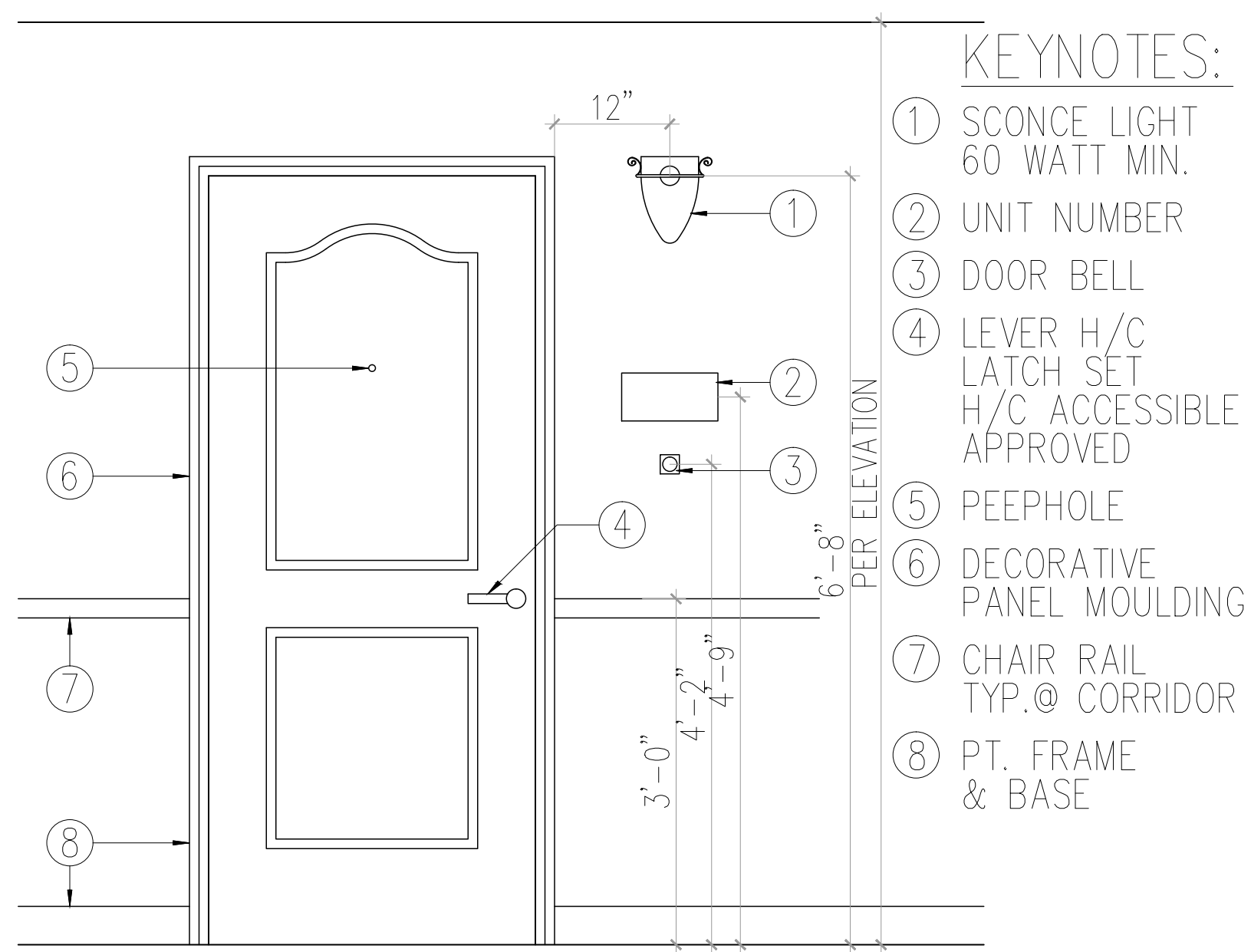
Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:
DARYOUSH SAFAI
AIA
Architect
2932 Wilshire Boulevard, #210
Santa Monica, CA 90403
Tel : (310) 453-3335
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www.arsitect.com

Architect Stamp:

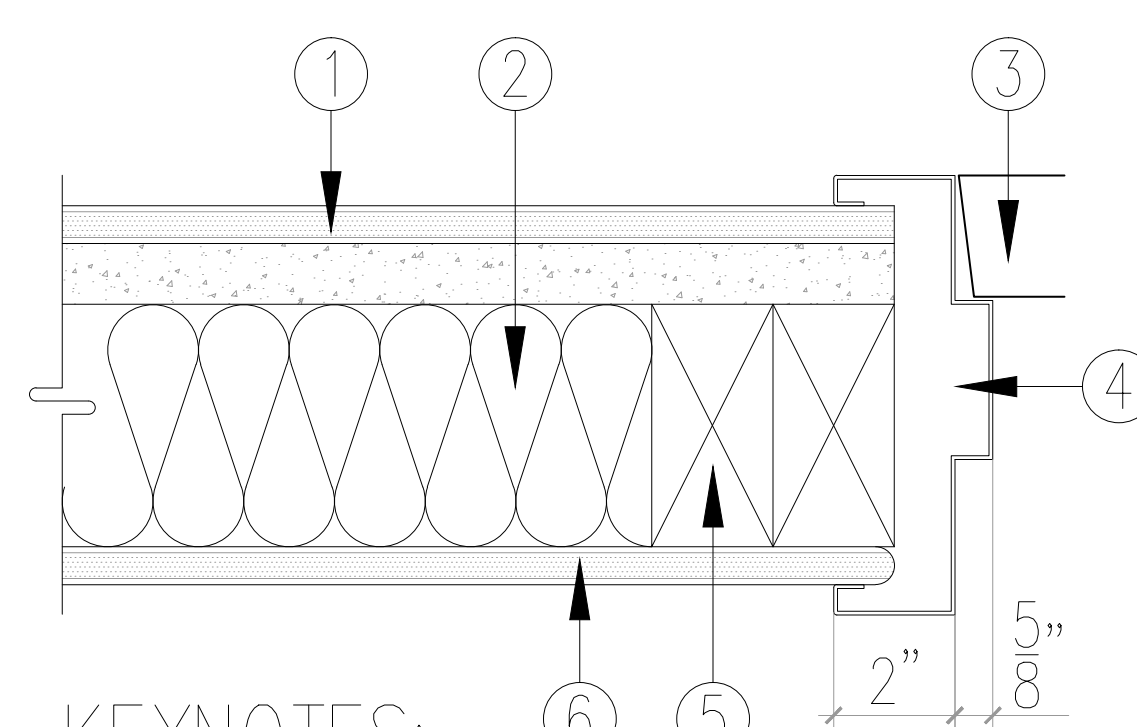
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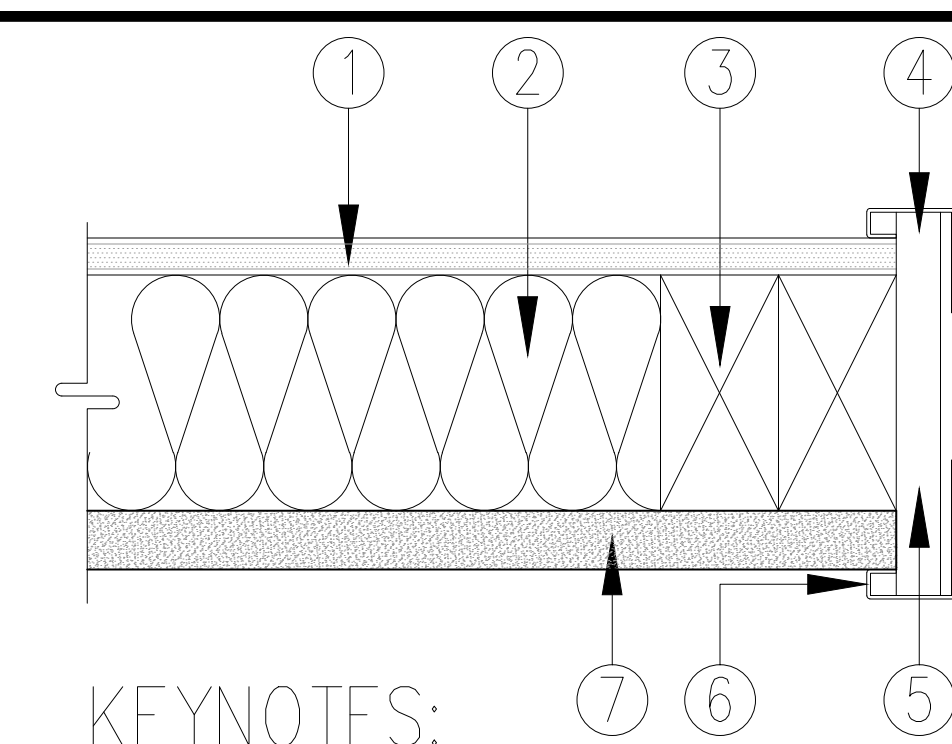


- KEYNOTES:**
- ① 5/8" TYPE "X" GYP. BD. OVER 7/8" THK. RESILIENT CHANNELS @ 16" O.C.
 - ② BATT INSULATION
 - ③ RATED DOOR AS PER SCHEDULE
 - ④ 16 GA. PRESSED STEEL BUILT-UP FRAME
 - ⑤ DOUBLE 2 x 4 JAMB 4 x 6 HDR. @ HEAD
 - ⑥ 5/8" TYPE "X" GYP. BD.

FRAME ASSEMBLY TO HAVE "S" FIRE LABEL



- KEYNOTES:**
- ① 5/8" TYPE "X" GYP. BD. OVER 7/8" THK. RESILIENT CHANNELS @ 16" O.C.
 - ② BATT INSULATION
 - ③ DOOR AS PER SCHEDULE
 - ④ 16 GA. HOLLOW METAL FRAME
 - ⑤ DOUBLE 2 x 4 HEAD TYP.
 - ⑥ EXT. PLASTER OVER METAL LATH



- KEYNOTES:**
- ① 5/8" TYPE "X" GYPSUM BD.
 - ② INSULATION WHERE IT OCCURS
 - ③ 2 x 4 STUDS @ 16 O.C.
 - ④ 16 GA. PRESSED STEEL DOOR FRAME W/ FIRE RESISTIVE RATING
 - ⑤ JAMB ANCHORS 3 PER JAMB
 - ⑥ SEALANT
 - ⑦ 7/8" MIN. THK. CEMENT PLASTER (STUCCO) OVER PAPER BACKED METAL LATH

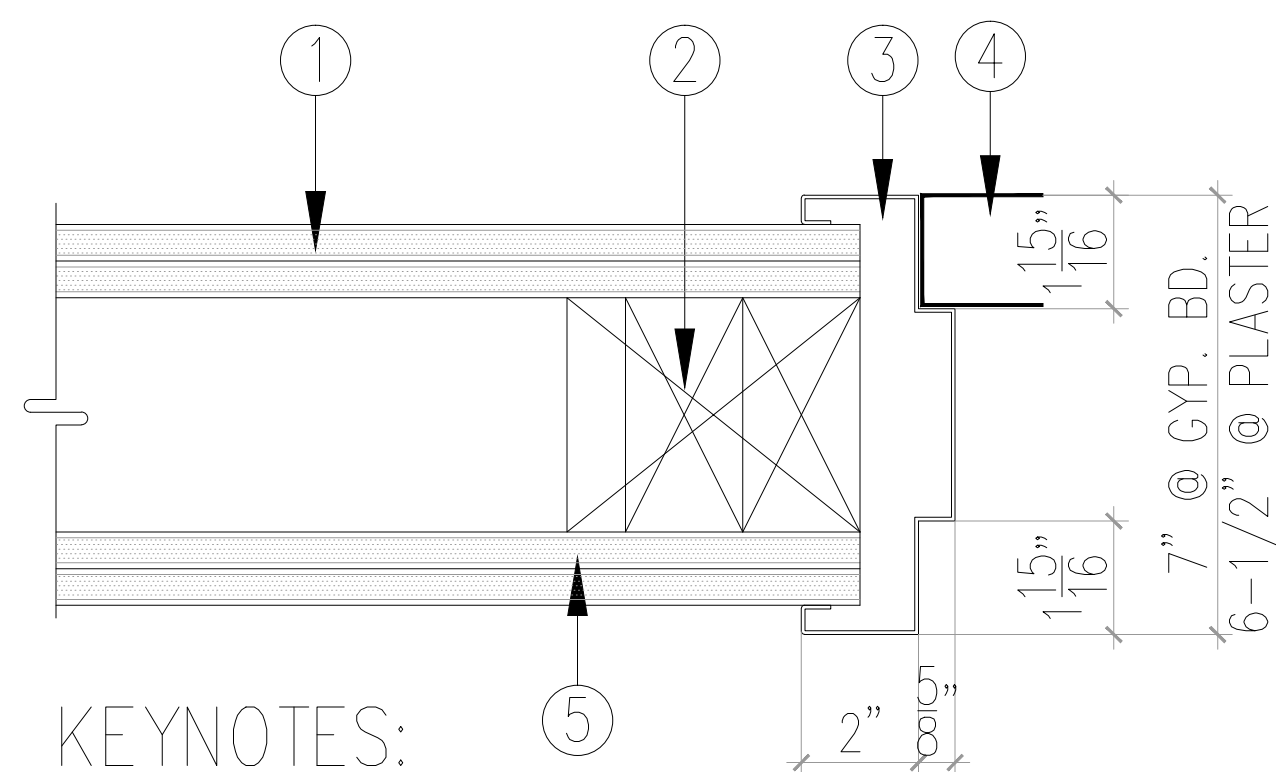
EXIT DOOR

1 ENTRY DOOR & JAMB

2 EXTERIOR ENTR DOOR & JAMB

3 1-HR FIRE RESISTIVE JAMB

4



- KEYNOTES:**
- ① 2 LAYERS 5/8" TYPE "X" GYP. BD. OR EXT. STUCCO @ EXTERIOR SIDE OVER 1 LAYER GYP. BD.
 - ② 4 x HEADER OR 2-2 x 4 JAMB W/ JAMB ANCHORS
 - ③ 16 GA. METAL FRAME
 - ④ RATED DOOR AS PER SCHEDULE
 - ⑤ 2 LAYERS OF 5/8" TYPE "X" GYP. BD.

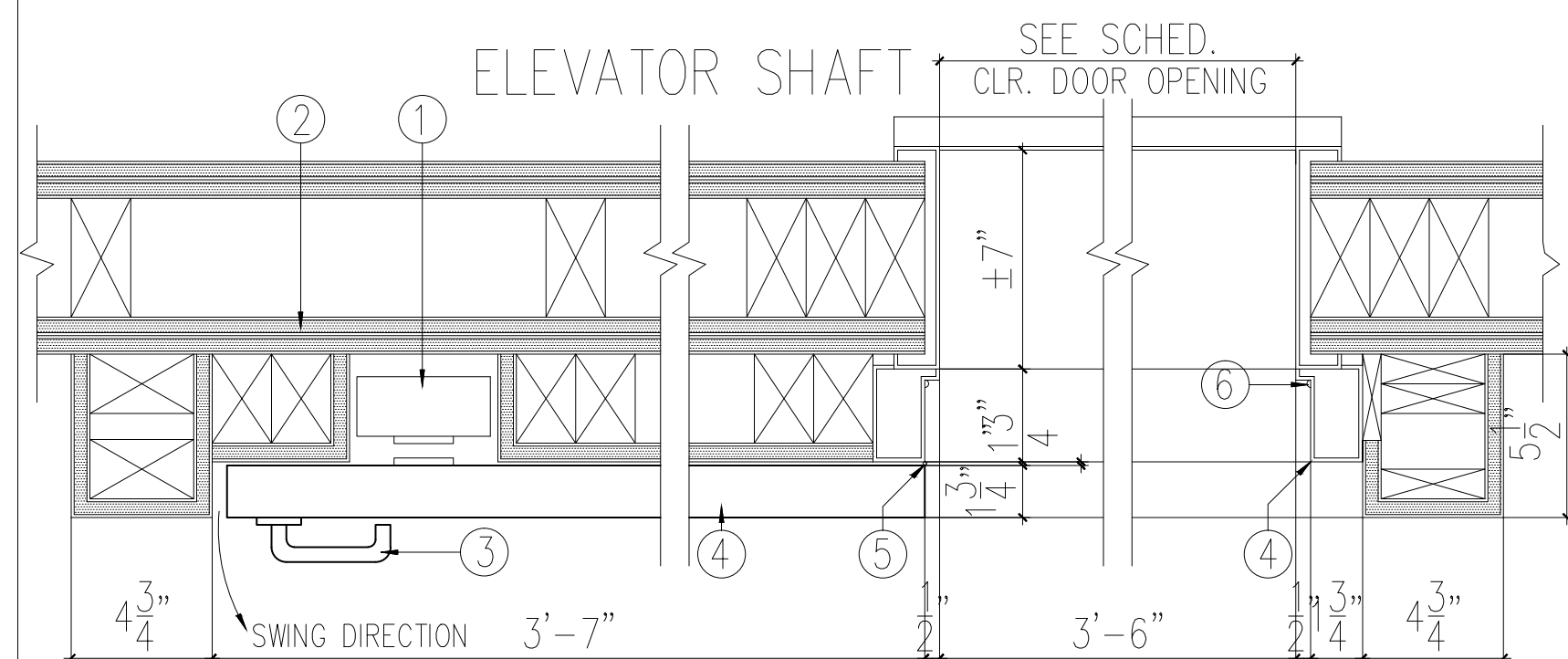
HOLLOW METAL FRAME @ 2-HR WALL

5 FLIP DOOR OVER ELEVATOR

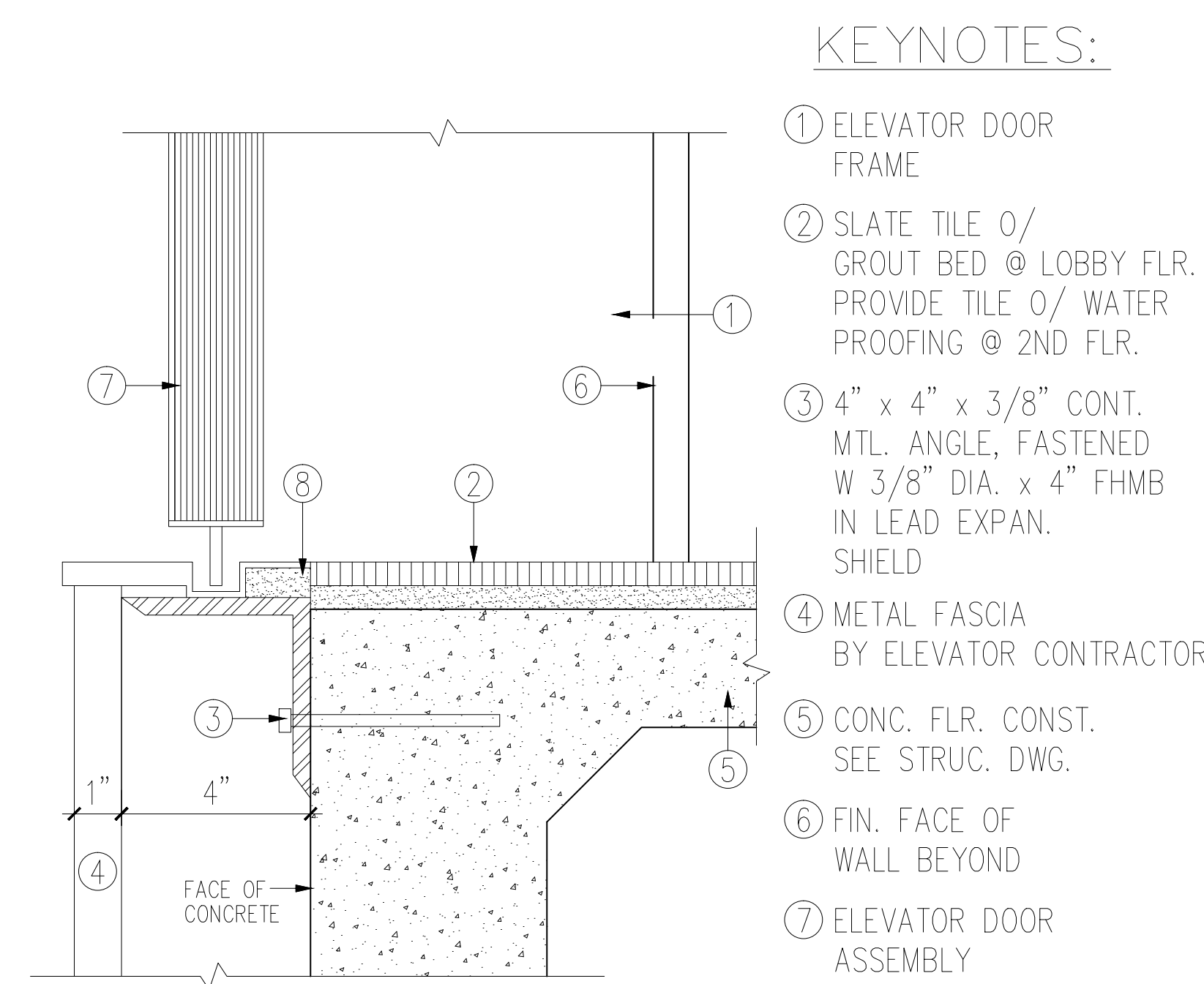
6 ELEVATOR DOOR SILL @ CONC. FLOOR

7 ROLL-UP DOOR & HEAD

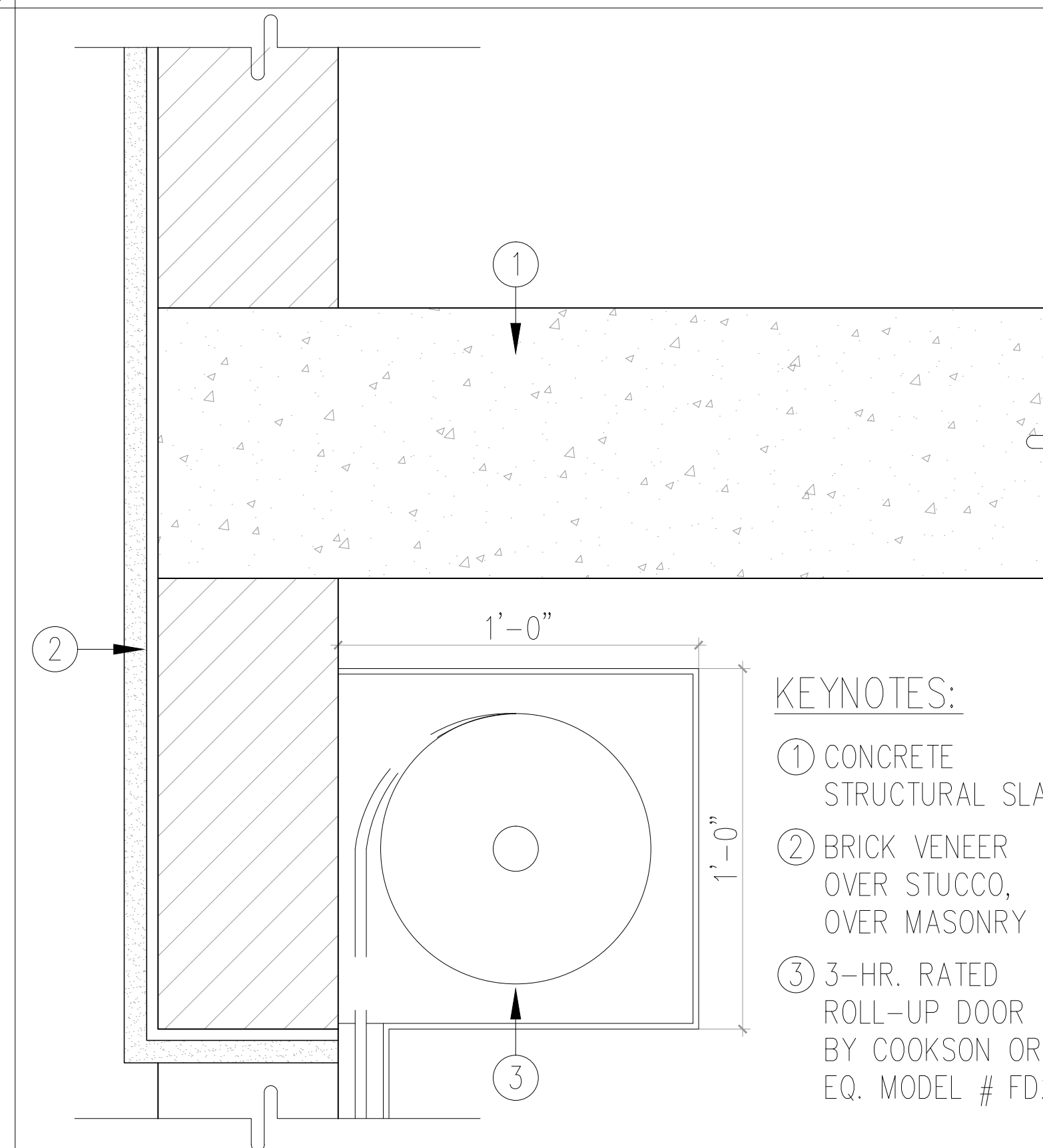
8



- KEYNOTES:**
- ① PRODUCTS OF COMBUSTION ELECTRO-MAGNETIC HOLD-OPEN DEVICE
 - ② 2 LAYERS OF 5/8" TYPE "X" GYP. BD. @ EA. SIDE OF 2x4 STUDS @ 16" O.C.
 - ③ BLDG. STD. HARDWARE
 - ④ 20 MIN. LABELED DOOR & FRAME, PRIMED & PAINTED
 - ⑤ BUTT HINGE
 - ⑥ POLYPROPYLENE SELF-ADHESIVE SMOKE GASKET



- KEYNOTES:**
- ① ELEVATOR DOOR FRAME
 - ② SLATE TILE O/ GROUT BED @ LOBBY FLR. PROVIDE TILE O/ WATER PROOFING @ 2ND FLR.
 - ③ 4" x 4" x 3/8" CONT. MTL. ANGLE, FASTENED W 3/8" DIA. x 4" FHMB IN LEAD EXPAN. SHIELD
 - ④ METAL FASCIA BY ELEVATOR CONTRACTOR
 - ⑤ CONC. FLR. CONST. SEE STRUC. DWG.
 - ⑥ FIN. FACE OF WALL BEYOND
 - ⑦ ELEVATOR DOOR ASSEMBLY
 - ⑧ GROUT



- KEYNOTES:**
- ① CONCRETE STRUCTURAL SLAB
 - ② BRICK VENEER OVER STUCCO, OVER MASONRY
 - ③ 3-HR. RATED ROLL-UP DOOR BY COOKSON OR EQ. MODEL # FD2

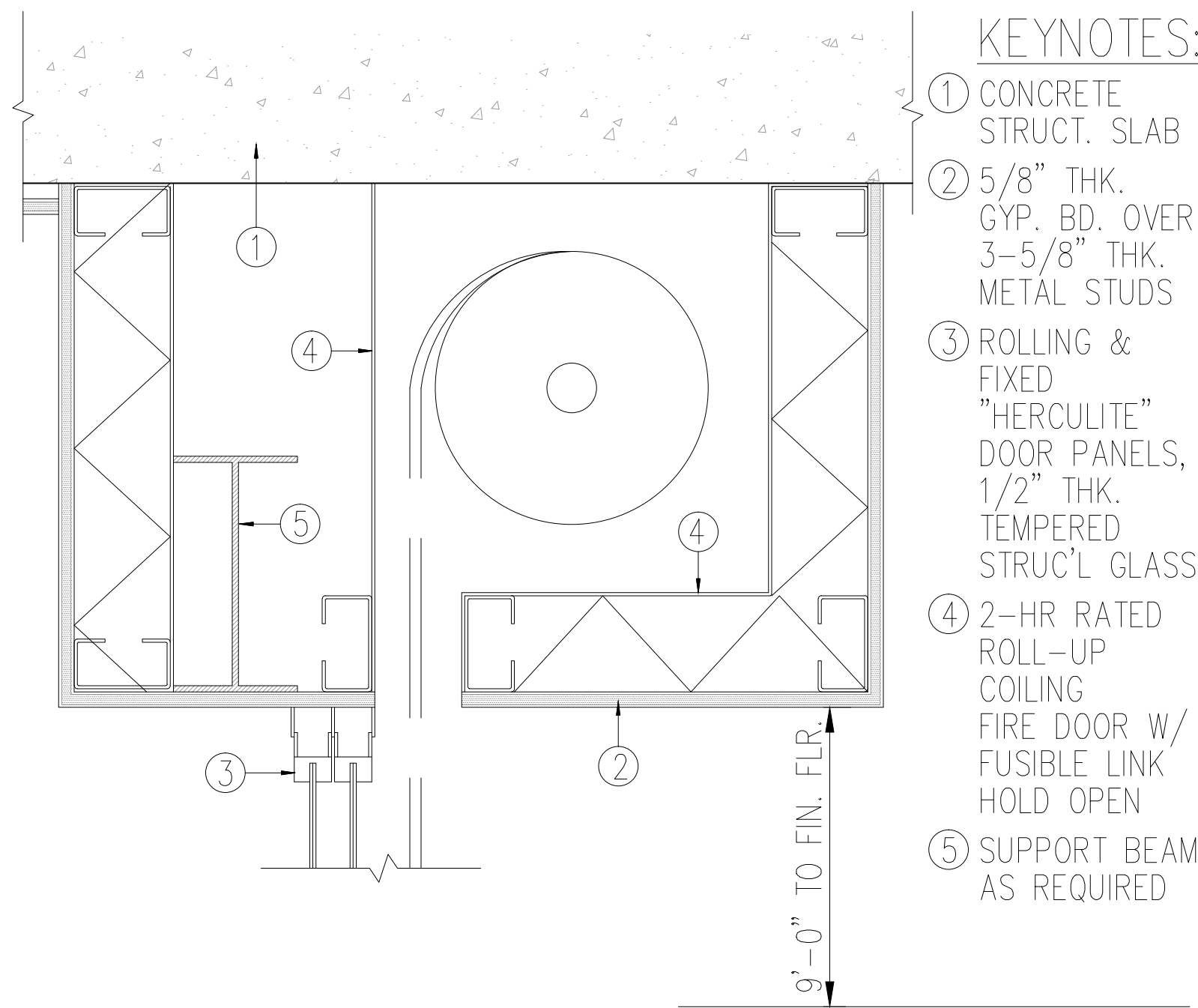
ROLL-UP FIRE DOOR & HEAD

9 ROLL-UP DOOR JAMB

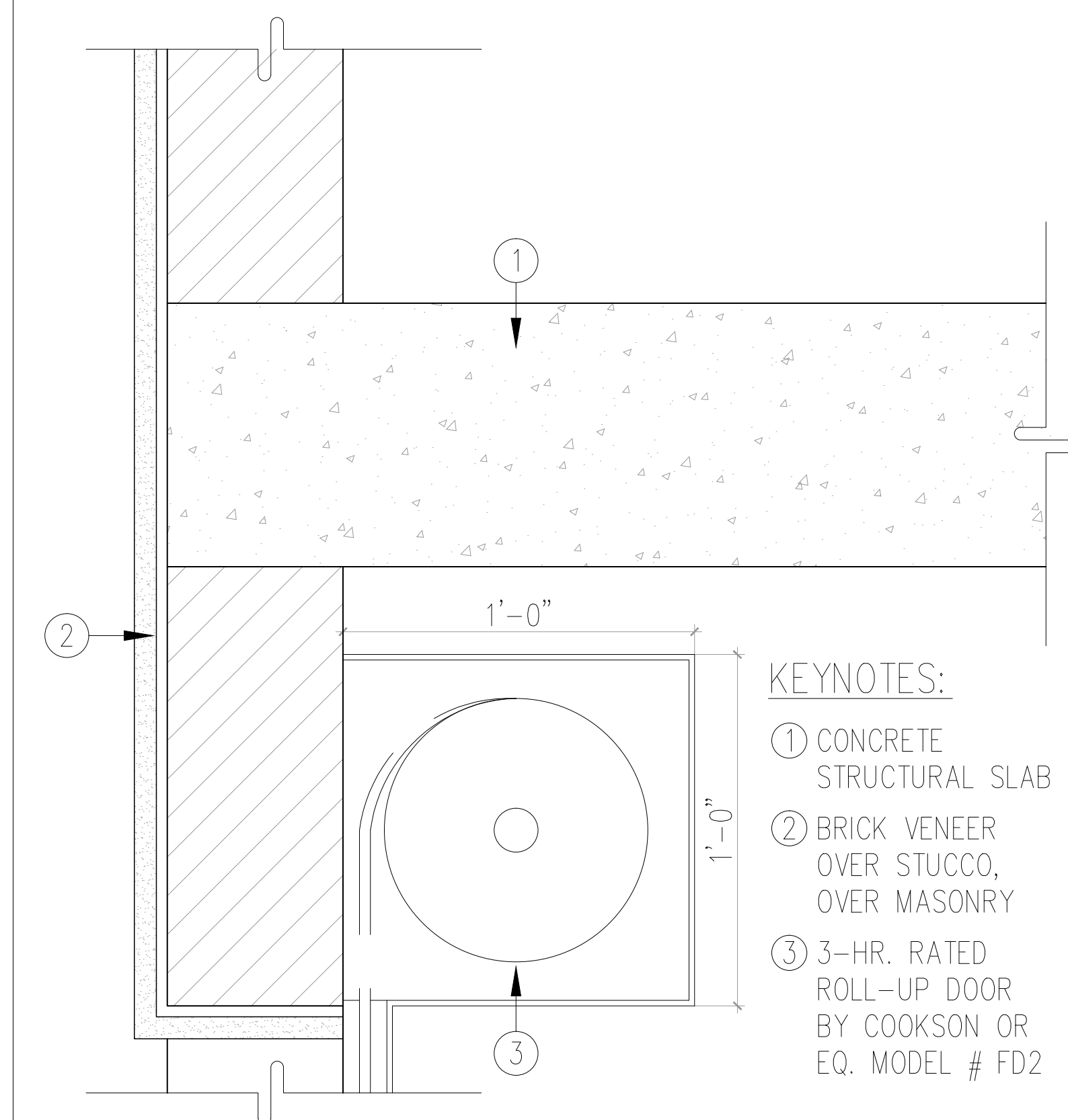
10 ELECTRICAL PANEL @ REFRIGERATOR

11 WEEPHOLE

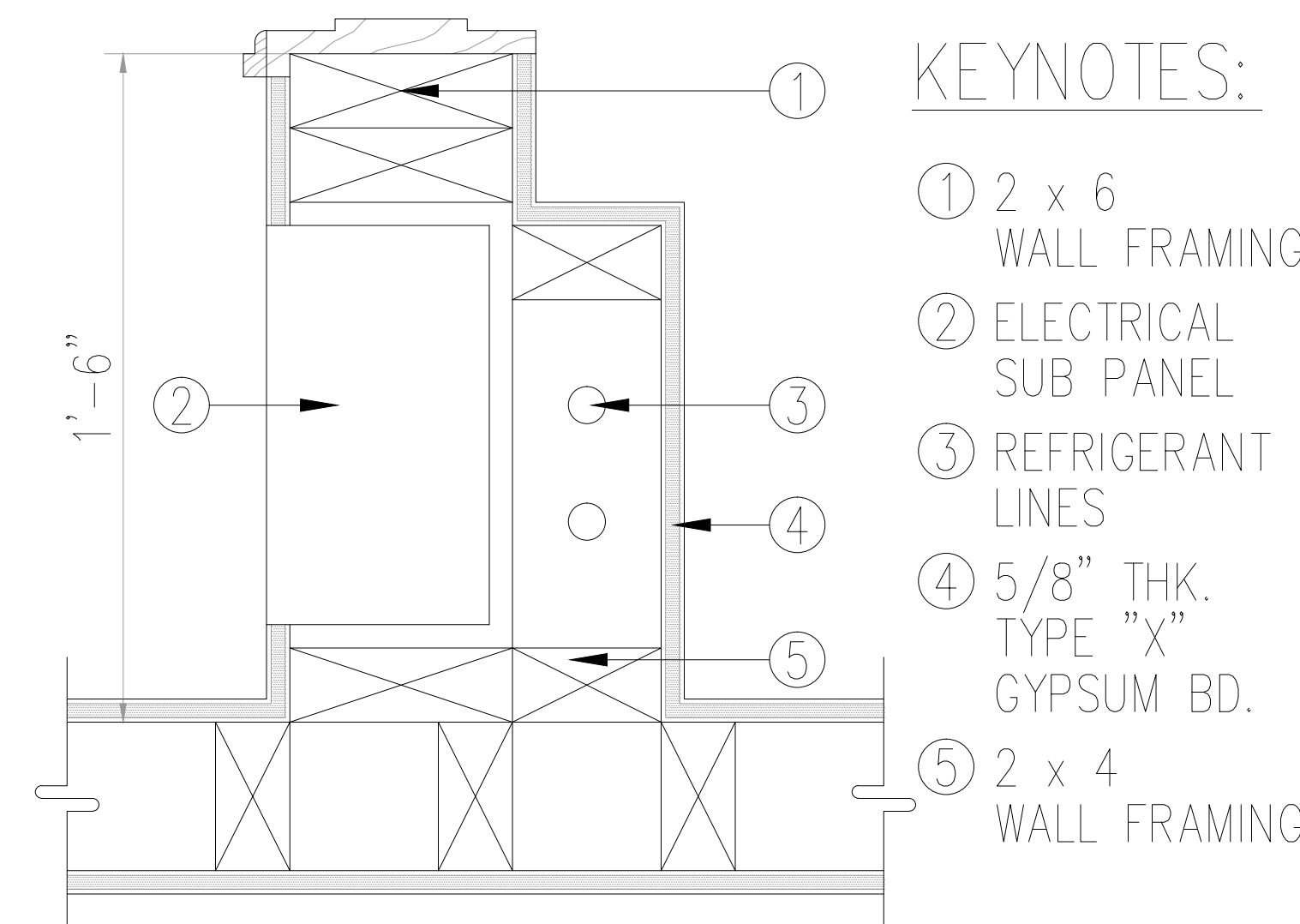
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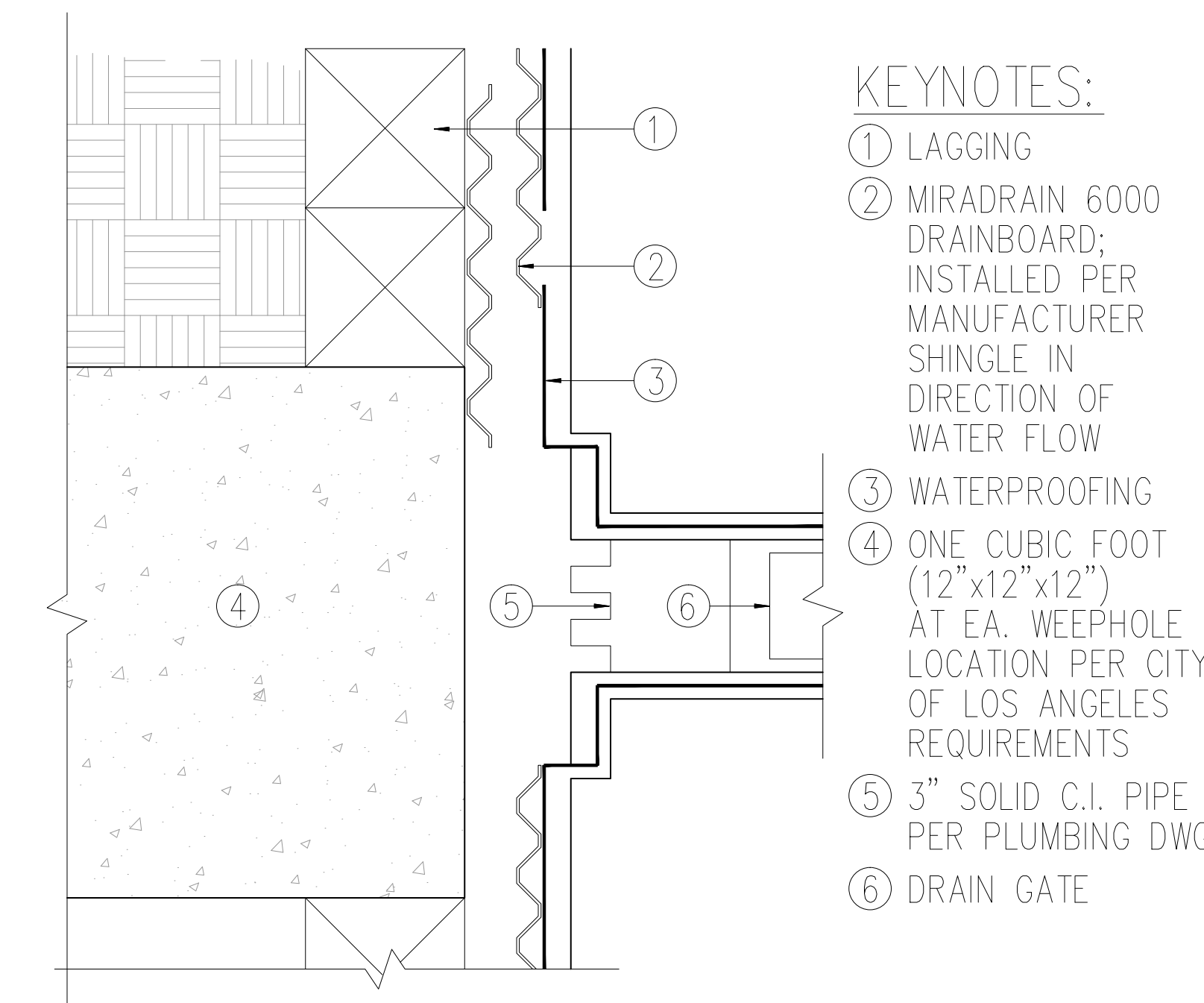
- KEYNOTES:**
- ① CONCRETE STRUCT. SLAB
 - ② 5/8" THK. GYP. BD. OVER 3-5/8" THK. METAL STUDS
 - ③ ROLLING & FIXED "HERCULITE" DOOR PANELS, 1/2" THK. TEMPERED STRUC'L GLASS
 - ④ 2-HR RATED ROLL-UP COILING FIRE DOOR W/ FUSIBLE LINK HOLD OPEN
 - ⑤ SUPPORT BEAM AS REQUIRED



- KEYNOTES:**
- ① CONCRETE STRUCTURAL SLAB
 - ② BRICK VENEER OVER STUCCO, OVER MASONRY
 - ③ 3-HR. RATED ROLL-UP DOOR BY COOKSON OR EQ. MODEL # FD2



- KEYNOTES:**
- ① 2 x 6 WALL FRAMING
 - ② ELECTRICAL SUB PANEL
 - ③ REFRIGERANT LINES
 - ④ 5/8" THK. TYPE "X" GYPSUM BD.
 - ⑤ 2 x 4 WALL FRAMING



- KEYNOTES:**
- ① LAGGING
 - ② MIRADRAIN 6000 DRAINBOARD, INSTALLED PER MANUFACTURER SHINGLE IN DIRECTION OF WATER FLOW
 - ③ WATERPROOFING
 - ④ ONE CUBIC FOOT (12"x12"x12") AT EA. WEEPHOLE LOCATION PER CITY OF LOS ANGELES REQUIREMENTS
 - ⑤ 3" SOLID C.I. PIPE PER PLUMBING DWG.
 - ⑥ DRAIN GATE

ROLL-UP FIRE DOOR & HEAD

9 ROLL-UP DOOR JAMB

10 ELECTRICAL PANEL @ REFRIGERATOR

11 WEEPHOLE

12

Sheet Issue & Revision Log

Issue	Revision	Date	By	Description

IT IS THE CLIENT'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

Developer:
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Project Title:
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Architect:
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Architect Stamp:

Sheet Content:

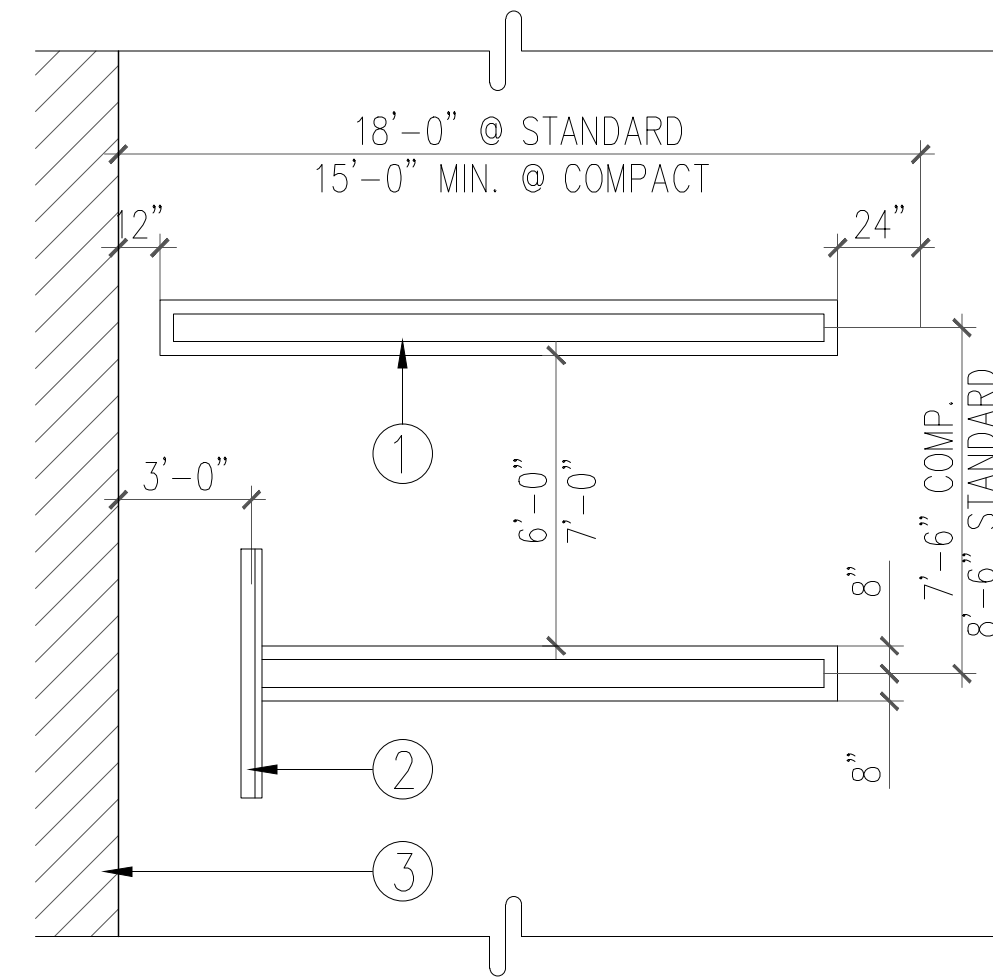
DOOR JAMB DETAILS

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Scale : N.T.S
CAD : ROD
Job : -
Sheet :

A-7.9
Of 0 Sheets

KEYNOTES:

- ① 4" STROKE WHITE TRAFFIC PAINT
- ② WALL, WHERE OCCURS
- ③ 4" STROKE WHITE TRAFFIC PAINT FOR 2 STALLS 4' LONG FOR SINGLE TALL SECURE W/ ADHESIVE #4 X 18" LONG REBAR STAKES

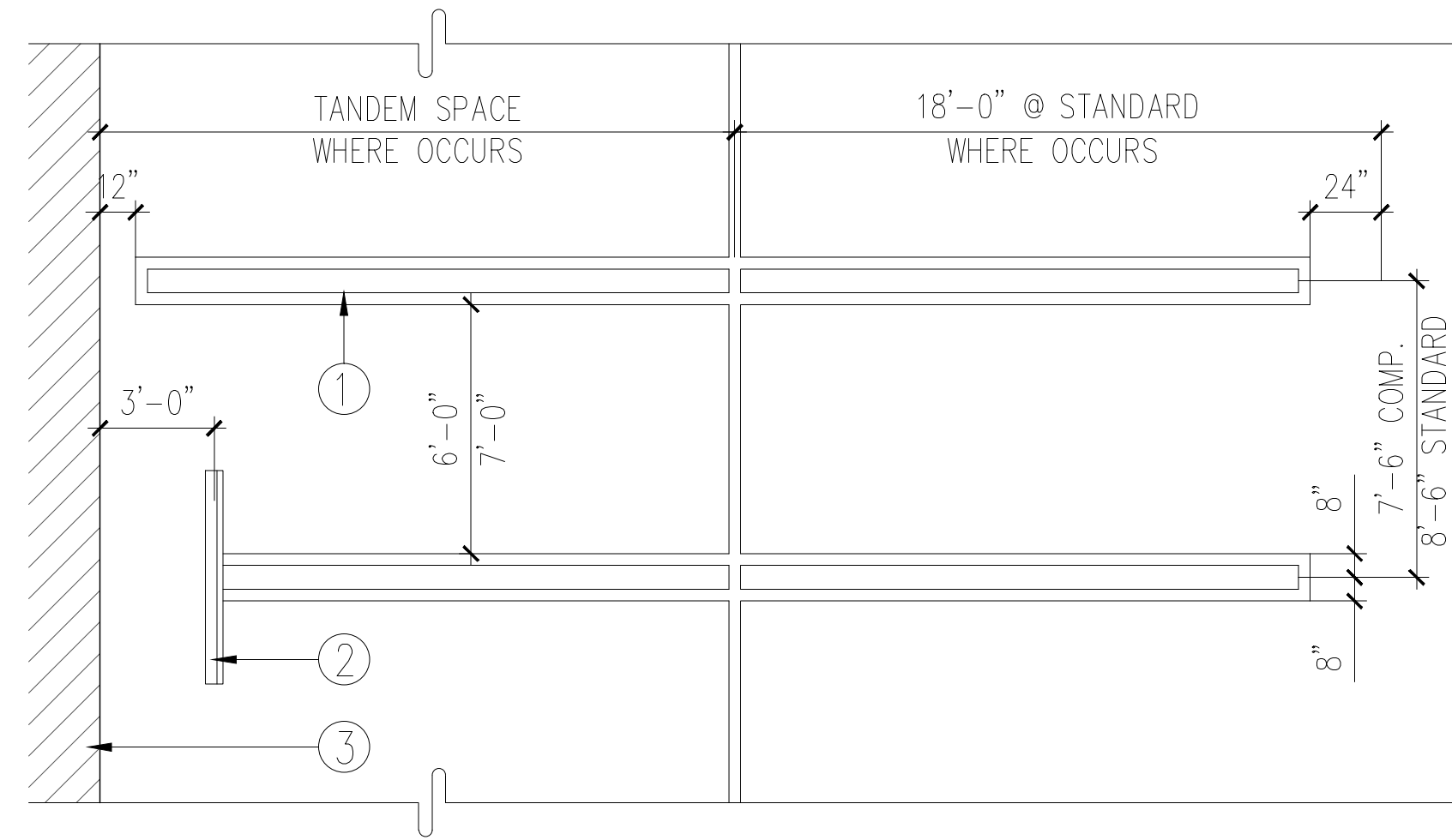


PARKING STALL

1

KEYNOTES:

- ① 4" STROKE WHITE TRAFFIC PAINT
- ② WALL, WHERE OCCURS
- ③ 4" STROKE WHITE TRAFFIC PAINT FOR 2 STALLS 4' LONG FOR SINGLE TALL SECURE W/ ADHESIVE #4 X 18" LONG REBAR STAKES

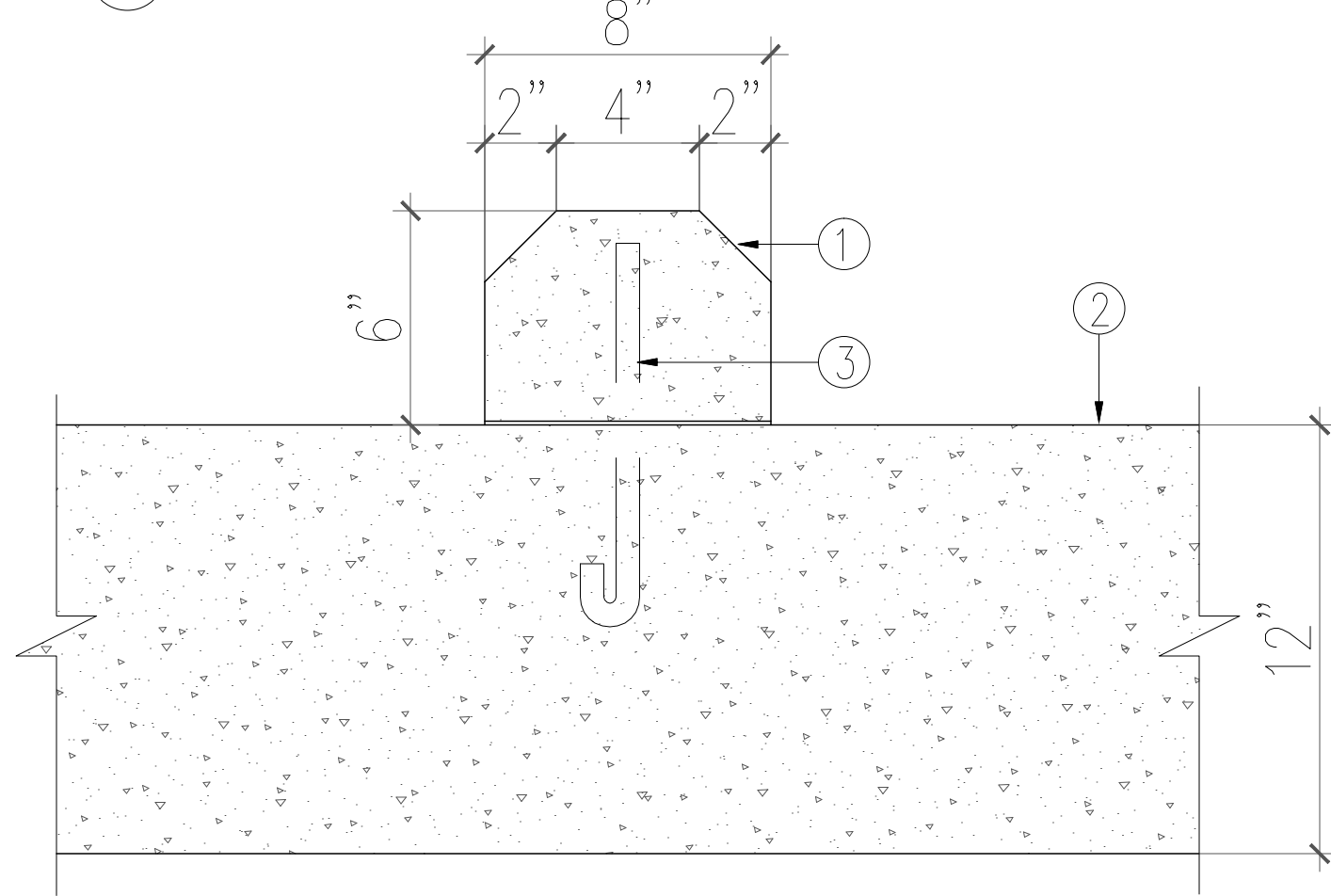


PARKING STALL (TANDEM)

2

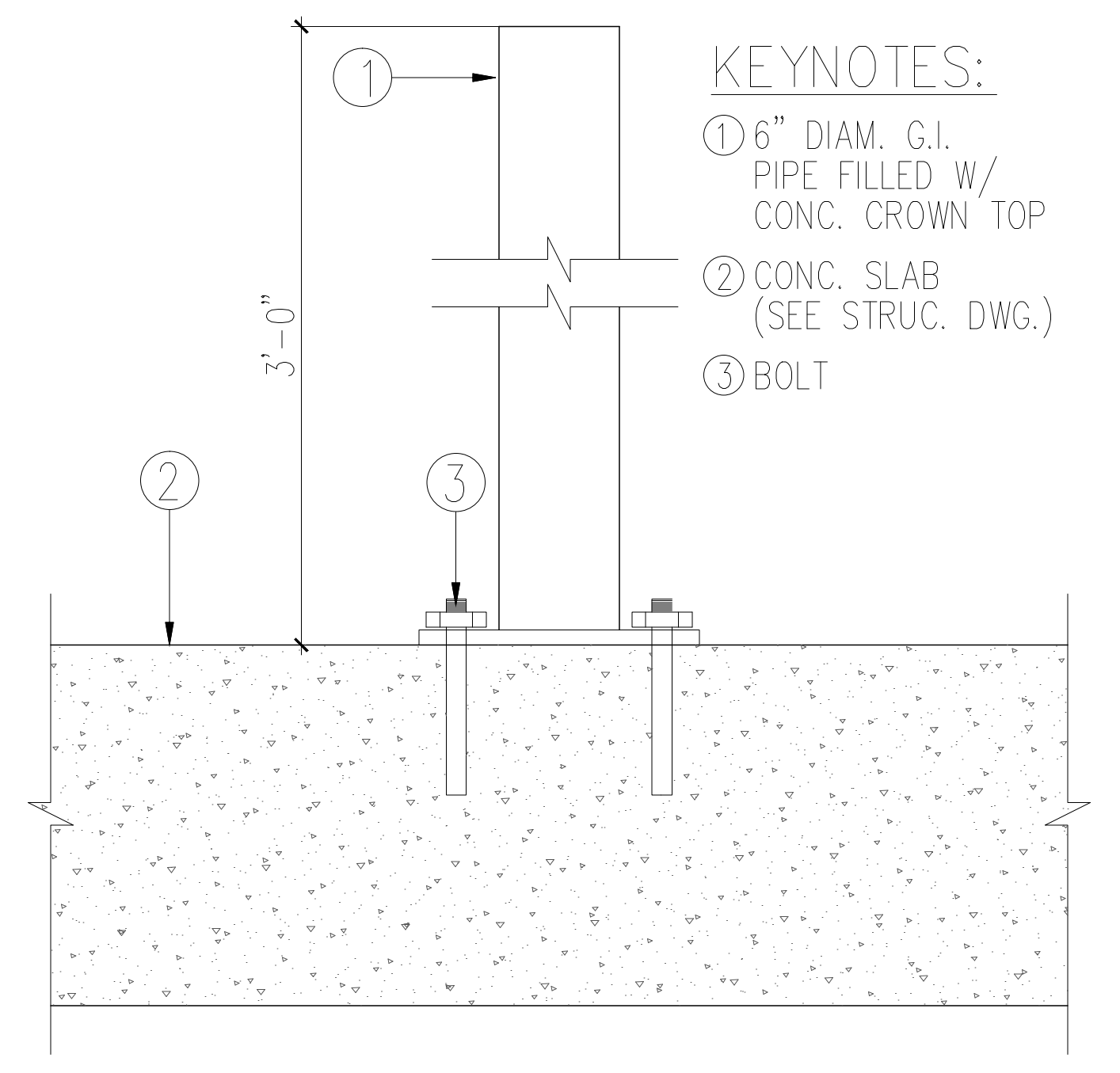
KEYNOTES:

- ① PRECAST CONC. WHEEL BUMPER
- ② ROOF WATERPROOFING MUST CONTINUE UNDER BUMPER
- ③ REBAR



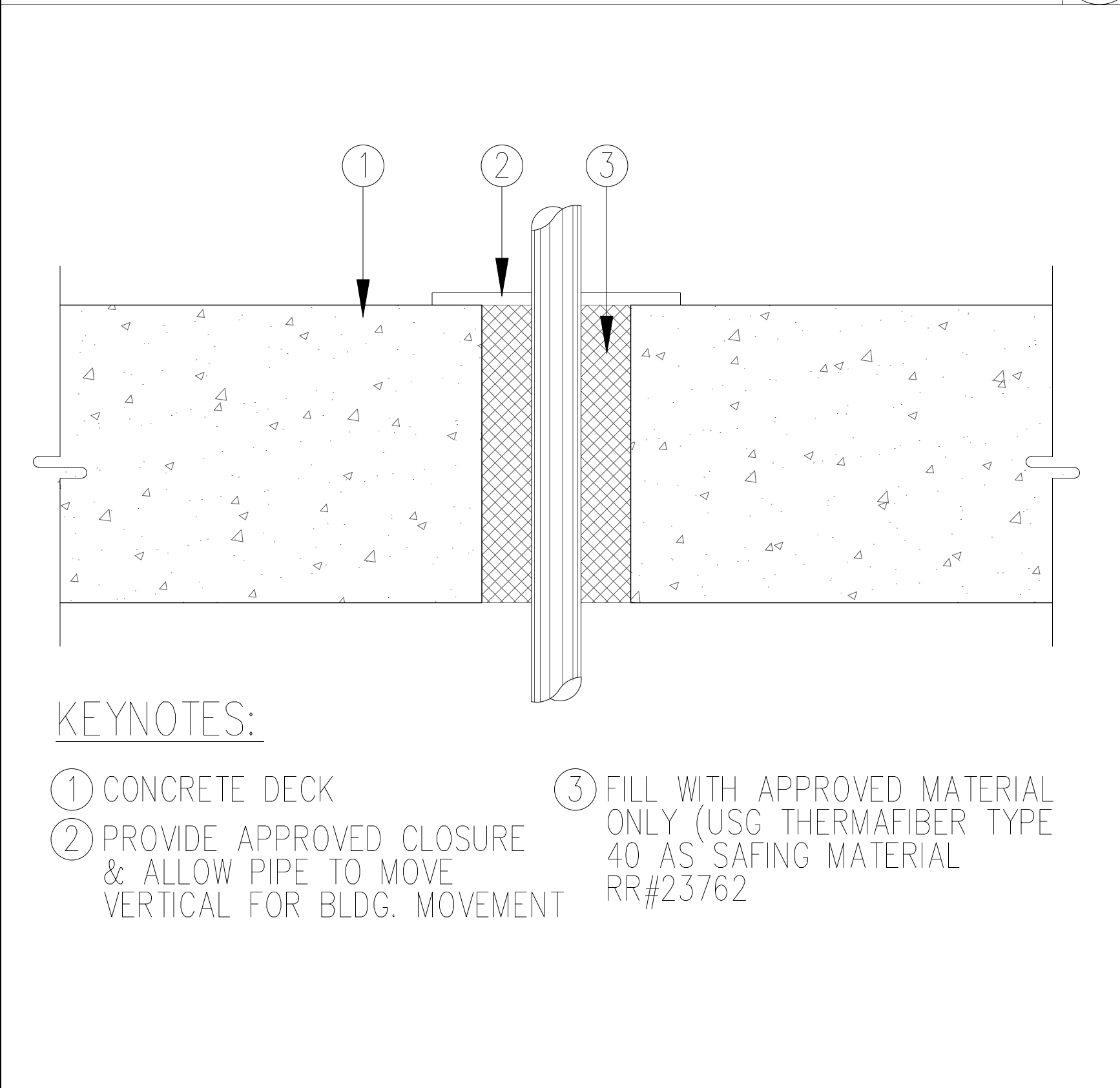
WHEEL BUMPER

3



PIPE BUMPER GUARD

4



KEYNOTES:

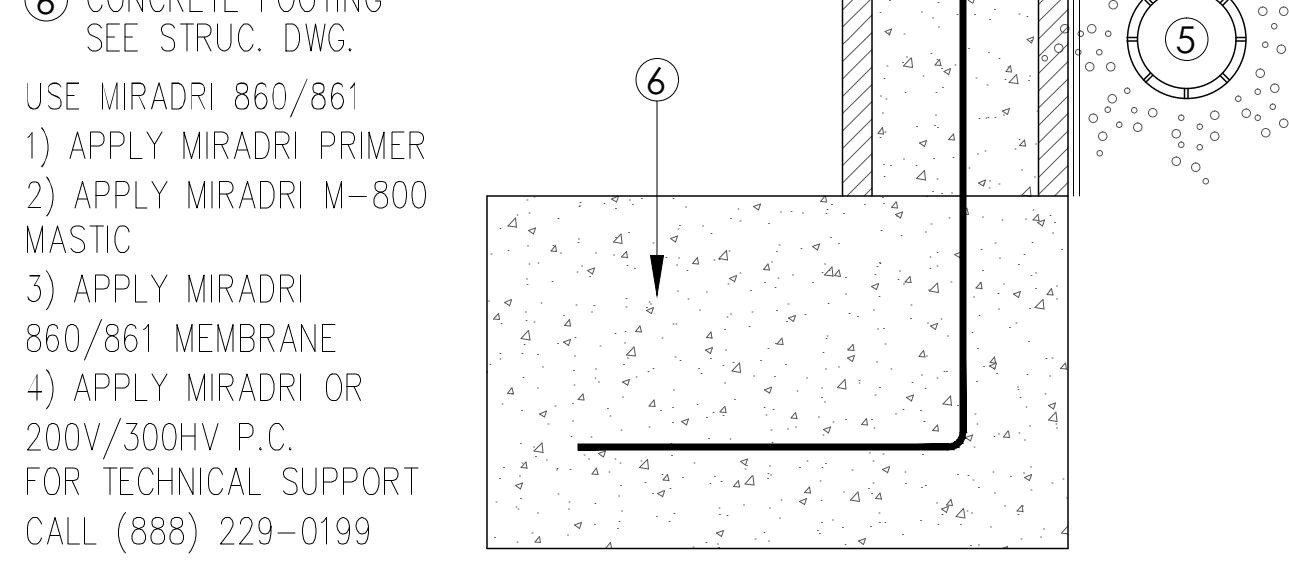
- ① CONCRETE DECK
- ② PROVIDE APPROVED CLOSURE & ALLOW PIPE TO MOVE VERTICAL FOR BLDG. MOVEMENT
- ③ FILL WITH APPROVED MATERIAL ONLY (USG THERMAFIBER TYPE 40 AS SAFING MATERIAL RR#23762)

PENETRATION @ 3-HR SEPARATIUN

5

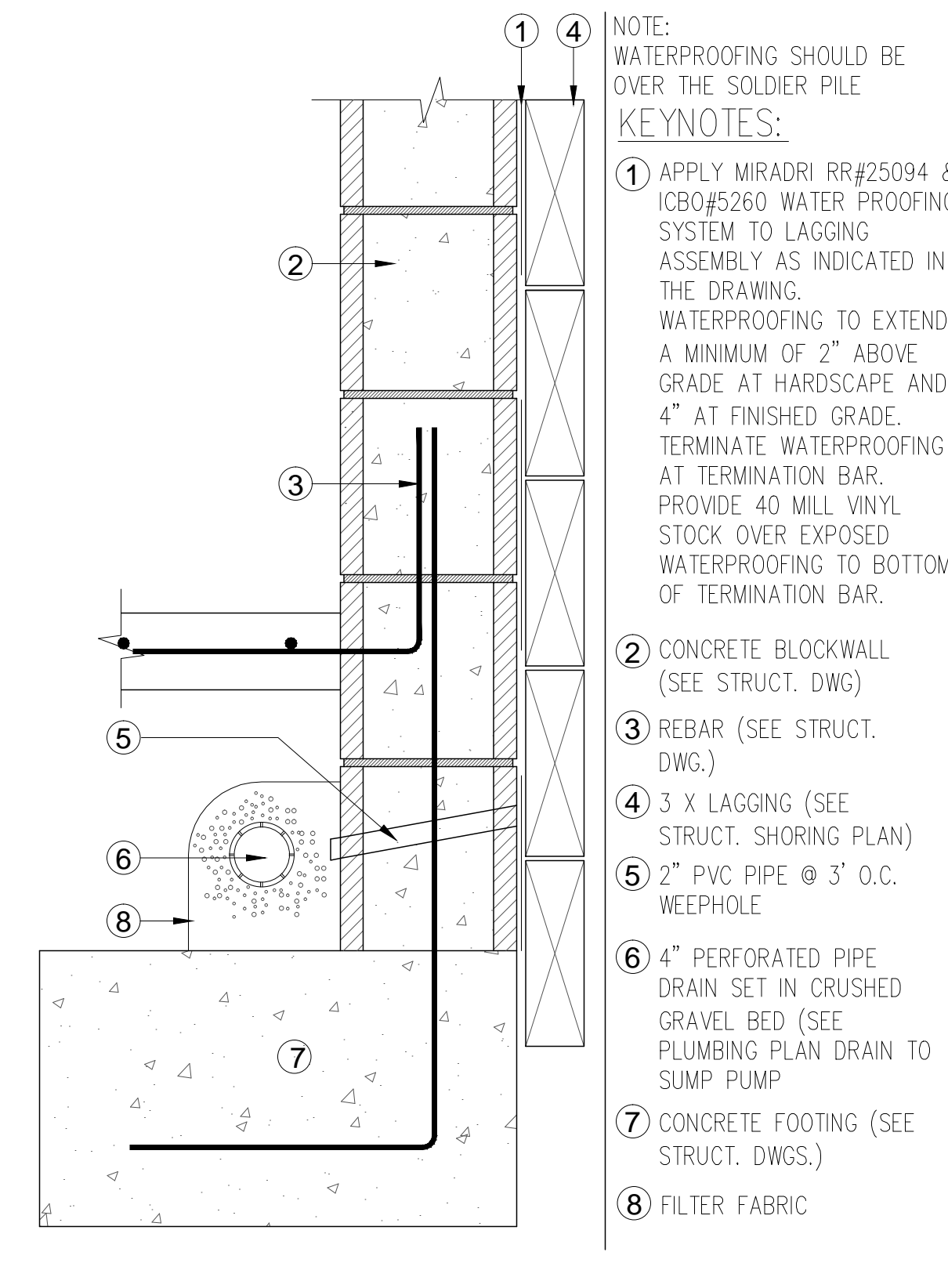
KEYNOTES:

- ① APPLY MIRADRI RR#25094 & ICBO#5260 WATER PROOFING SYSTEM TO EXT. BLOCK WALLS AS INDICATED TO DWG. WATERPROOFING TO EXTEND A MIN. OF 2" ABOVE GRADE AT HARDSCAPE & 4" AT FINISHED GRADE. TERMINATE WATERPROOFING AT TERMINATION BAR. PROVIDE 40 MILL VINYL STOCK OVER EXPOSED WATERPROOFING TO BOTTOM TERMINATION BAR.
- ② CONC. BLOCK WALL SEE STRUC. DWG.
- ③ REBAR SEE STRUC. DWG.
- ④ FILTER FABRIC
- ⑤ 4" PERFORATED PIPE DRAIN SET IN CRUSHED GRAVEL BED (SEE PLUMBING PLAN DRAIN TO SUMP PUMP)
- ⑥ CONCRETE FOOTING SEE STRUC. DWG.



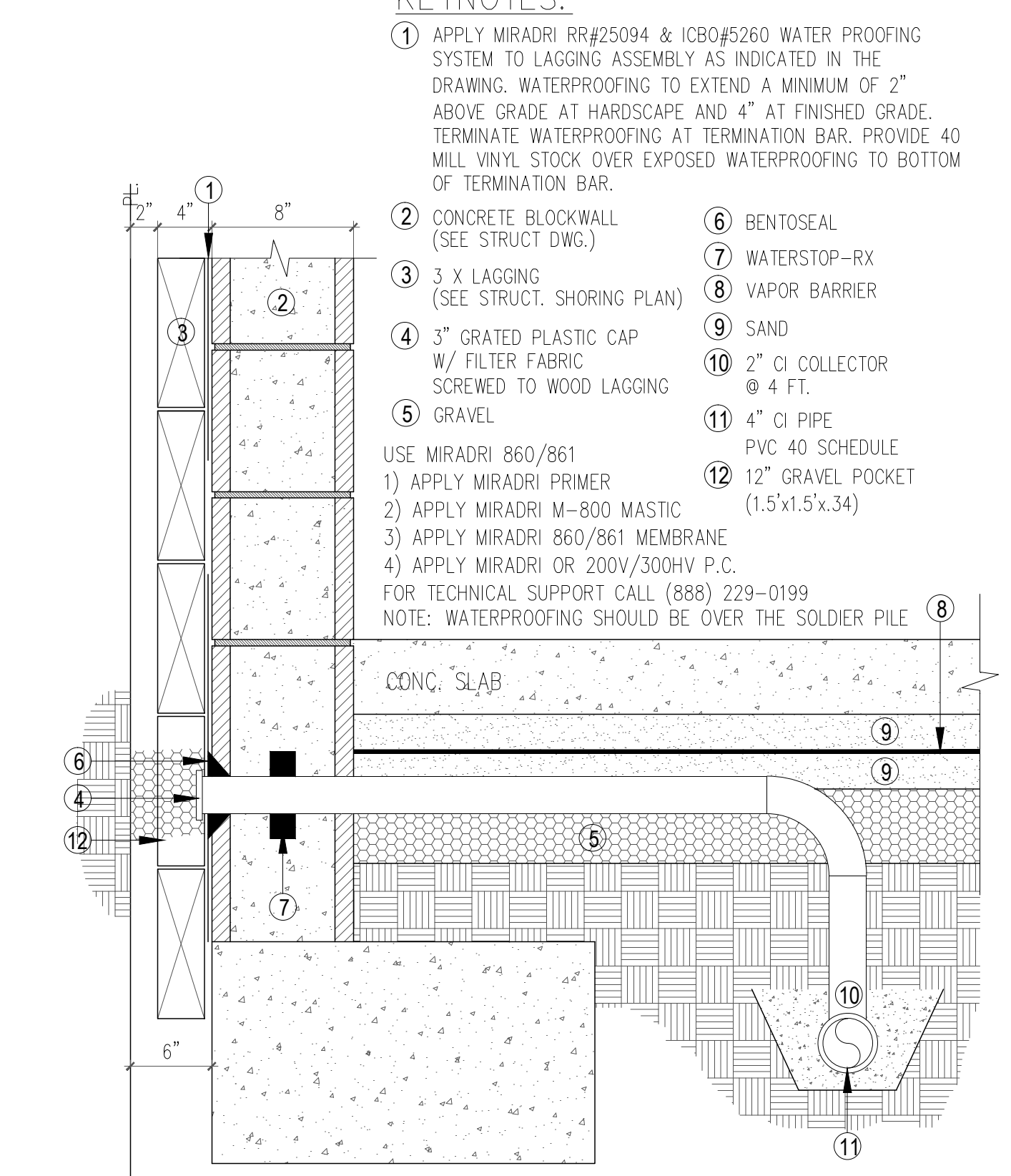
PERIMETER DRAIN

6



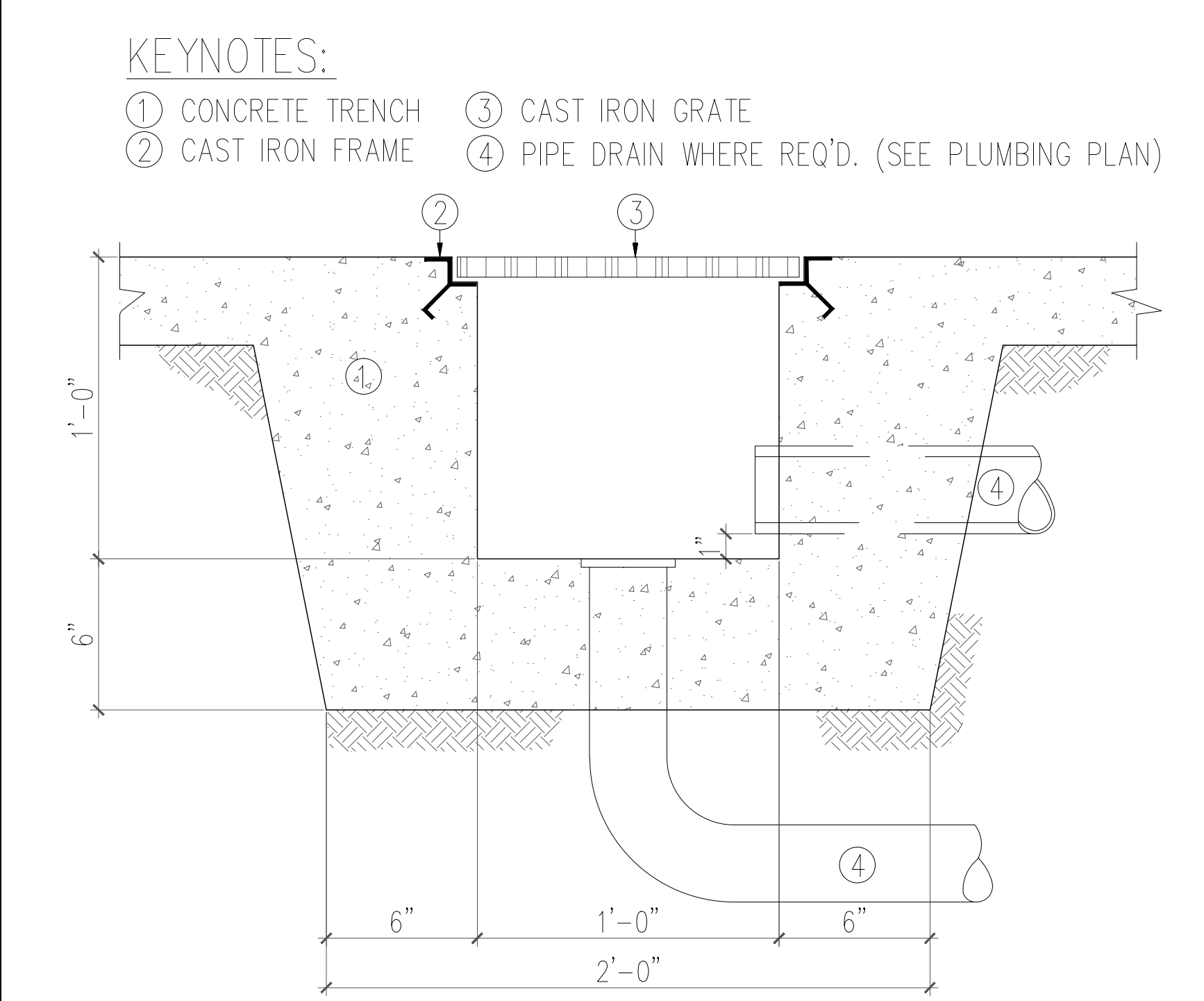
PERIMETER DRAIN

7



PERIMETER DRAIN

8

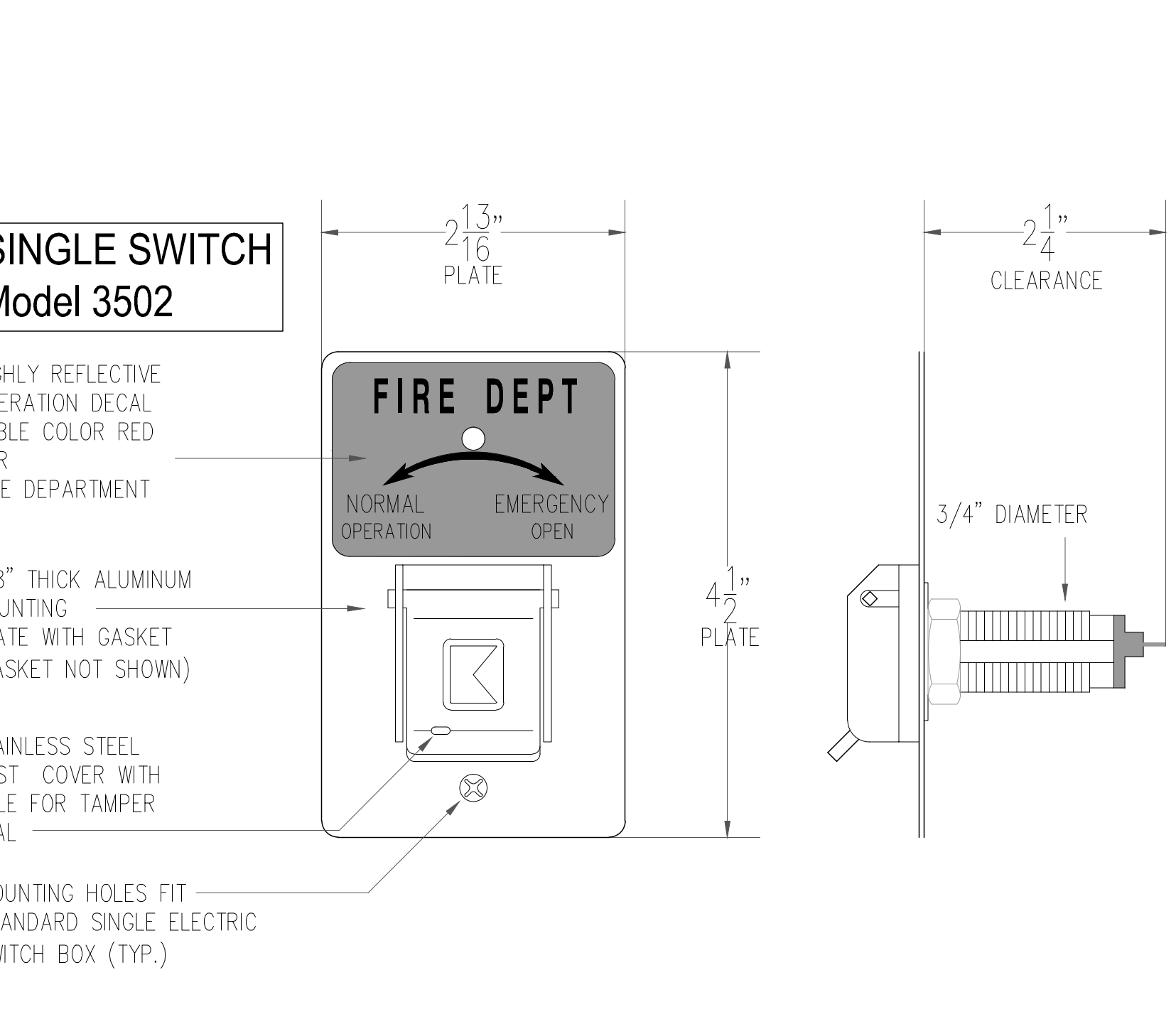


KEYNOTES:

- ① CONCRETE TRENCH
- ② CAST IRON FRAME
- ③ CAST IRON GRATE
- ④ PIPE DRAIN WHERE REQ'D. (SEE PLUMBING PLAN)

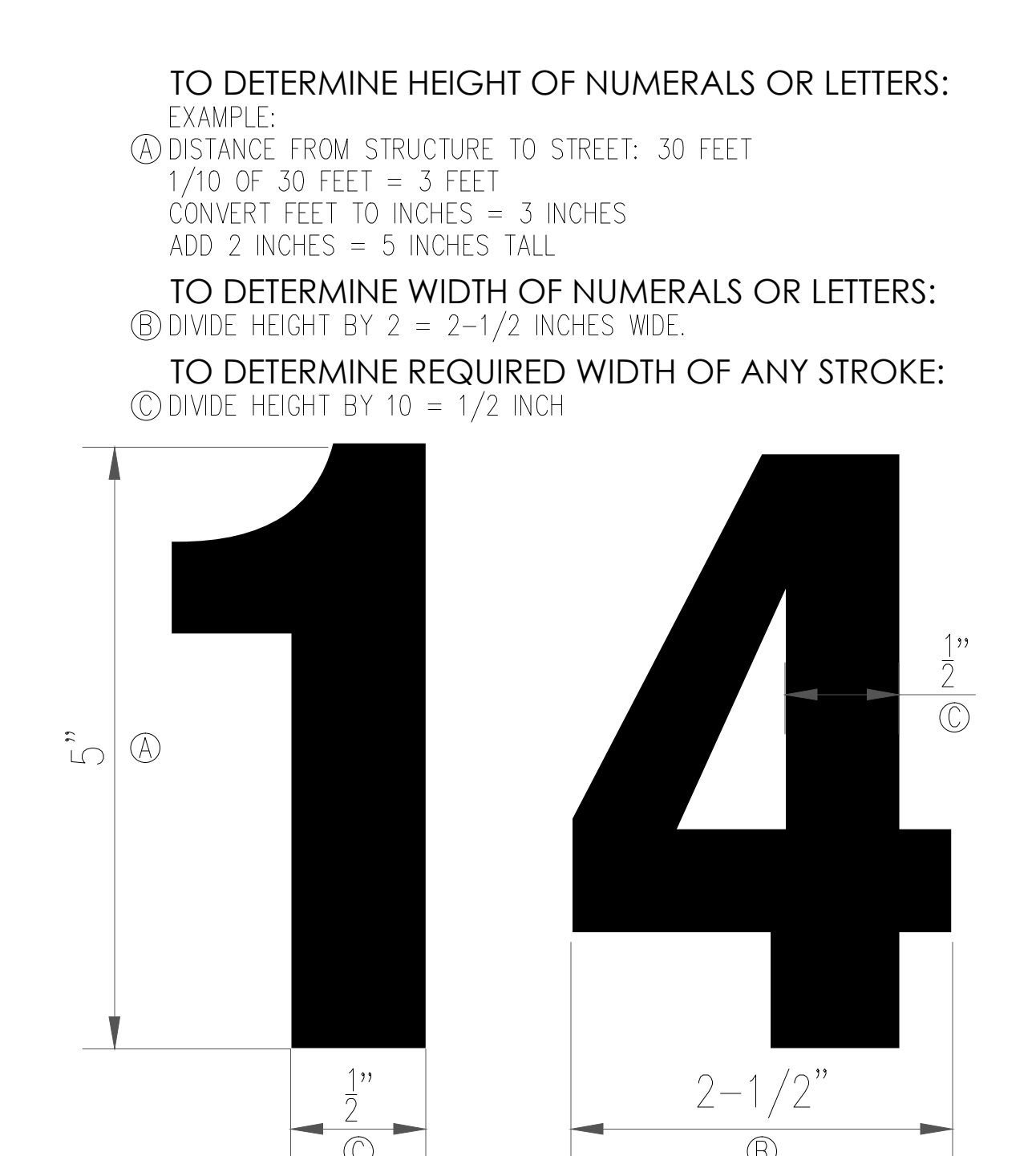
TRENCH DRAIN

9



KNOX BOX

10



BUILDING ADDRESS

11



PERIMETER DRAIN

12

Sheet Issue & Revision Log

Issue/Revision	Description

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Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

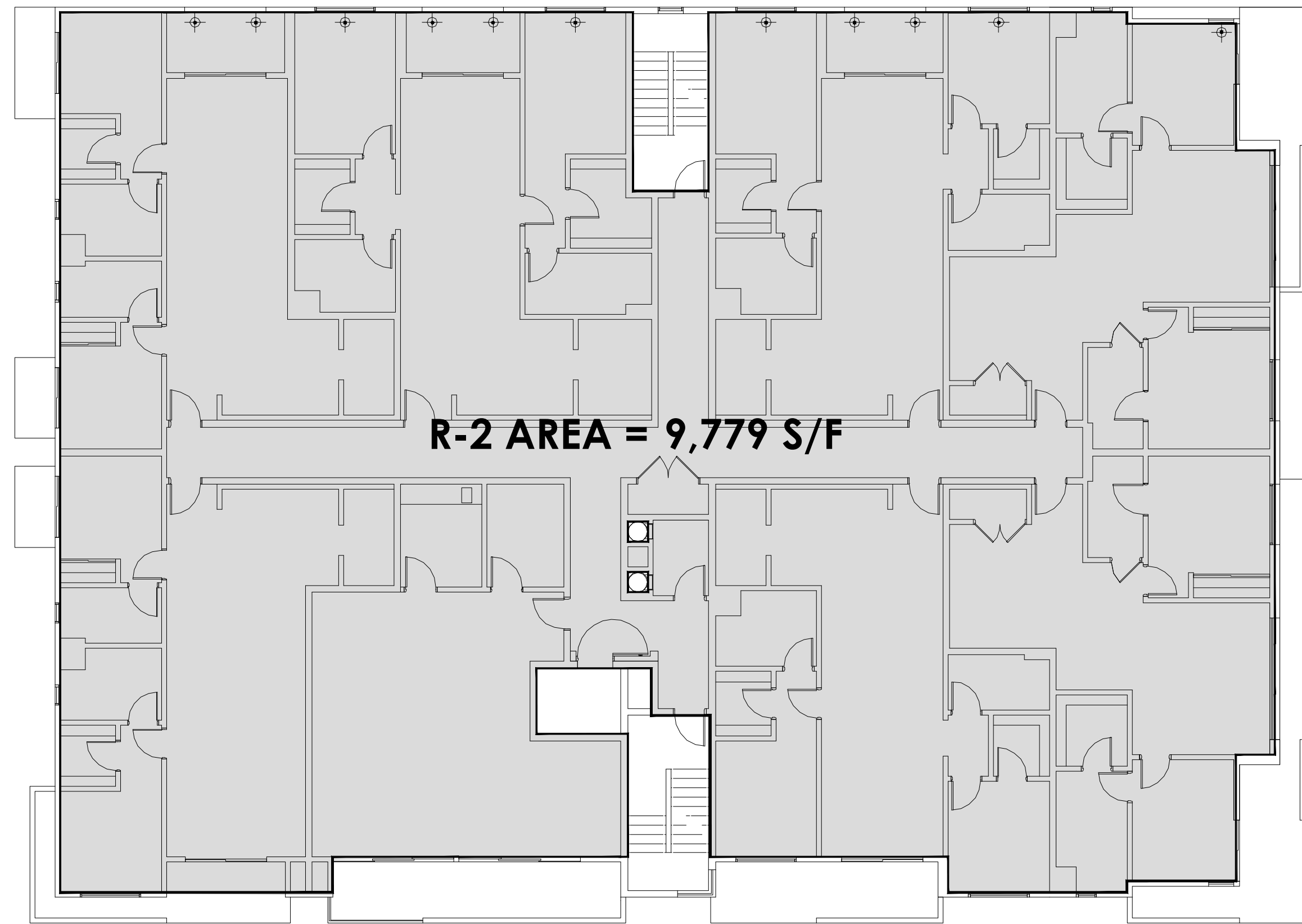
Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:
DARYOUSH SAFAI
AIA Architect
2932 Wilshire Boulevard, #210
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Architect Stamp:

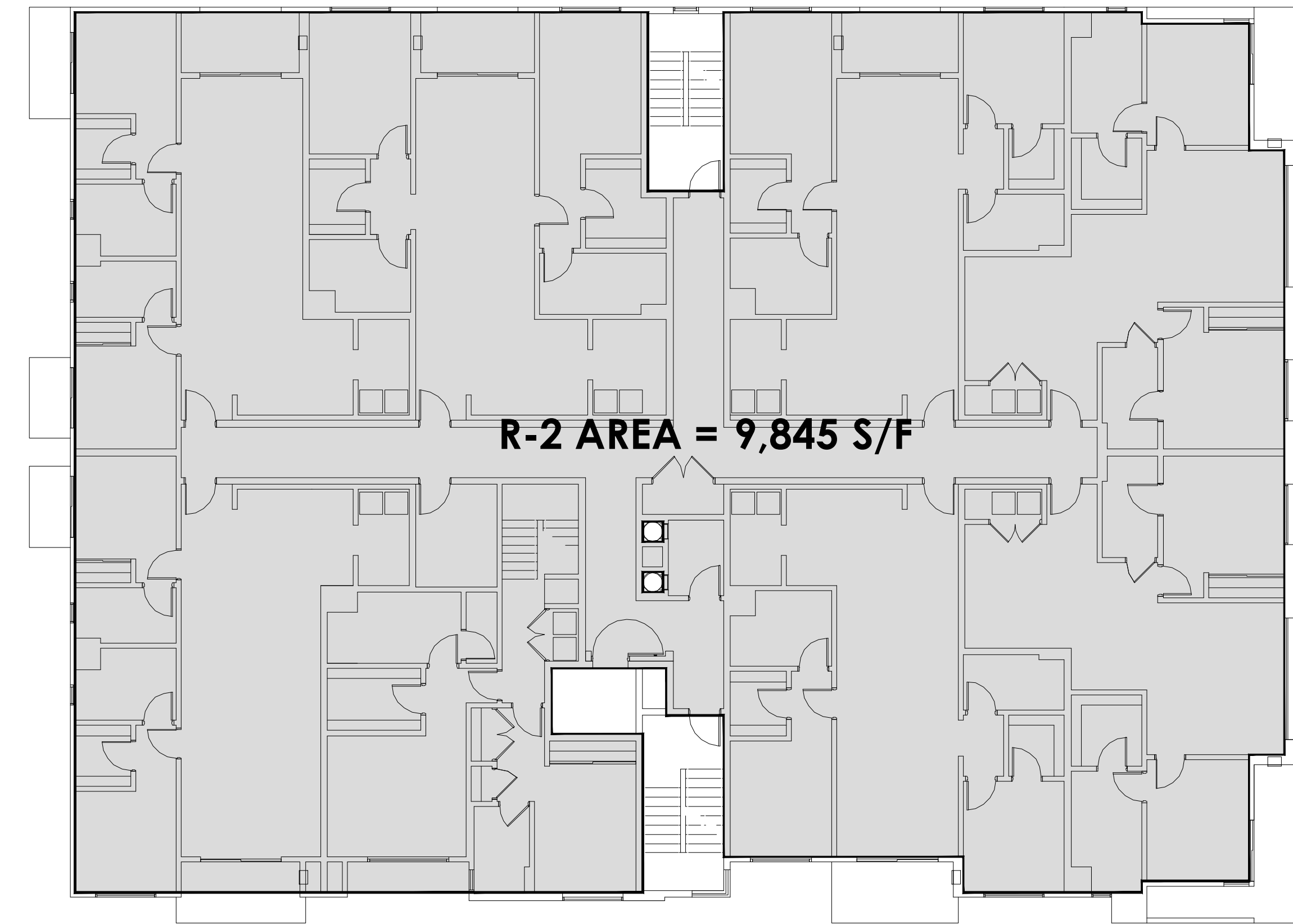
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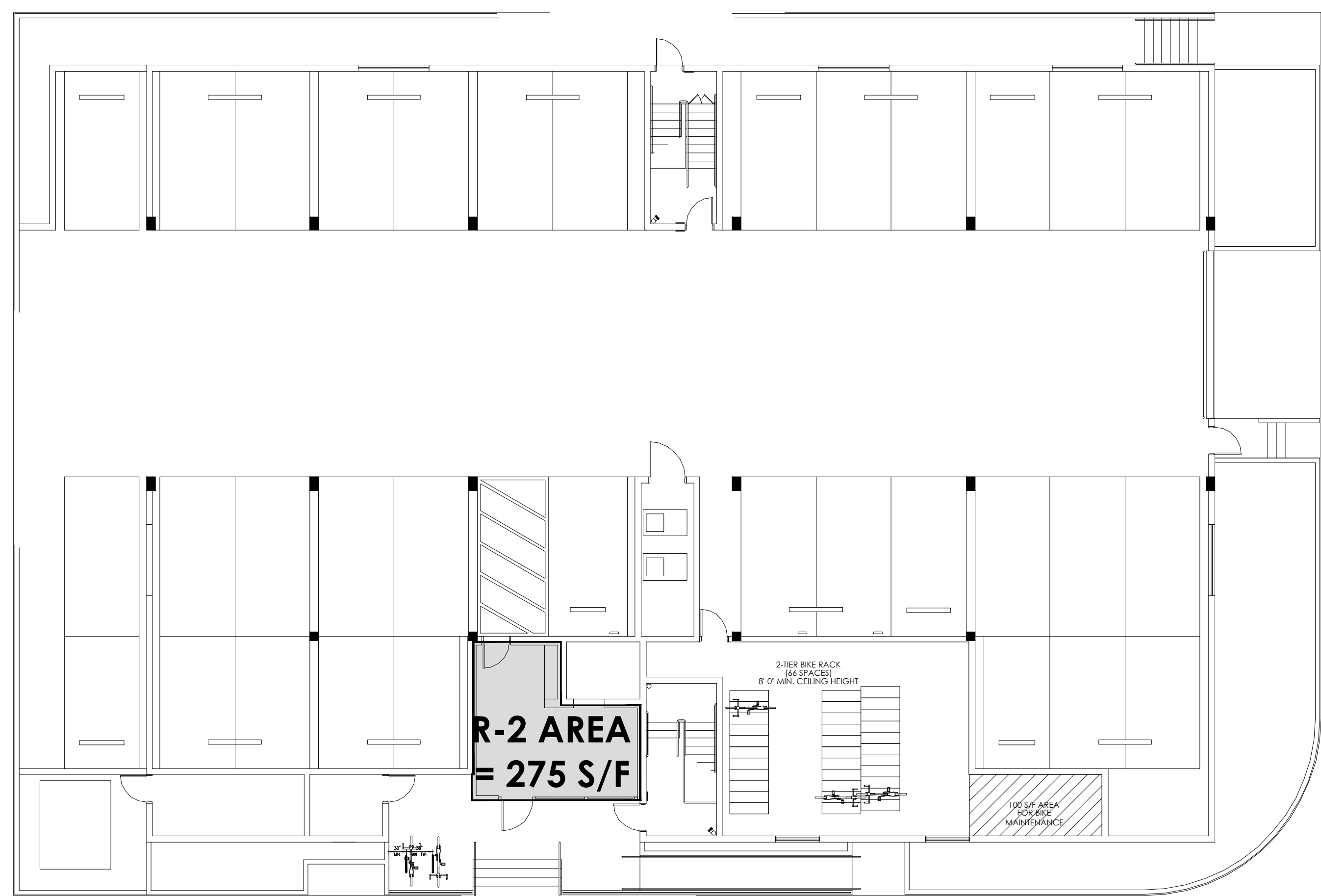
R-2 AREA = 9,779 S/F

1ST FLOOR



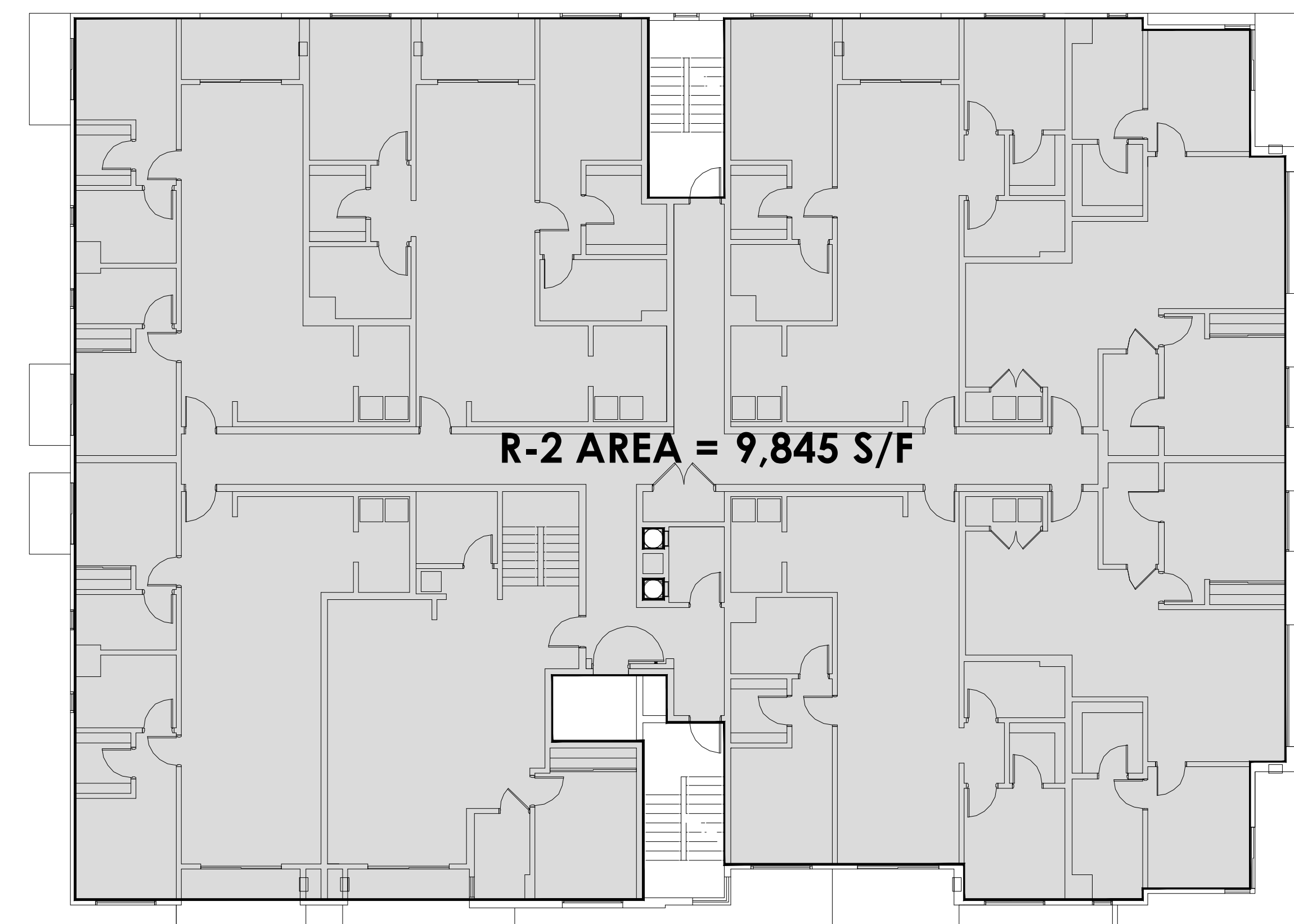
R-2 AREA = 9,845 S/F

2ND FLOOR



R-2 AREA = 275 S/F

BASEMENT GARAGE



R-2 AREA = 9,845 S/F

3RD FLOOR

PROVIDED	
Basement Lobby	275 S/F
1st Floor	9,779 S/F
2nd Floor	9,845 S/F
3rd Floor	9,845 S/F
TOTAL	29,744 S/F < 36,000 S/F

Sheet Issue & Revision Log

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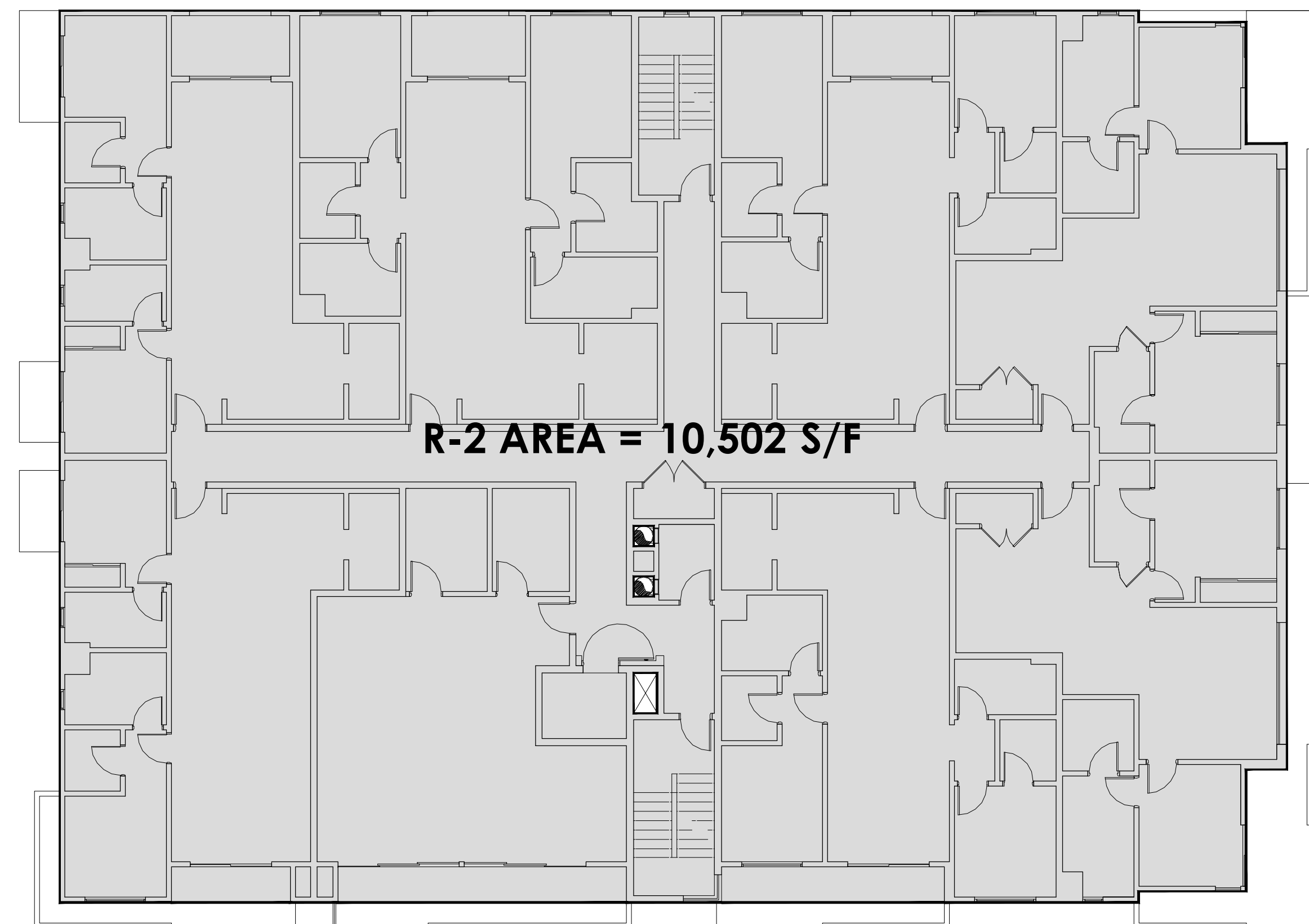
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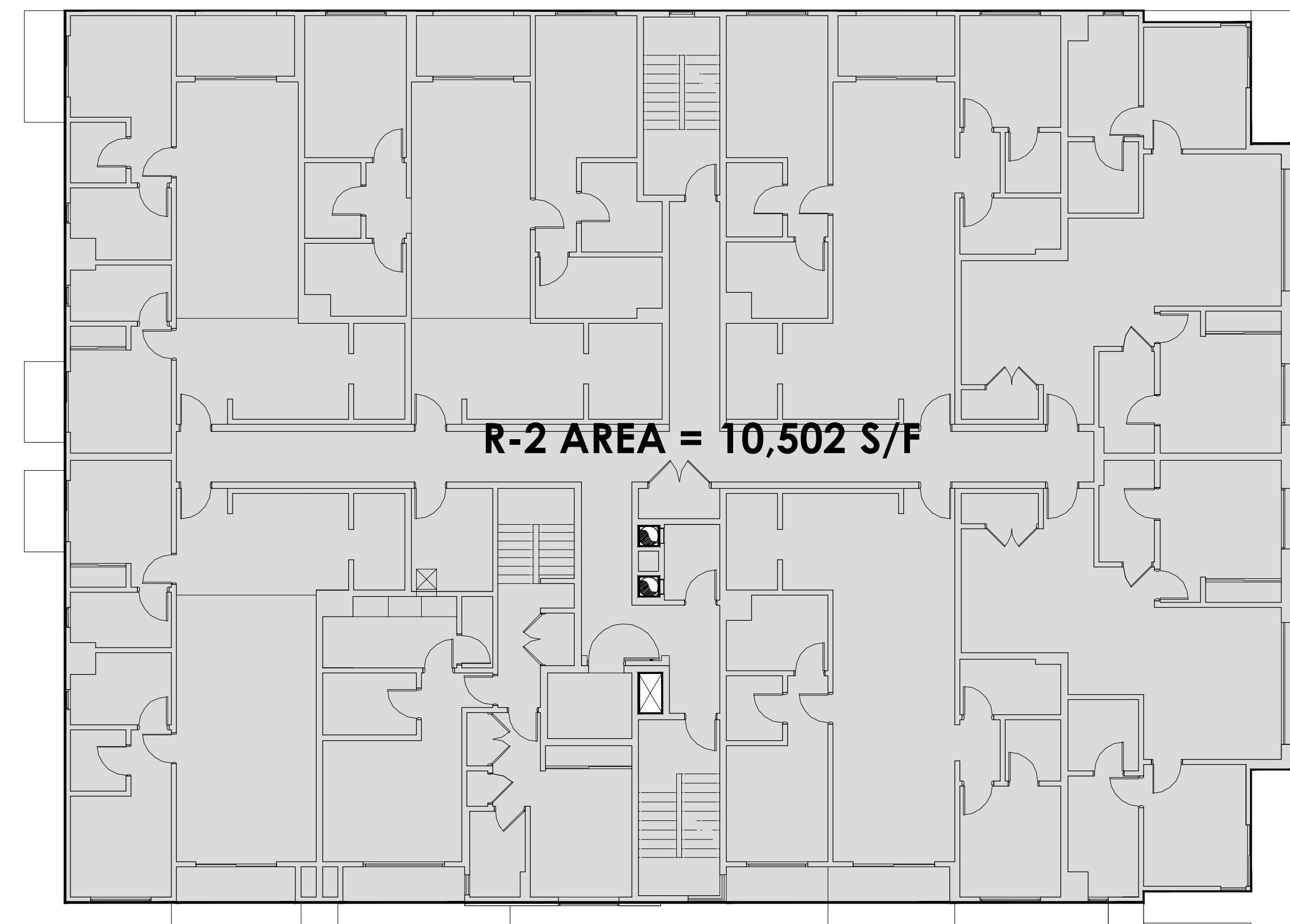
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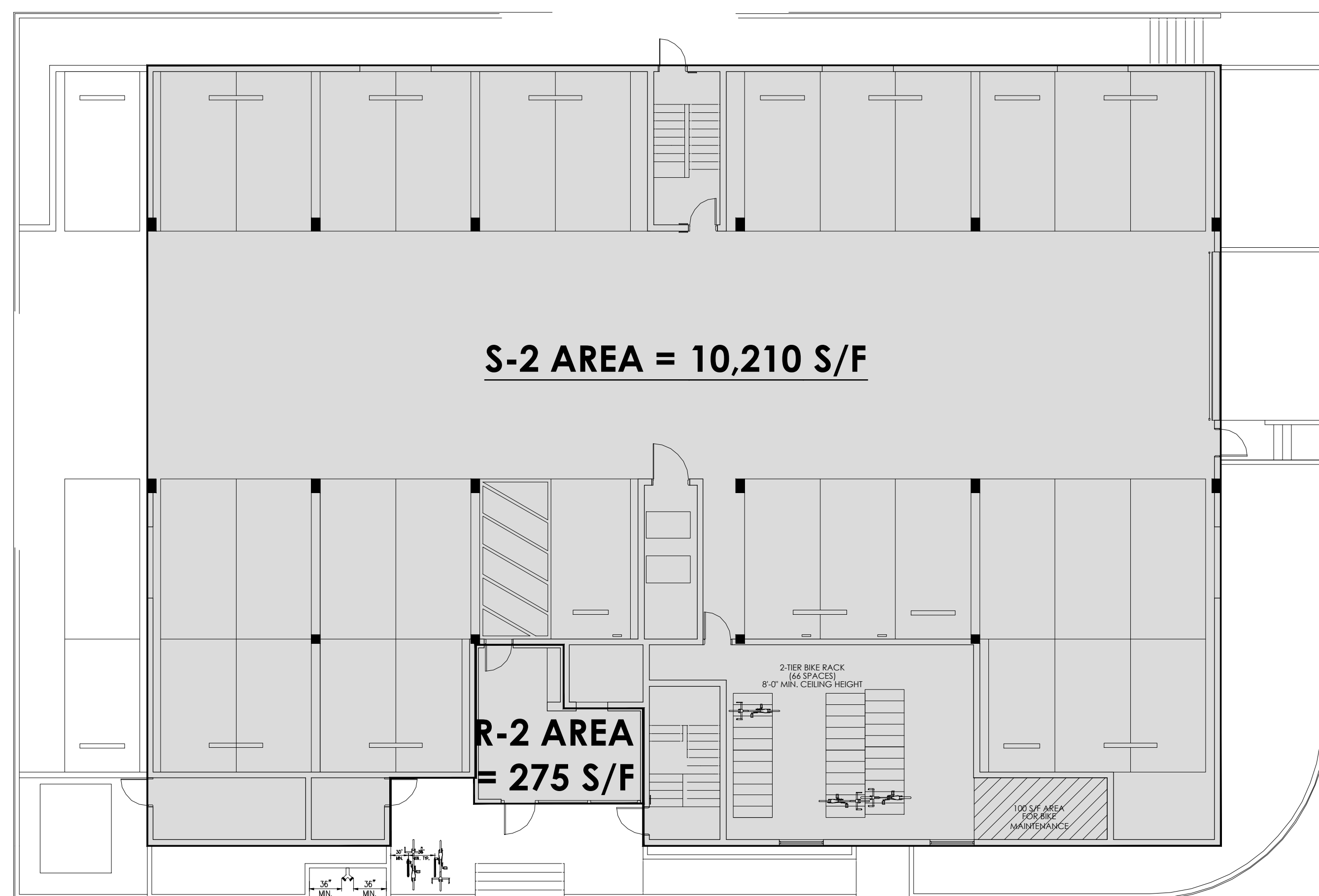
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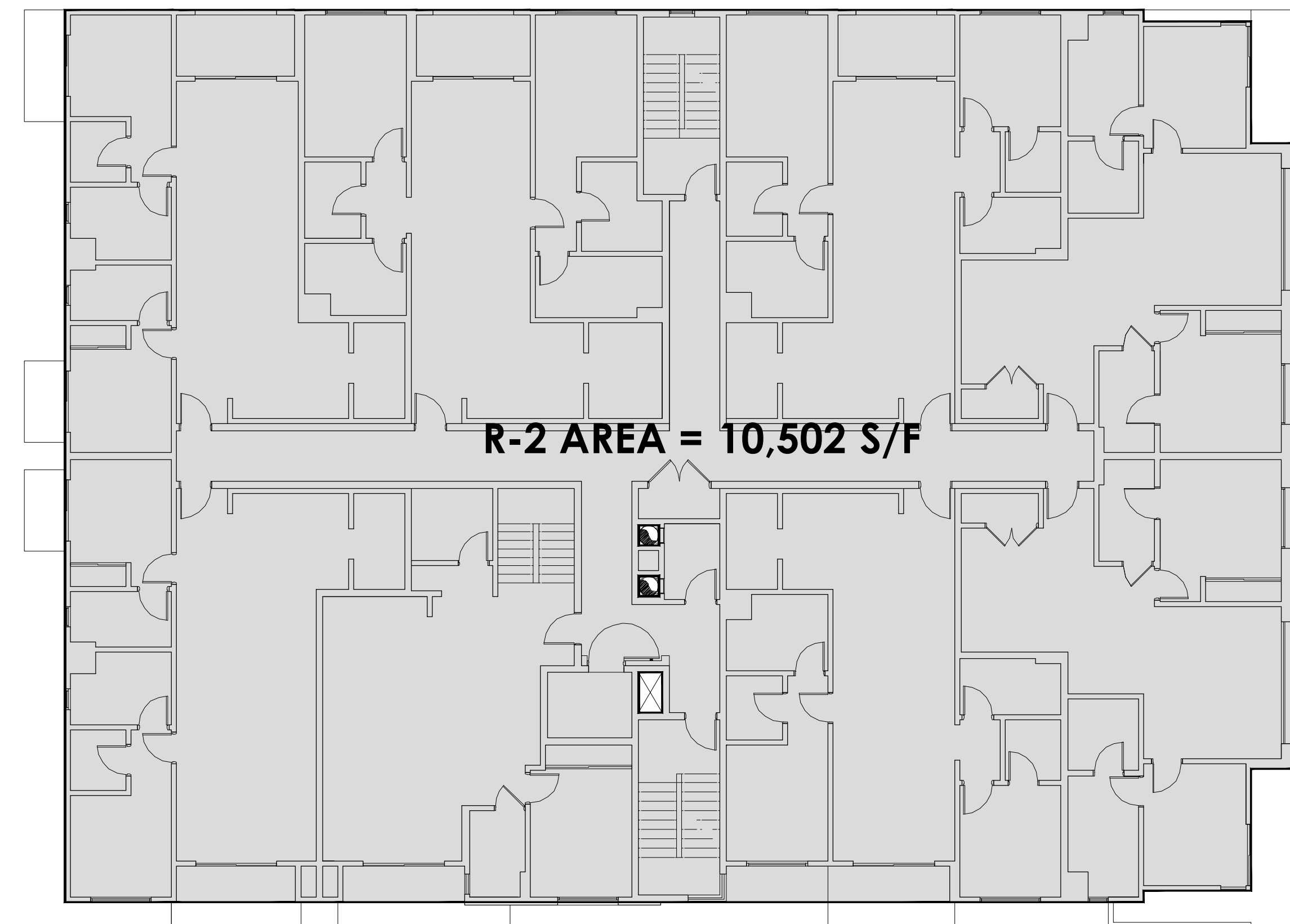
1ST FLOOR



2ND FLOOR



BASEMENT GARAGE



3RD FLOOR

FLOOR		S-2	R-2
Basement Garage	S-2	10,210 S/F	
Basement Lobby			275 S/F
1st Floor	R-2		10,502 S/F
2nd Floor	R-2		10,502 S/F
3rd Floor	R-2		10,502 S/F
TOTAL		10,210 S/F	31,781 S/F

No.	Description	By	Date

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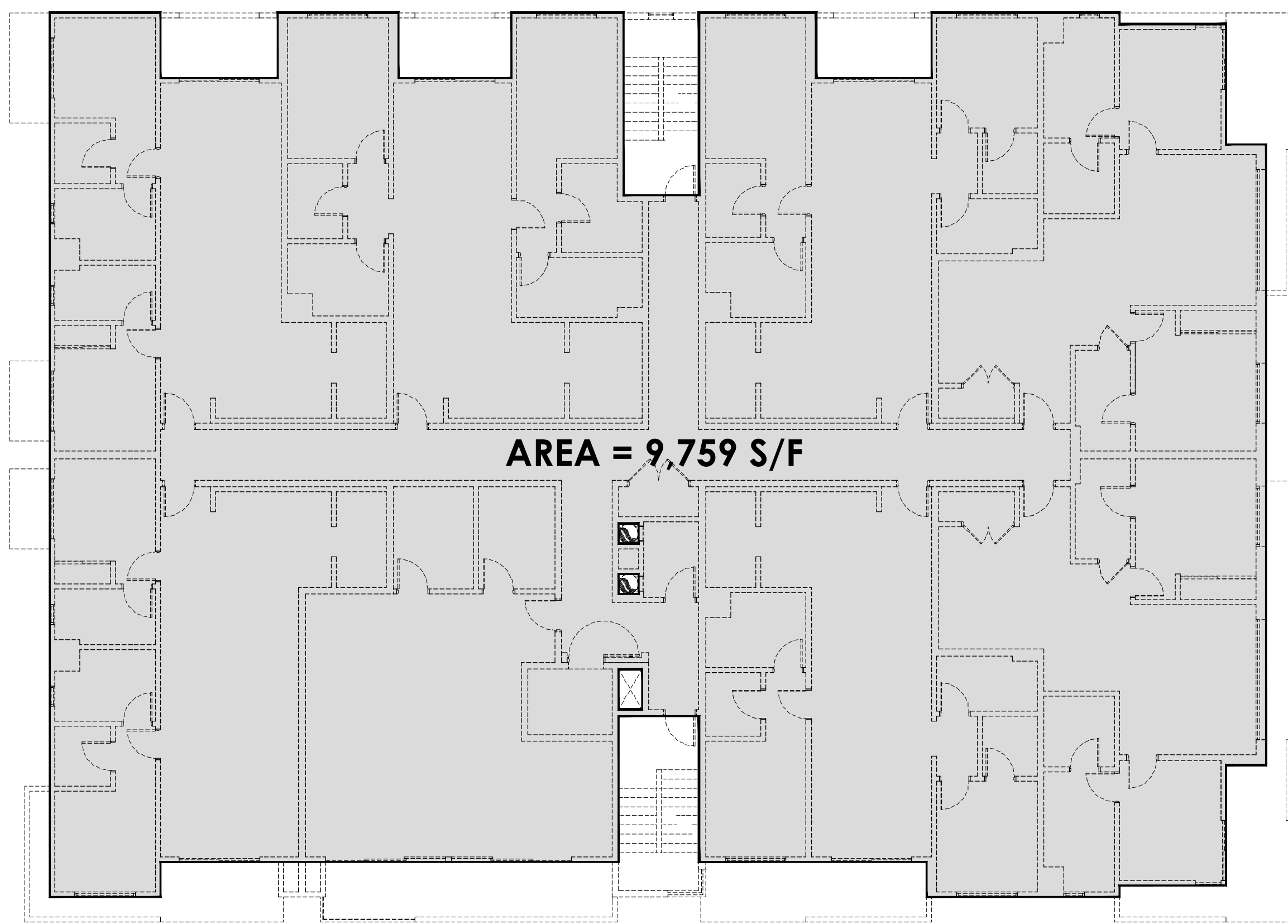
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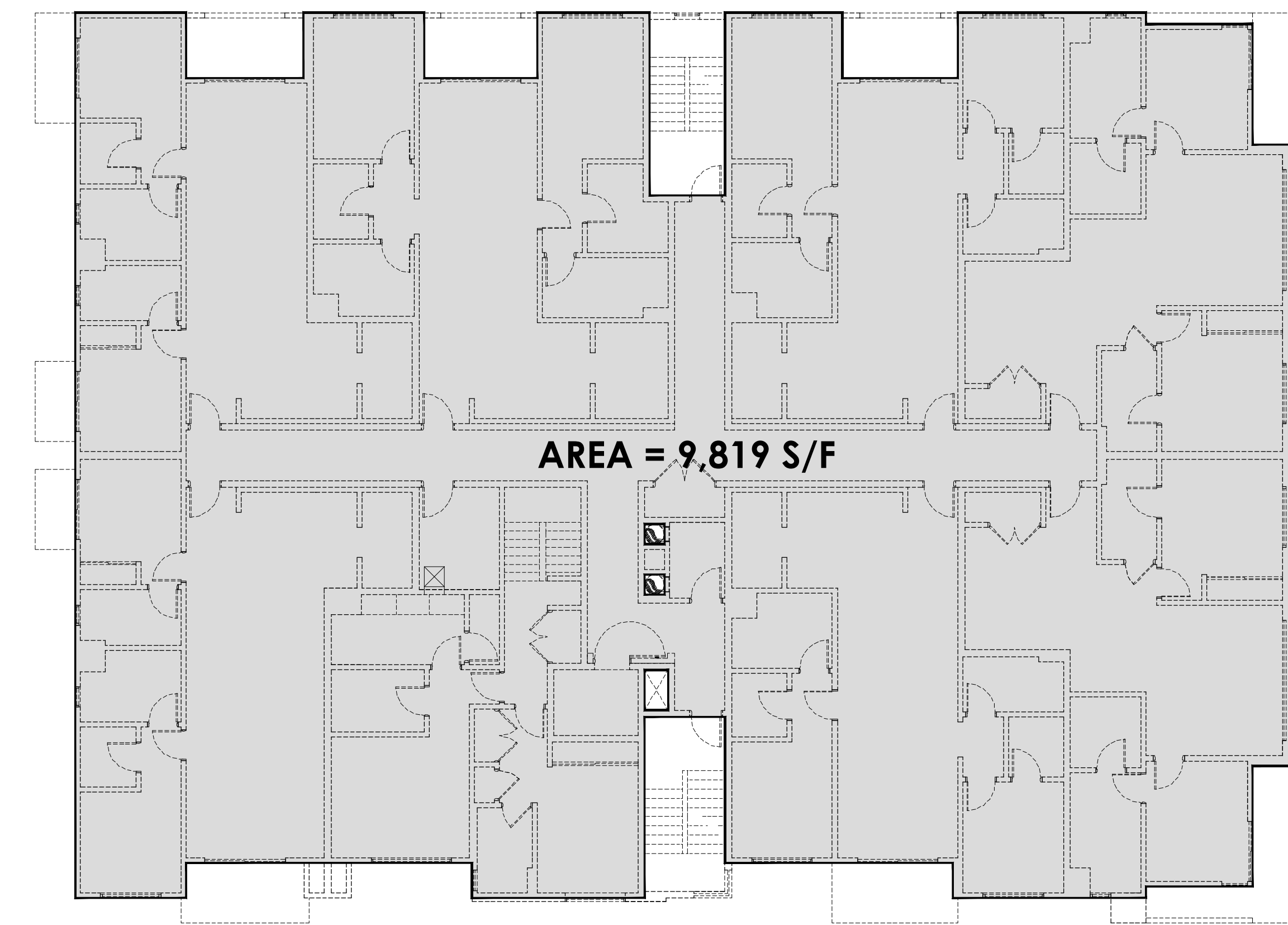
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Sheet Content:
FLOOR AREA GROSS CALC

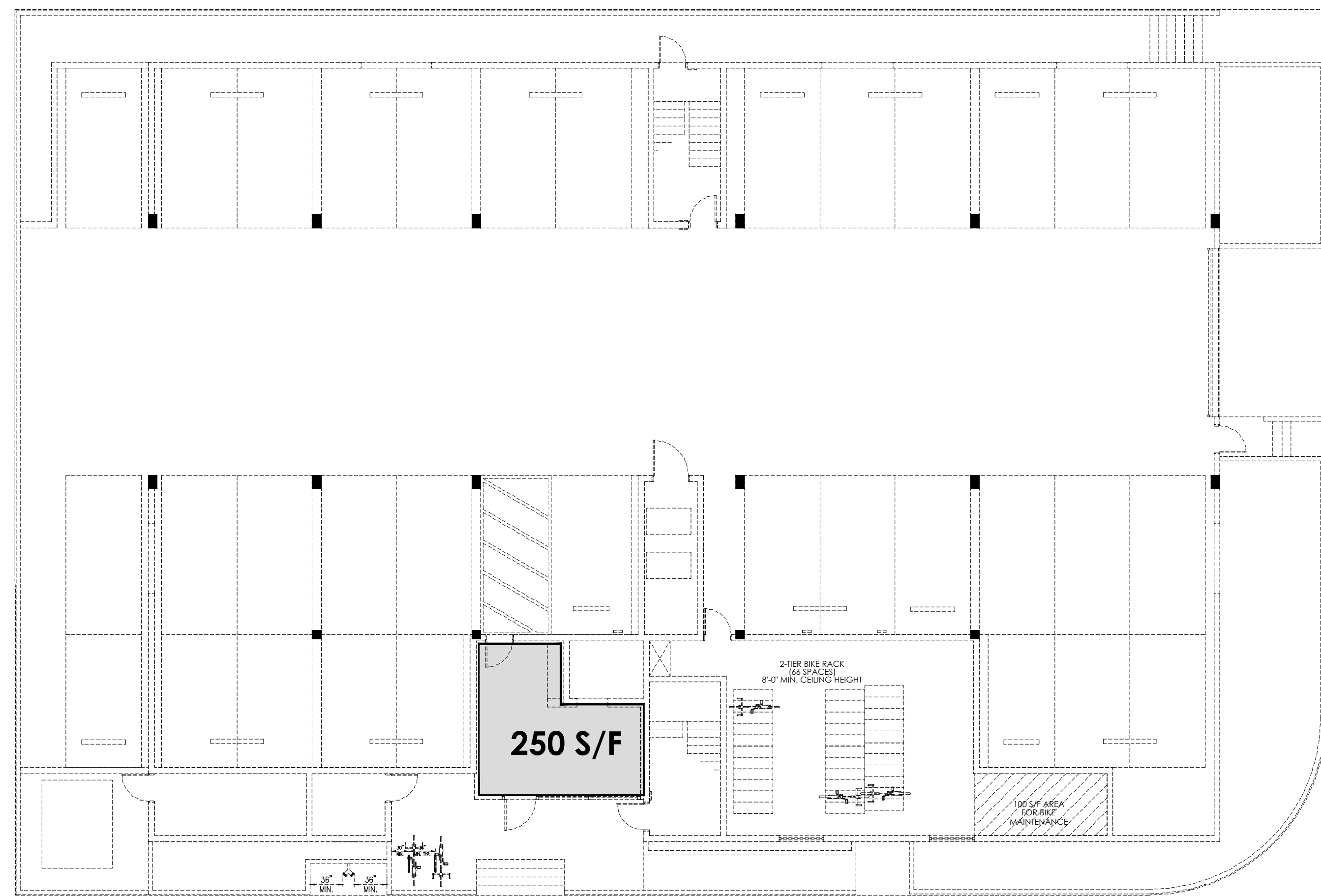
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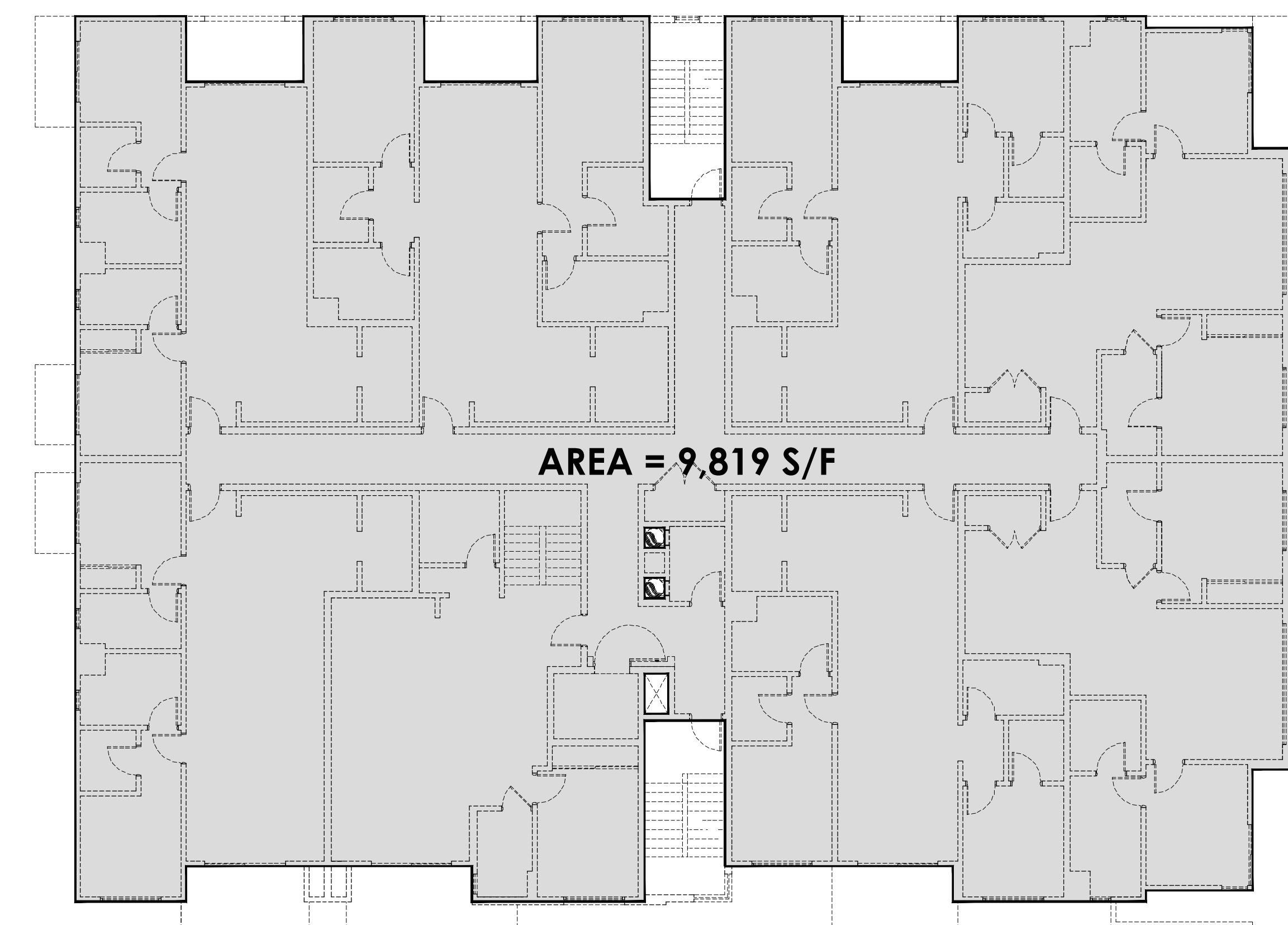
1ST FLOOR



2ND FLOOR



BASEMENT GARAGE



3RD FLOOR

PROVIDED	
Basement Lobby	250 S/F
1st Floor	9,759 S/F
2nd Floor	9,819 S/F
3rd Floor	9,819 S/F
TOTAL	29,647 S/F

Sheet Issue & Revision Log

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Architect Stamp:

Sheet Content:
SCHOOL FEE CALC

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Scale : 3/32" = 1'-0"
CAD : ROD
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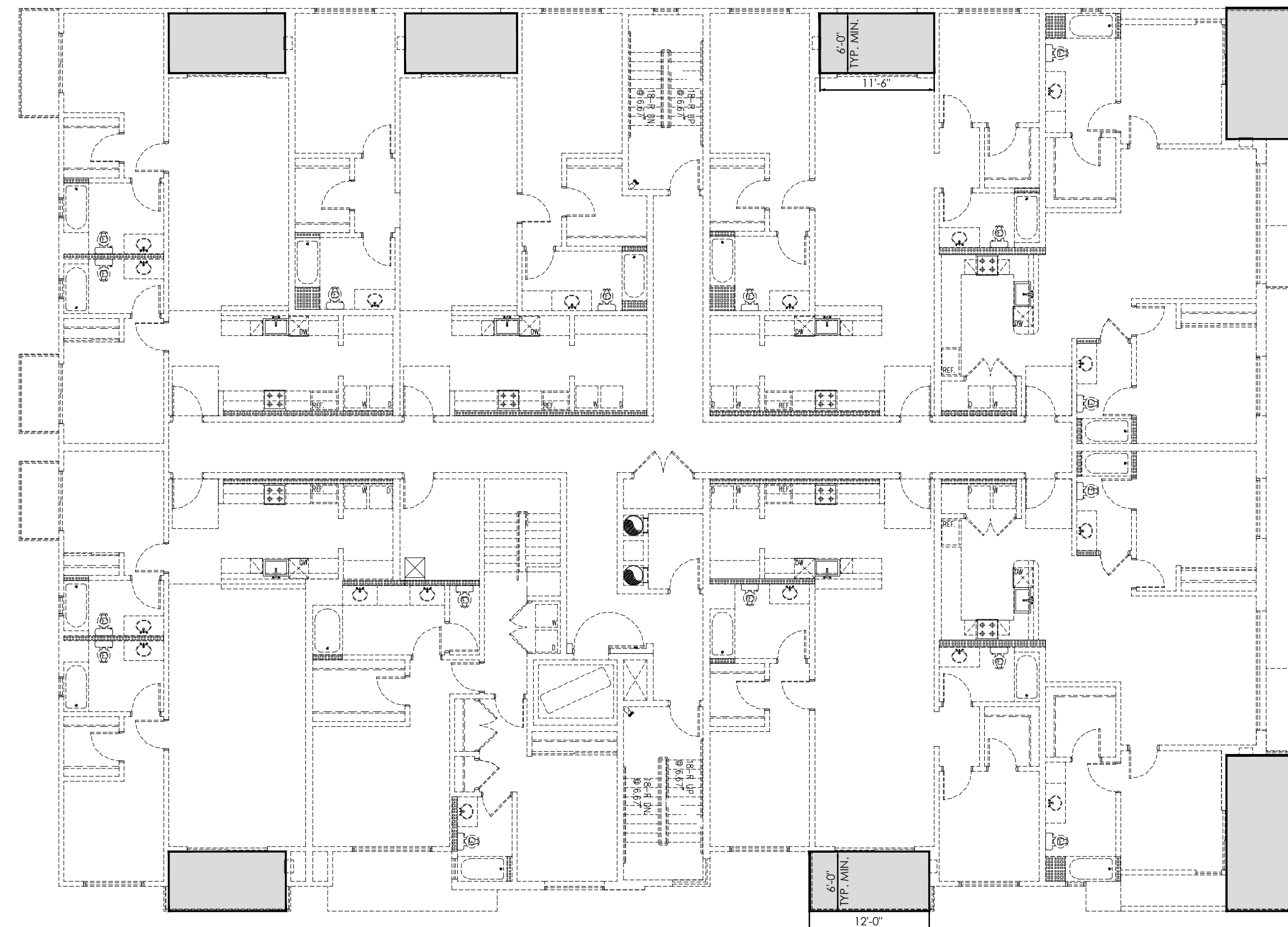
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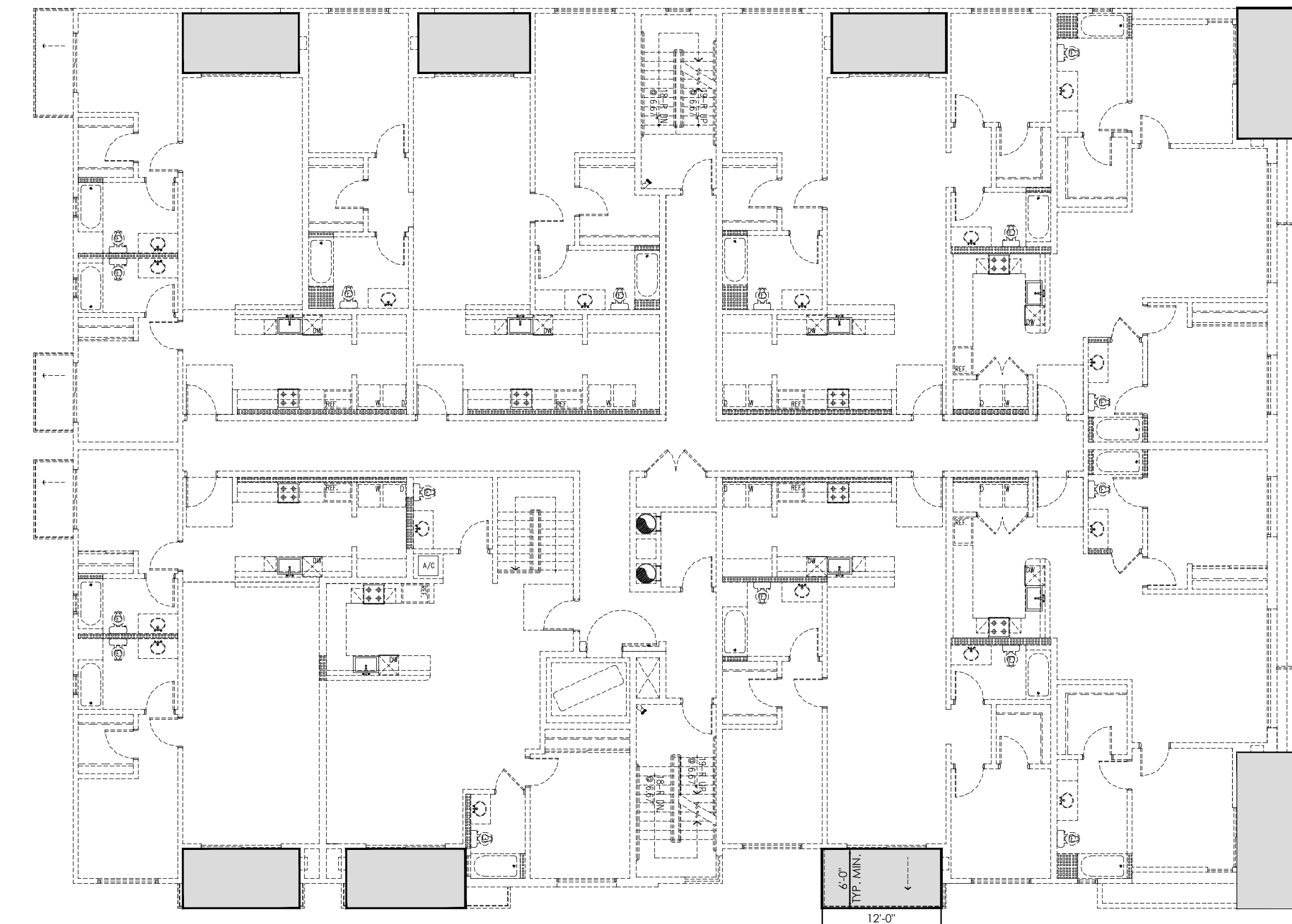
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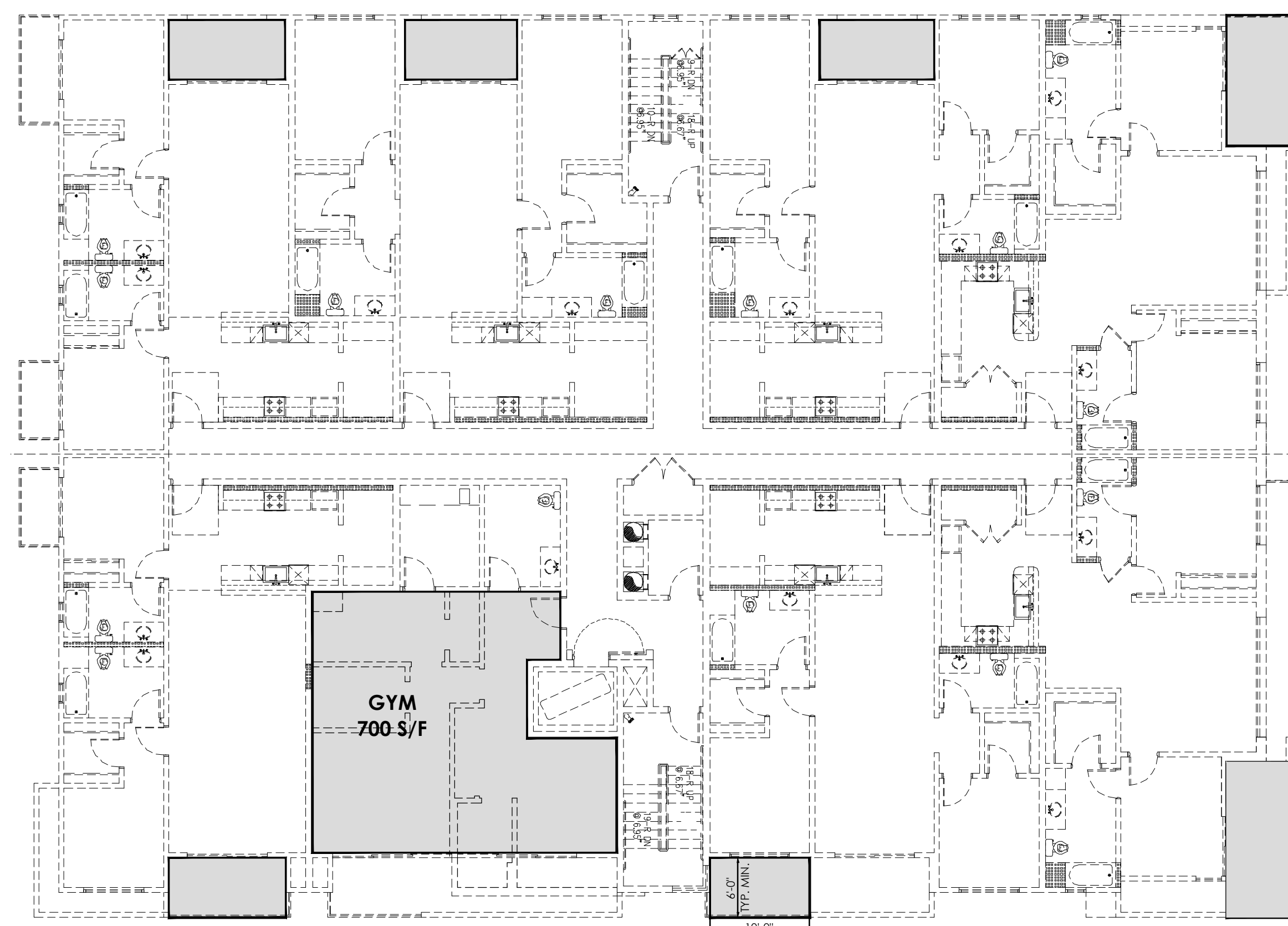
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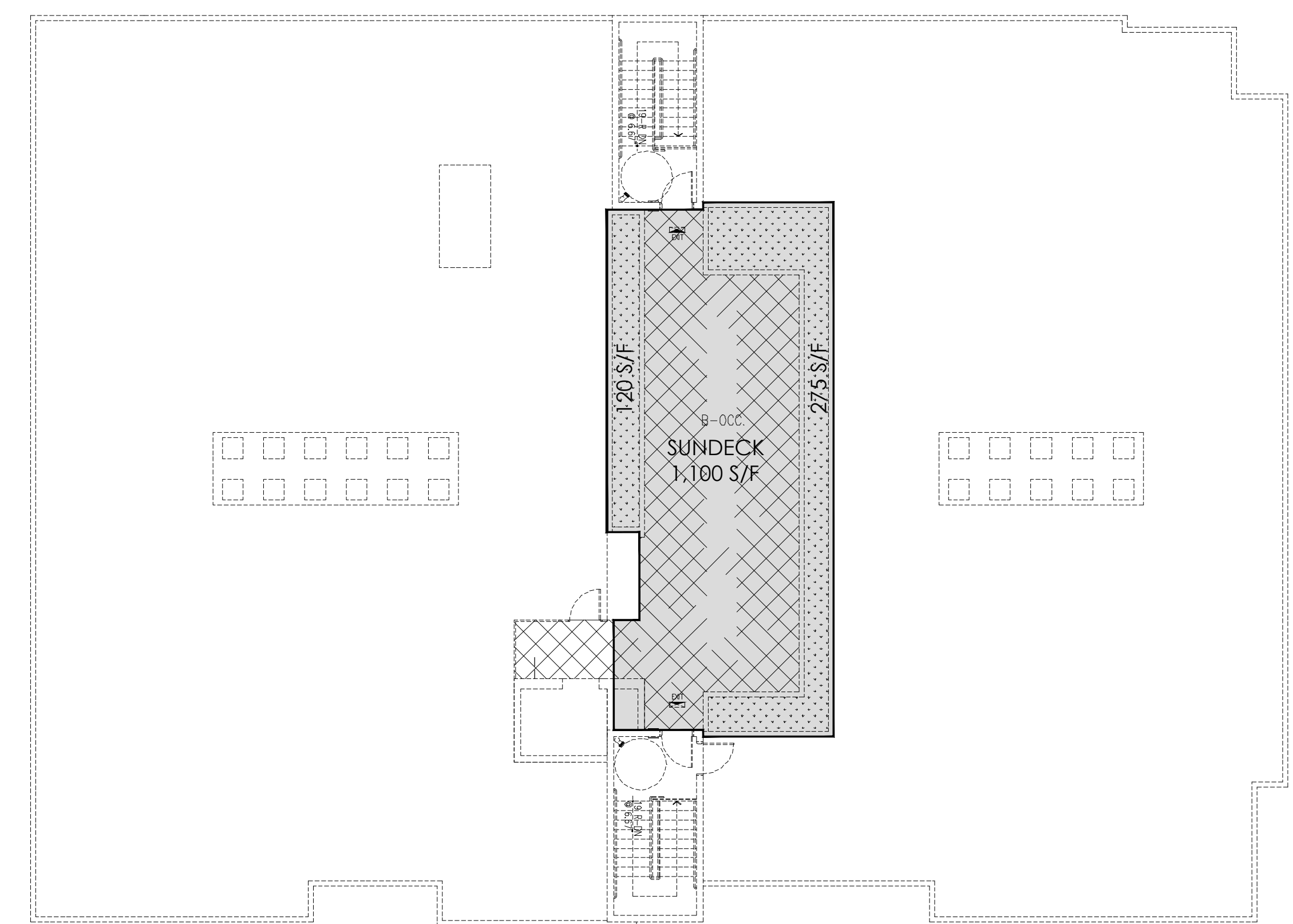
2ND FLOOR



3RD FLOOR



1ST FLOOR



ROOF

PROVIDED		
1st Floor	GYM	700 S/F
1st Floor	(7 BALCONY x 50 S/F)	350 S/F
2nd Floor	(7 BALCONY x 50 S/F)	350 S/F
3rd Floor	(8 BALCONY x 50 S/F)	400 S/F
Roof	(SUNDECK)	1,100 S/F
TOTAL		2,900 S/F

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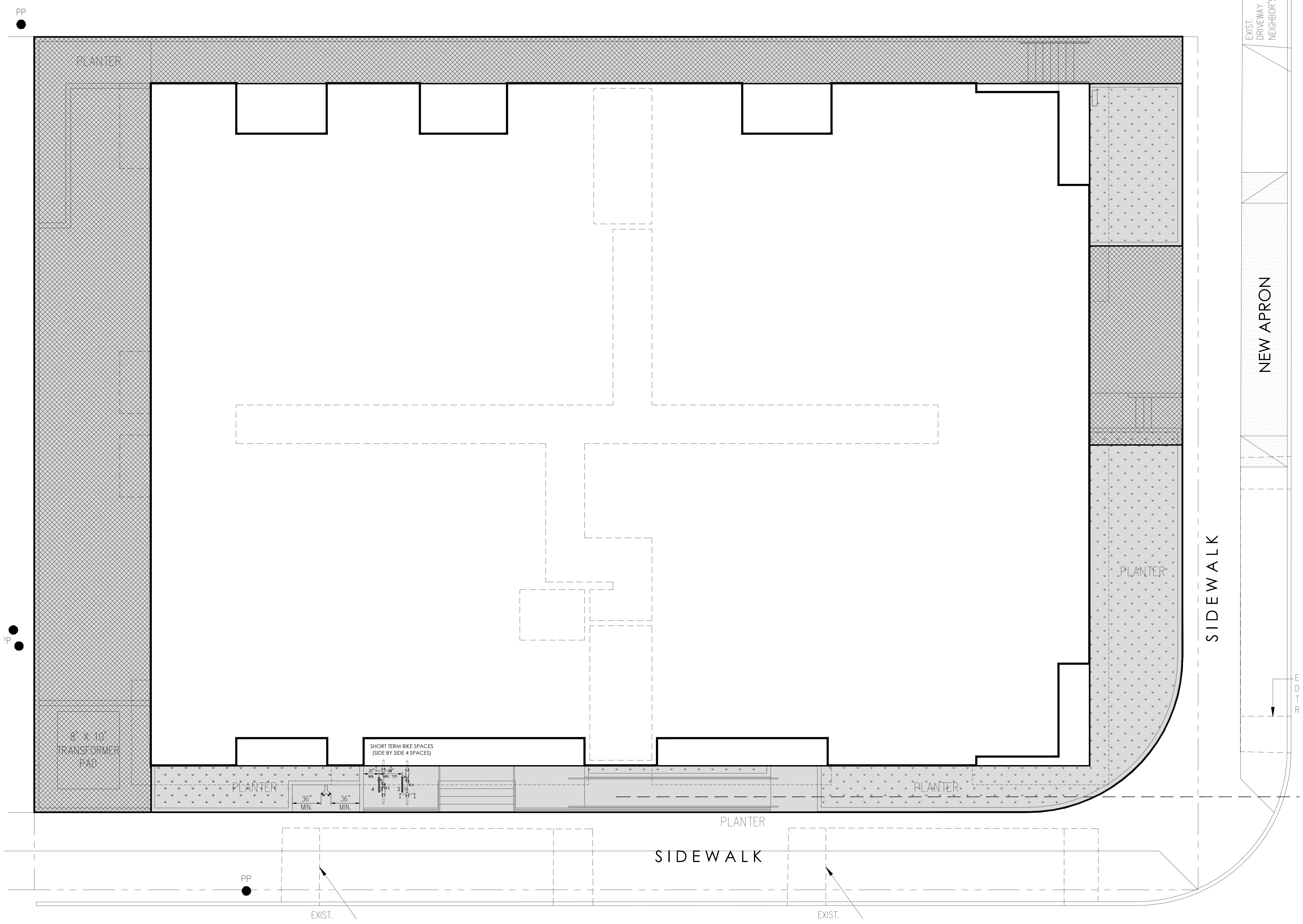
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HARDSCAPE AREA CALCULATION

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
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Sheet :

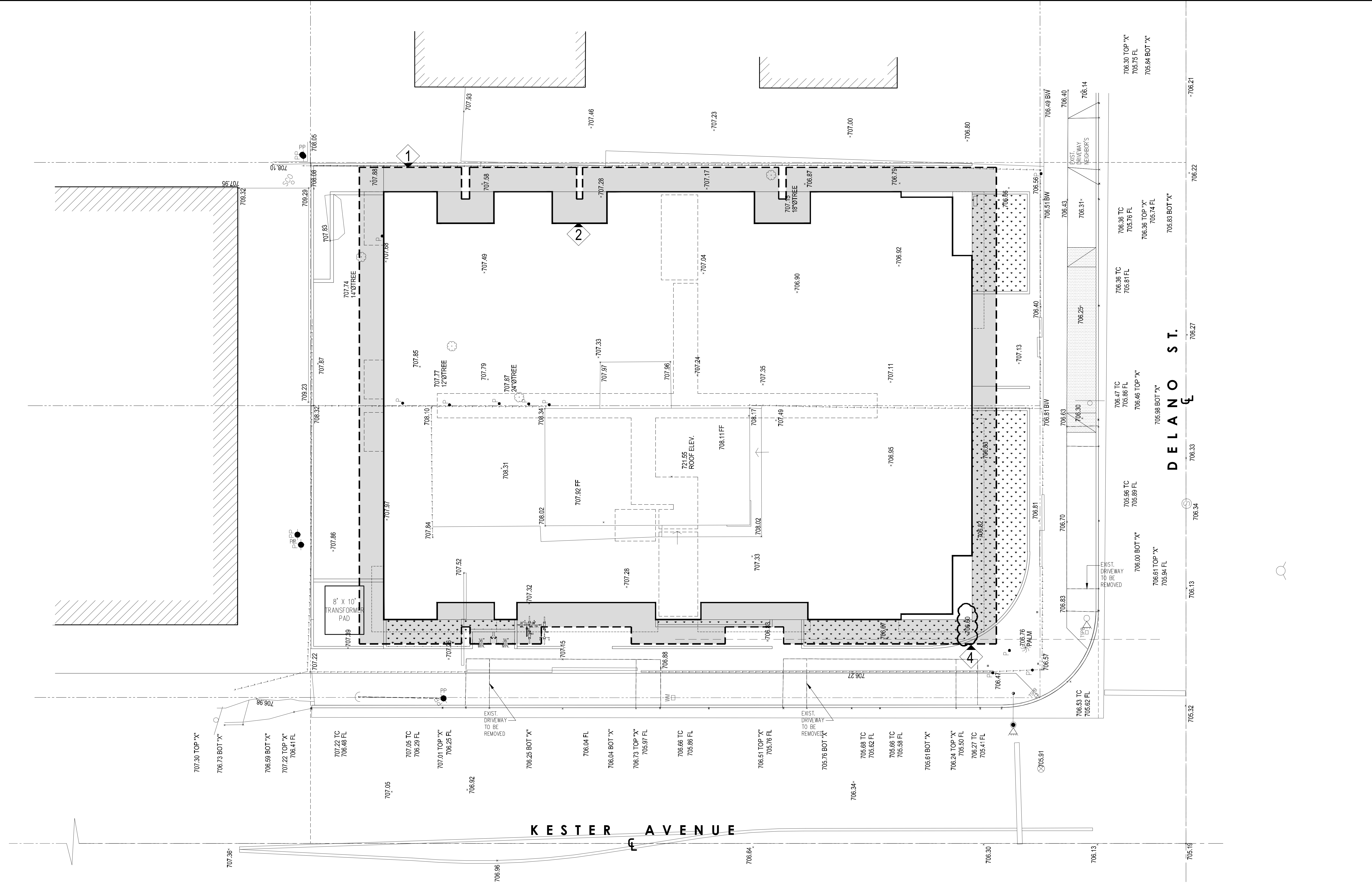
A-8.4
Of 0 Sheets

4,080 S/F TOTAL HARDSCAPE AREA
2,620 S/F CONCRETE DRIVEWAY, PAVING*
2,620 / 4,080 = 64% > 25% REQUIRED

*THE REQUIRED HARDSCAPE USED TO REDUCE HEAT ISLAND EFFECT SHALL HAVE A SOLAR REFLECTANCE OF ATLEAST 0.30 AS DETERMINED PER ASTM E918 OR ASTM C1549



HARDSCAPE AREA CALCULATION
SCALE: 3/16" = 1'-0"



KEYNOTES:

- ① 5 FEET AWAY FROM THE BUILDING LINE
- ② BUILDING LINE
- ③ ROOF PARAPET (EL. = 746.00 FEET)
- ④ LOWEST POINT WITHIN 5'-0" (EL = 706.60)

HEIGHT OF THE BUILDING (PARAPET INCLD.): $746.16 - 706.00 = 40.00 \text{ FT.}$

HEIGHT ON SURVEY

SCALE: 1/8" = 1'-0"

Sheet Issue & Revision Log

No.	Description

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Project Title:

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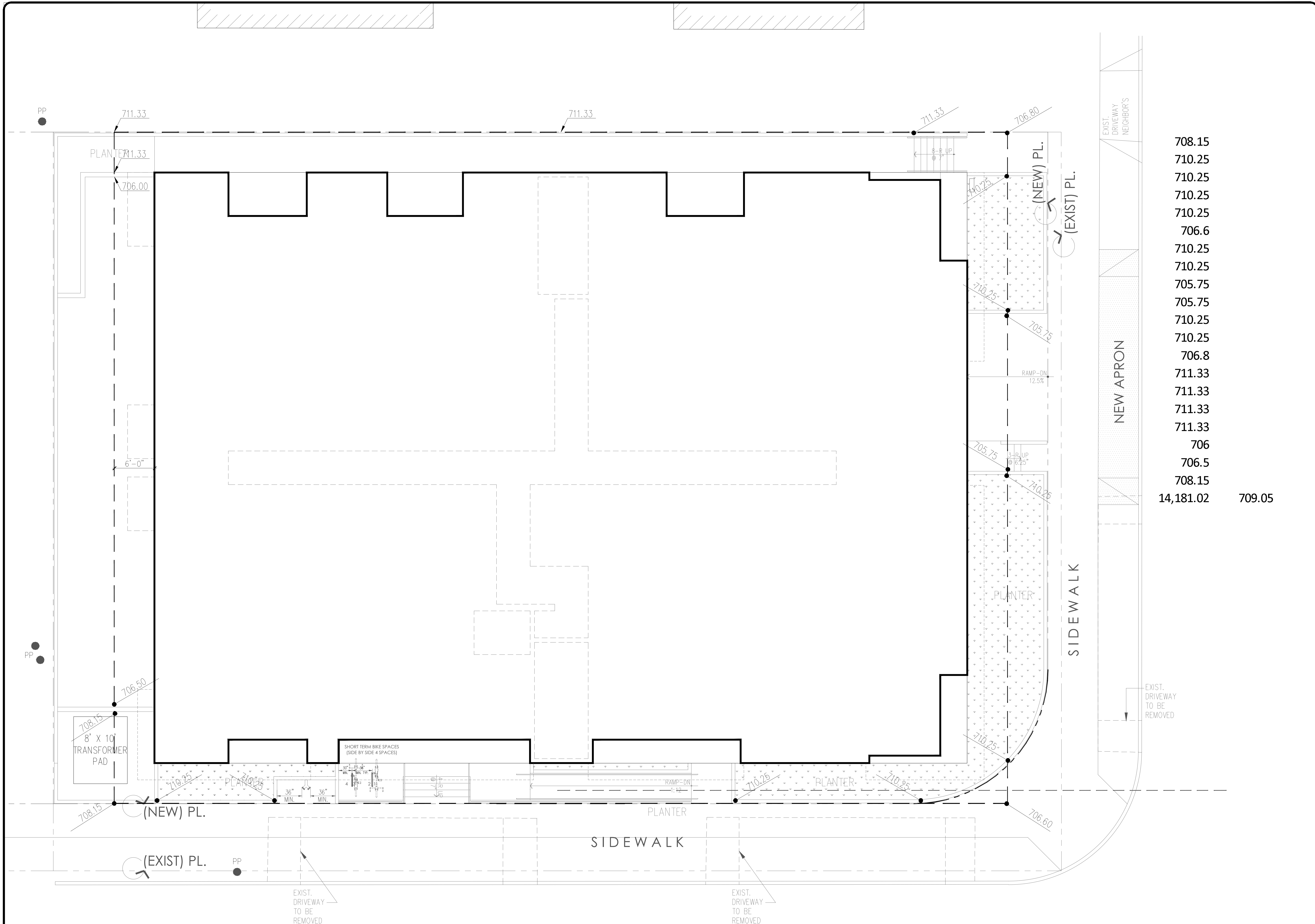
Architect Stamp:

Sheet Content:

HEIGHT ON SURVEY

Date : -
Scale : 1/8" = 1'-0"
CAD : ROD
Job : -
Sheet :

A-8.5
Of 0 Sheets



GRADE PLANE CALCULATION
 SCALE: 3/16" = 1'-0"

708.15	
710.25	
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710.25	
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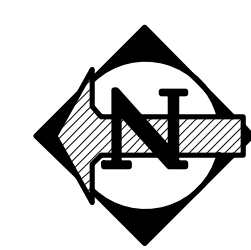
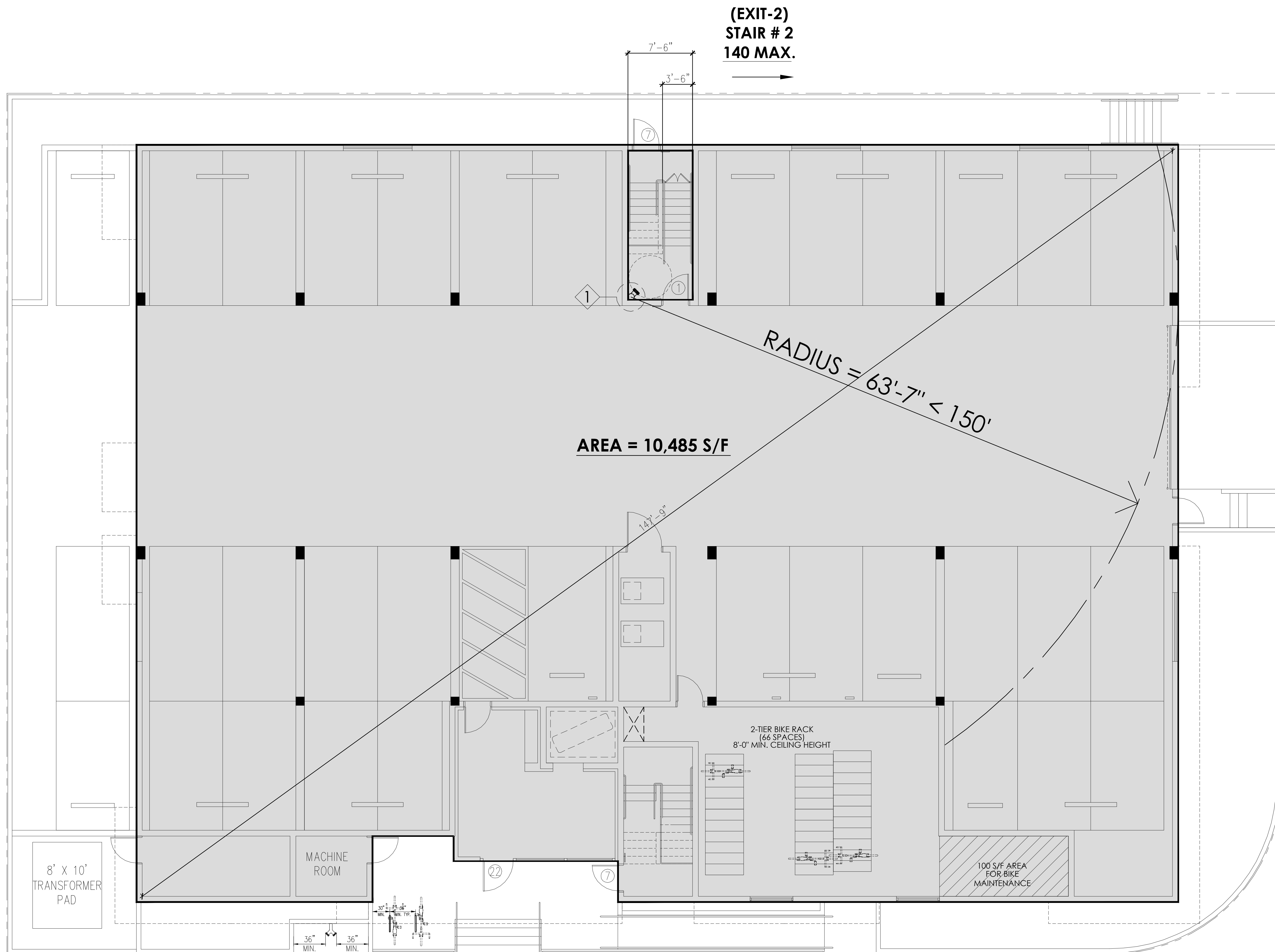
Architect Stamp:

Sheet Content:
GRADE PLANE CALCULATION

Date : -
 Scale : 3/16" = 1'-0"
 CAD : ROD
 Job : -
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A-8.6
 Of 0 Sheets

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BASEMENT GARAGE-EXIT ACCESS & EGRESS PER OCC. LOAD

SCALE: 3/16" = 1' - 0"

OCCUPANCY LOAD CALCULATION:

	AREA	FLOOR AREA IN SQ. FT. PER OCCUPANT	TOTAL OCCUPANT
BASEMENT GARAGE =	10,485 S/F	/ 200	= 53
REQUIRED EXIT =	2		
PROVIDED EXIT =	2 STAIRS		

EGRESS WIDTH CALC. PER SECTION 1005.1:

FOR STAIRS FACTOR IS 0.3' PER OCCUPANT
FOR EGRESS COMPONENT IS 0.2' PER OCCUPANT

53 (OCC.) / 2 (STAIR/EXIT PROVIDED) = 27 OCC. PER STAIR/EXIT

	REQUIRED WIDTH	PROVIDED WIDTH
STAIR # 2 =	27 x .3 = 8.1"	42"
COMPONENT =	27 x .2 = 5.4"	36"

EXIT DISTANCE

DIAGONAL = 112'-6"
1/3 OF DIAGONAL = 37'-6"
DISTANCE BETWEEN 2 EXIT DOORS = 82'-5" > 37'-6"

Sheet Issue & Revision Log

NO.	DESCRIPTION	DATE

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Developer:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

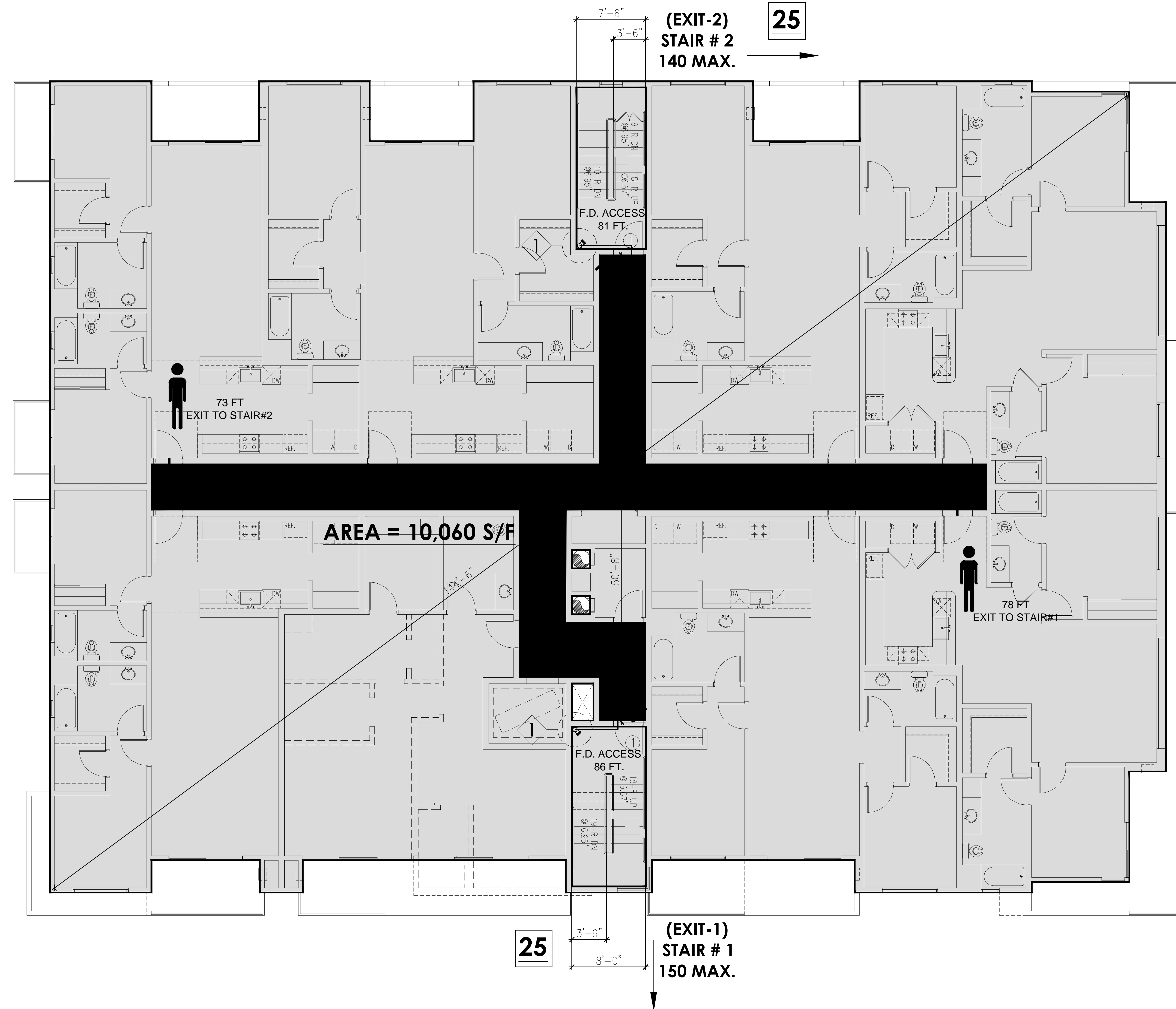
Project Title:
KESTER APT. 5-STORY BLDG 22-UNIT APARTMENT
6200 N. KESTER AVE.
VAN NUYS, CA 91411

Architect:
DARYOUSH SAFAI
AIA
Architect
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Santa Monica, CA 90403
Tel : (310) 453-3335
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Architect Stamp:

Sheet Content:
BASEMENT GARAGE EXIT ACCESS & OCC. LOAD

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
Job : -
Sheet :
LSP-1.0
Of 0 Sheets



EXIT DISTANCE
 DIAGONAL = 144'-6"
 1/3 OF DIAGONAL = 48'-2"
 DISTANCE BETWEEN 2 EXIT DOORS =
 50'-8" > 48'-2"

KEYNOTE:
 1 CLASS-I WET
 STANDPIPE

OCCUPANCY LOAD CALCULATION:

	AREA	FLOOR AREA IN SQ. FT. PER OCCUPANT	TOTAL OCCUPANT
1ST FLOOR	= 10,060 S/F	/ 200	= 50
REQUIRED EXIT	= 2		
PROVIDED EXIT	= 2 STAIRS		

EGRESS WIDTH CALC. PER SECTION 1005.1:
 FOR STAIRS FACTOR IS 0.3" PER OCCUPANT
 FOR EGRESS COMPONENT IS 0.2" PER OCCUPANT
 50 (OCC.) / 2 (STAIR PROVIDED) = 25 OCC. PER STAIR

	REQUIRED WIDTH	PROVIDED WIDTH
STAIR # 1	= 25 x .3 = 7.5"	45"
STAIR # 2	= 25 x .3 = 7.5"	42"
COMPONENT	= 25 x .2 = 5"	36"

1ST FLR -EXIT ACCESS & EGRESS PER OCC. LOAD



Sheet Issue & Revision Log

No.	Description	Date

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Architect Stamp:

Sheet Content:
1ST FLOOR EXIT ACCESS & EGRESS PER OCC. LOAD

Date : -
 Scale : 3/16" = 1'-0"
 CAD : ROD
 Job : -
 Sheet :

LSP-1.1
 Of 0 Sheets

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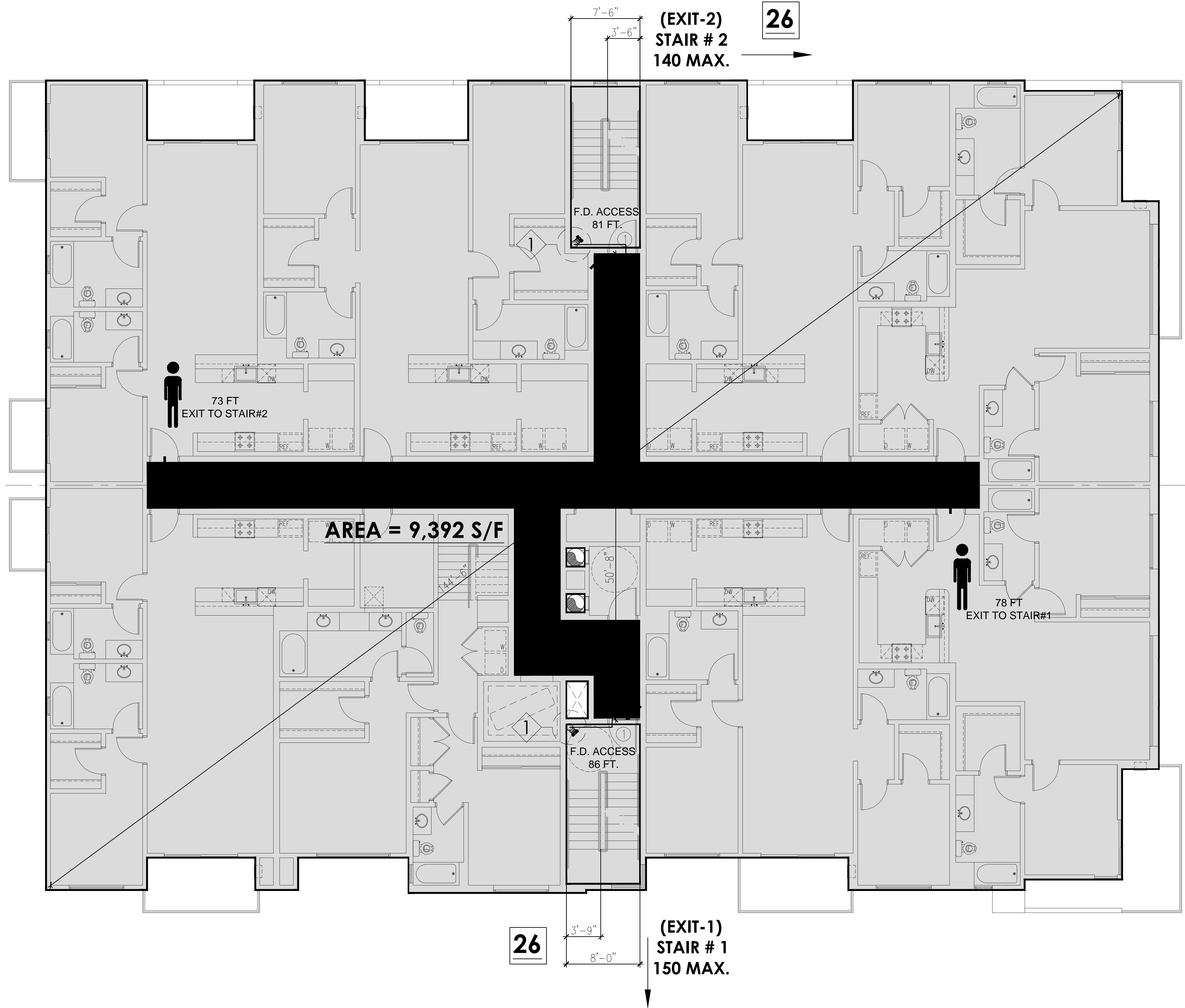
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Architect Stamp:

Sheet Content:
2ND & 3RD FLOOR EXIT ACCESS & EGRESS PER OCC. LOAD

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
Job : -
Sheet :
LSP-1.2
Of 0 Sheets



EXIT DISTANCE
DIAGONAL = 144'-6"
1/3 OF DIAGONAL = 48'-2"
DISTANCE BETWEEN 2 EXIT DOORS = 50'-8" > 48'-2"

KEYNOTE:
1 CLASS-I WET STANDPIPE

OCCUPANCY LOAD CALCULATION:

	AREA	FLOOR AREA IN SQ. FT. PER OCCUPANT	TOTAL OCCUPANT
2ND & 3RD FLOOR =	10,124 S/F	/ 200	= 51
REQUIRED EXIT =	2		
PROVIDED EXIT =	2 STAIRS		

EGRESS WIDTH CALC. PER SECTION 1005.1:
FOR STAIRS FACTOR IS 0.3" PER OCCUPANT
FOR EGRESS COMPONENT IS 0.2" PER OCCUPANT

51 (OCC.) / 2 (STAIR PROVIDED) = 26 OCC. PER STAIR

	REQUIRED WIDTH	PROVIDED WIDTH
STAIR # 1 =	26 x .3 = 7.8"	45"
STAIR # 2 =	26 x .3 = 7.8"	42"
COMPONENT =	26 x .2 = 5.2"	36"

2ND & 3RD FLR -EXIT ACCESS & EGRESS PER OCC. LOAD
SCALE: 3/16" = 1'-0"

IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTOR PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY EFFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

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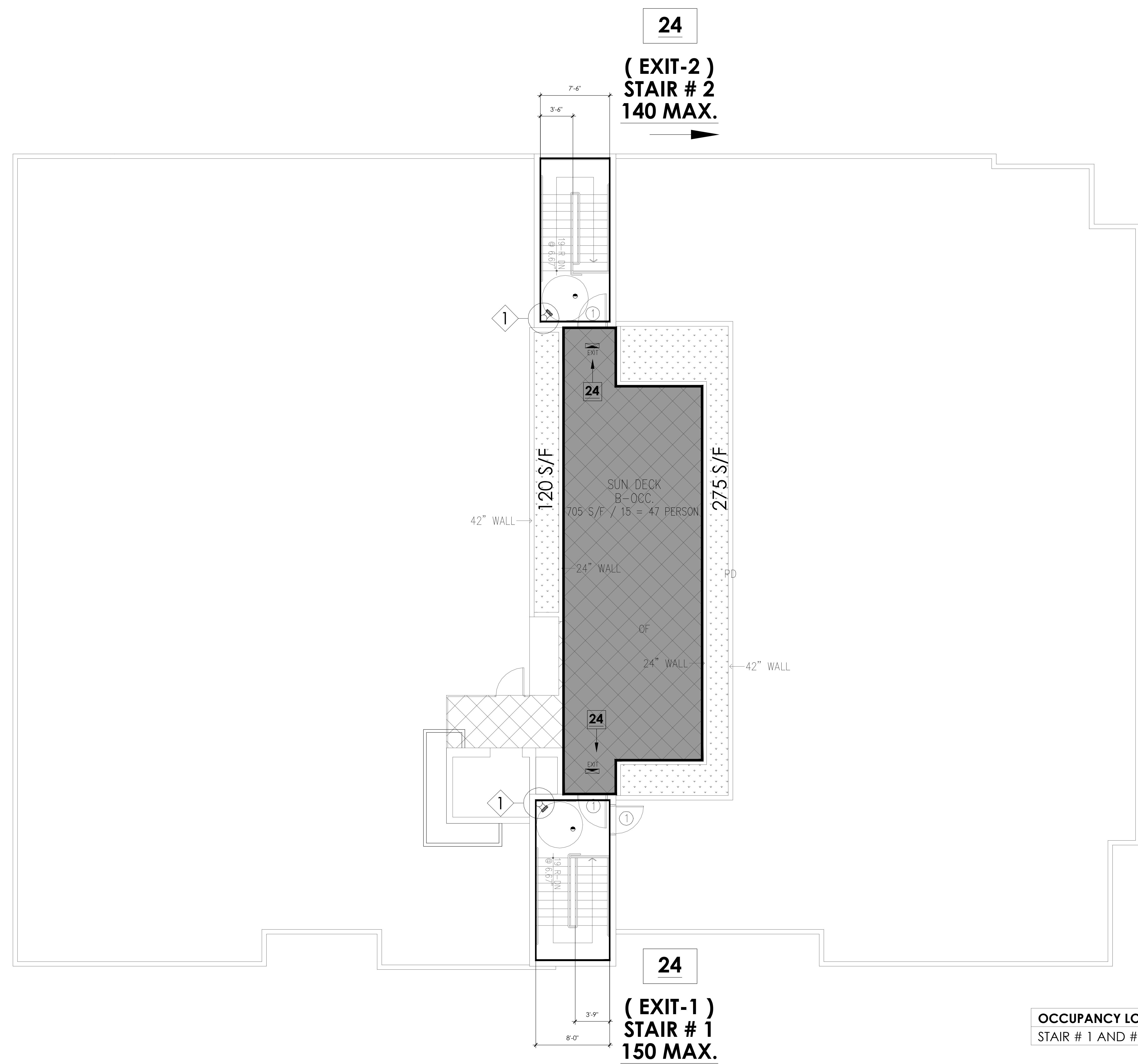
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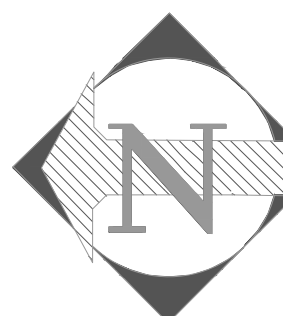
Sheet Content:
ROOF EXIT ACCESS & EGRESS PER OCC LOAD

Date : -
Scale : 3/16" = 1'-0"
CAD : ROD
Job : -
Sheet :
LSP-1.3
Of 0 Sheets



OCCUPANCY LOAD CALCULATION @ ROOF	SUBTOTAL
STAIR # 1 AND # 2	24

	STAIR WIDTH		EGRESS COMPONENT (DOOR)		
	REQUIRED WIDTH	PROVIDED WIDTH	OCC. LOAD PER CALC.	REQUIRED WIDTH	PROVIDED WIDTH
STAIR # 1	24 x .3 = 7.2"	< 45"	24 x .2	4.8"	< 36"
STAIR # 2	24 x .3 = 7.2"	< 42"	24 x .2	4.8"	< 36"



ROOF EXIT ACCESS & EGRESS PER OCC. LOAD

SCALE: 3/16" = 1'-0"

Sheet Issue & Revision Log

NO.	DATE	DESCRIPTION

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Architect Stamp:

Sheet Content:
GRADING PLAN

Date : -
Scale : 1/8" = 1'-0"
CAD : ROD
Job : -
Sheet :
G-1.0
Of 0 Sheets

CUT - A
EXIST. AVE. HEIGHT

708.08	
706.56	
706.57	
708.32	
2829.53 / 4	707.38

CUT - A

AVE. HEIGHT = 707.38 F.G.
707.38 - 704.50 = **2.88 FT. HT OF EXPORT**
704.50 - 697.00 = **7.5 FT. HT OF COMPACTION**

2.88 x 13,973 S/F = 40,242 CU. FT. (EXPORT)
40,242 CU. FT. / 27 = 1,490 CU. YD.
15% EXPANSIVE SOIL = 224 CU. YD.
TOTAL EXPORT DIRT = 1,714 CU. YD.

$13,973 \text{ S/F} \times 7.5 = 104,798 / 27 = 3,881 \text{ CU. YD. COMPACTION}$

EARTHWORK QUANTITY:

BACKFILL & COMPACTION = **3,881 CU. YD.**
IMPORT = **-0-**
EXPORT = **1,714 CU. YD.**

PROPERTY OWNER:
6200 KESTER APARTMENTS, LLC
23901 CALABASAS RD, SUITE 2010
CALABASAS, CA 91302

SOILS ENGINEER:
AGI, GEOTECHNICAL, INC.
16555 SHERMAN WAY, SUITE A
VAN NUYS, CA 91406
TEL. (818) 785-5244

JOB ADDRESS:
6200 N. KESTER AVE.
VAN NUYS, CA 91411

LEGAL DESCRIPTION:
LOT NO. : 13 ARB (LOT CUT REFERENCE) 1
BLOCK NO. : 62
TRACT NO. : TR 1200

NOTES:
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE).

- CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST IS REQUIRED.

A) "GENERAL SPECIFICATIONS FOR ALL GRADING PLANS" - DEPARTMENT BUILDING & SAFETY FORM B-164 IS A PART OF THE PLANS.

B) ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.

C) STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.

D) NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.

E) MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.

F) TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. [>200 CY] (7007.1)

G) RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

H) PROVIDE GUARDRAIL ON TOP OF WALLS FOR YARD AREAS WHICH DROP MORE THAN 30 INCHES.

"THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOIL ENGINEERING GEOLOGIC REPORTS DATED _____."

SIGNATURE _____ DATE _____

