

**FIRE DEPARTMENT NOTES**

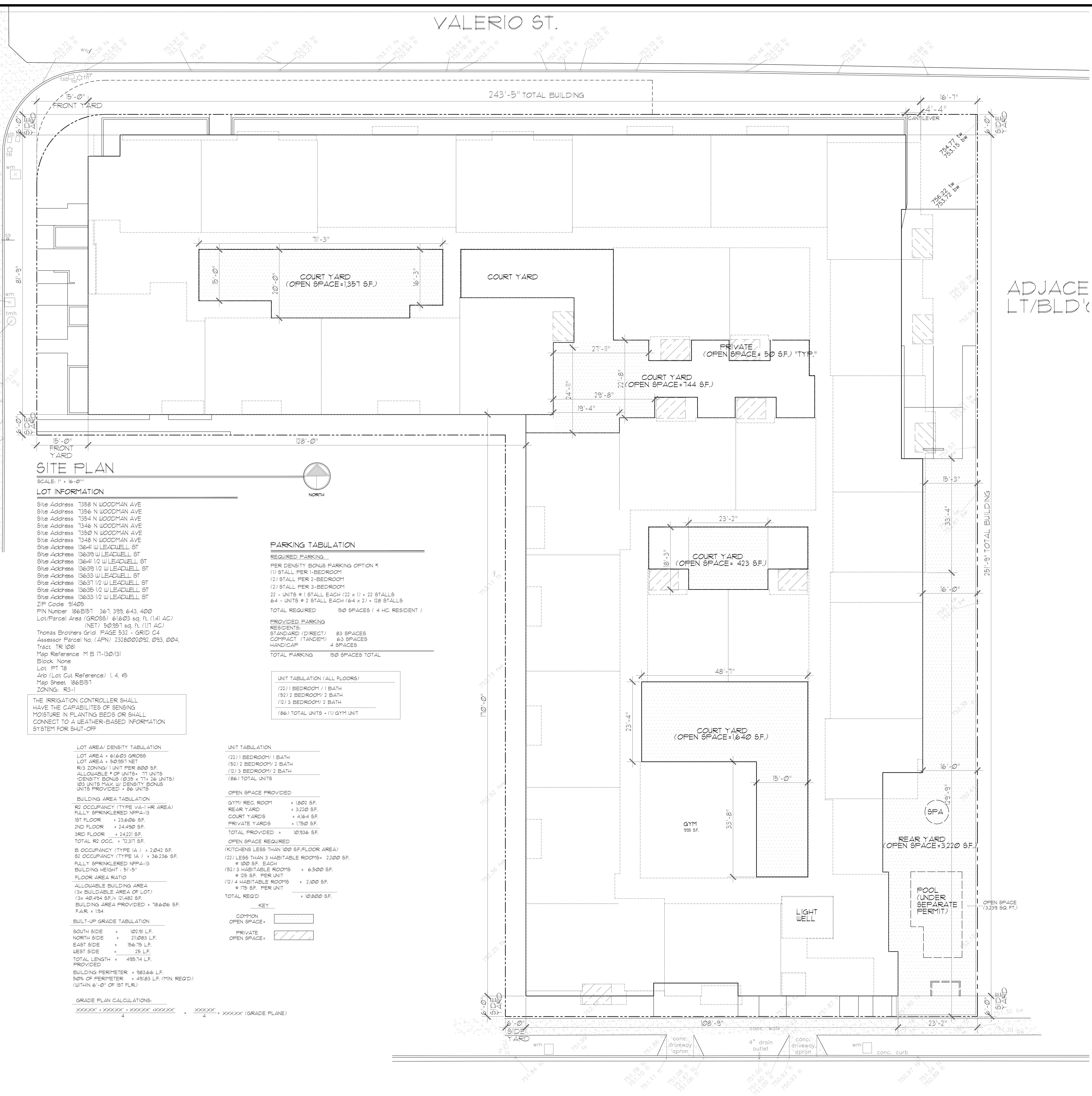
1. PROVIDE AN APPROVED FIRE ALARM SYSTEM.
2. PROVIDE SMOKE DETECTOR IN THE COMMON STAIRWELLS SERVING TWO OR MORE TENANTS. (HEALTH AND SAFETY CODE 1913.1)
3. PROVIDE SINGLE STATION SMOKE DETECTOR WITHIN SLEEPING AREAS AND AREAS GIVING ACCESS TO SLEEPING AREAS, AND ON TOP CENTER OR STAIRS LEADING THERETO. (INDICATE LOCATION ON FLOOR PLANS)
4. RUBBISH ROOM SHALL BE OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION AND BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM. (L.A.M.C. 912.1)
5. ROOF CONSTRUCTION SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, AND RAZOR RIBBON SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE. (L.A.M.C. 912.1)
6. ROOF COVERING SHALL CONFORM WITH TABLE 909.1 (L.A.M.C. 910.0)
7. FIRE DAMPERS SHALL BE PROVIDED WHERE DUCTS PENETRATE FIRE RATED WALLS OR CEILING (TITLE 24 - CHAPTER 1 SECTION 16 L.A.B.C.)
8. PARKING SPACES SHALL NOT OBSTRUCT REQUIRED EXITS. (L.A.M.C. 913.3)
9. CONSPICUOUSLY MARK GAS SHUT-OFF VALVE. (C.C.R. TITLE 19)
10. MEANS OF EGRESS MUST HAVE CONTINUOUS UNOBSTRUCTED AND UNDIMINISHED PATH TO A PUBLIC WAY.
11. EXIT COURT, LESS THAN 10 FEET IN WIDTH, SHALL HAVE MINIMUM OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION FOR A DISTANCE OF 10 FEET ABOVE THE COURT, AND OPENING SHALL BE PROTECTED WITH THREE-FOURTHS HOUR FIRE ASSEMBLIES.
12. AN EXIT WALKWAY WITH A MINIMUM WIDTH OF 48" SHALL BE MAINTAINED CONTINUOUSLY TO A PUBLIC WAY.
13. EXIT PATHS OR WALKWAYS TO PUBLIC WAYS, SHALL BE CLEARLY DELINEATED. EXIT PATHS SHALL BE DELINEATED BY PAINTED LINES, RAILING, BARRIER POSTS, WALKS, OR OTHER APPROVED MEANS.
14. BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE TO L.A.M.C. 912.01
15. FIRE DEPARTMENT ACCESS, FIRE HYDRANTS AND FIRE FLOW REQUIREMENTS ON THIS PROJECT SHALL BE REVIEWED BY THE CONSTRUCTION SERVICES UNIT (HYDRANTS AND ACCESS) BUREAU OF FIRE PREVENTION AND PUBLIC SAFETY, 210 N. FIGUEROA ST., SUITE 500 • PHONE # 213-482-6543
16. DOORS OPENING INTO ONE-HOUR FIRE RESISTIVE CORRIDOR SHALL BE PROTECTED WITH A SMOKE OR CRIMP STOP FIRE ASSEMBLY HAVING A MINIMUM 20 MINUTE RATING.
17. WINDOWS IN ONE-HOUR CORRIDOR SHALL BE LIMITED TO FIXED GLAZING OF 45 MINUTE FIRE RATING AND SHALL NOT EXCEED 25% OF CORRIDOR ROOM COMMON WALK SECTION (19 L.A.B.C.)
18. ELEVATOR DOORS SHALL NOT OPEN DIRECTLY INTO ONE-HOUR CORRIDORS. ELEVATOR LOBBIES SHALL BE OF ONE-HOUR CONSTRUCTION WITH 20/45 MINUTE DOORS
19. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.3.
20. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED A FLAME SPREAD CLASS II.
21. INTERIOR WALL AND CEILING FINISHES FOR ENCLOSED STAIRWAY SHALL NOT EXCEED A FLAME SPREAD CLASS I.
22. PROVIDED EXIT SIGNS AND DIRECTIONAL EXIT SIGNS WITH MINIMUM 6" HIGH BY 3/4" STROKE BLOCK LETTERS ON A CONTRASTING BACKGROUND. SPACING BETWEEN SIGNS SHALL NOT EXCEED 100 FEET.
23. PROVIDE APPROVED LOW-LEVEL EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS.
24. WHENEVER THE BUILDING IS OCCUPIED, EXIT SIGNS SHALL LIGHTED SO THAT THEY ARE CLEARLY VISIBLE.
25. PROVIDE STAIRWAY NUMBERING SYSTEM FOR BUILDINGS THREE OR MORE STORIES. (L.A.M.C. 913.3)
26. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR EQUIV. WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR ALSO DURING CONSTRUCTION.
27. PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN KBC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM, OR PARKING GARAGE.
28. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
29. PROVIDE AN AUTOMATIC FIRE EXTINGUISHING SYSTEM THROUGHOUT BUILDING SPRINKLER SYSTEM TO BE APPROVED BY PLUMBING SECTION PRIOR TO INSTALLATION.
30. PLANS FOR DIVISION 9 PERMIT FOR THE INSTALLATION OF CS69 SHALL BE SUBMITTED IN TRIP GATE FOR APPROVAL TO THE ENVIRONMENTAL UNIT (ENGINEERING) BUREAU OF FIRE PREVENTION & PUBLIC SAFETY, 210 N. FIGUEROA ST., SUITE 500, LOS ANGELES, CA 90012. PHONE: (213) 482-6900
31. MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM.
32. MEANS OF EGRESS SHALL BE ILLUMINATED # A MINIMUM INTENSITY OF 1 FOOT-CANDLE # THE FLOOR LEVEL.
33. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL TOOL, KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
34. ANY DECORATIONS SHALL BE NON-COMBUSTIBLE OR FLAME RETARDANT TREATED IN AN APPROVED MANNER (CURTAINS, DRAPE, SHADES HANGING)
35. PROVIDE A MEANS OF EMERGENCY ENTRY FOR FIRE DEPARTMENT ACCESS (506) (CFC)
36. OPENING PROTECTIVES ARE NOT REQUIRED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1 AND THE EXTERIOR OPENINGS ARE PROTECTED BY A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE.
37. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72 (2012), 901.5.2.4

**NOTES:**

1. AN APPROVED SEISMIC GAS SHUT-OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. TYPICAL EACH METER
2. WATER HEATERS MUST BE STRAPPED TO A WALL
3. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 10 INCHES ABOVE THE DRAIN INLET. USE OF WATER RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 1909.3
4. PROVIDE ULTRA LOW FLUSH WATER CLOSERS FOR ALL NEW CONSTRUCTION. SEE SH-01 FOR FLOW RATE
5. PROVIDE RAIN GUTTERS AND CONVEY WATER TO STREET.
6. A FIRE ALARM SYSTEM IS REQUIRED - SUBMIT 3 COPIES TO SYSTEM TO THE FIRE DEPT. FOR APPROVAL PRIOR TO INSTALLATION.
7. SPRINKLER SYSTEM TO BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.
8. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 303.1
9. THE DESIGN AND CONSTRUCTION OF THE PROJECT SHALL CONFORM TO THE 2011 LOS ANGELES BUILDING CODE SEISMIC STANDARDS AS APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY.
10. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES OR TO THE LOCATION OF THE HOOP-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
11. THIS PROJECT SHALL COMPLY WITH THE PLUMBING FIXTURE FLOW RATE FOR 10% WATER SAVINGS- SEE SH-01 FOR TABLE
12. A COPY OF THE VALID EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

WOODMAN AVE.

VALERIO ST.



**SITE PLAN**

SCALE: 1" = 16'-0"

**LOT INFORMATION**

Site Address 1358 N WOODMAN AVE  
 Site Address 1356 N WOODMAN AVE  
 Site Address 1354 N WOODMAN AVE  
 Site Address 1346 N WOODMAN AVE  
 Site Address 1350 N WOODMAN AVE  
 Site Address 1348 N WOODMAN AVE  
 Site Address 1364 W LEADWELL ST  
 Site Address 13639 W LEADWELL ST  
 Site Address 13641 1/2 W LEADWELL ST  
 Site Address 13639 1/2 W LEADWELL ST  
 Site Address 13633 W LEADWELL ST  
 Site Address 13631 1/2 W LEADWELL ST  
 Site Address 13625 1/2 W LEADWELL ST  
 ZIP Code 91409  
 PIN Number 186B51 367,395,643,400  
 Lot/Parcel Area (GR055) 61603 sq. ft. (1.41 AC)  
 (NET) 50,951 sq. ft. (117 AC)  
 Thomas Brothers Grid PAGE 532 - GRID C4  
 Assessor Parcel No. (APN) 132800V039, 093, 004,  
 Tract TR 081  
 Map Reference M B 11-100/131  
 Block Name  
 Lot: FT 78  
 Aro (Lot, Cut Reference) 1, 4, 45  
 Map Sheet 186B51  
 ZONING: R3-1

**PARKING TABULATION**

**REQUIRED PARKING**  
 PER DENSITY BONUS PARKING OPTION #  
 (1) STALL PER 1-BEDROOM  
 (2) STALL PER 2-BEDROOM  
 (2) STALL PER 3-BEDROOM  
 22 - UNITS # 1 STALL EACH (22 x 1) = 22 STALLS  
 64 - UNITS # 2 STALL EACH (64 x 2) = 128 STALLS  
 TOTAL REQUIRED 150 SPACES (4 HC RESIDENT)

**PROVIDED PARKING RESIDENTS:**  
 STANDARD (DIRECT) 83 SPACES  
 COMPACT (HANDICAP) 63 SPACES  
 HANDICAP 4 SPACES  
 TOTAL PARKING 150 SPACES TOTAL

**UNIT TABULATION (ALL FLOORS)**

(22) 1 BEDROOM / 1 BATH  
 (52) 2 BEDROOM / 2 BATH  
 (12) 3 BEDROOM / 2 BATH  
 (86) TOTAL UNITS + (1) GYM UNIT

**LOT AREA / DENSITY TABULATION**

LOT AREA + 61603 GR055  
 LOT AREA + 50951 NET  
 R3 ZONING / 1 UNIT PER 600 SF  
 ALLOWABLE # OF UNITS + 11 UNITS  
 DENSITY BONUS (0.35 x 11 = 3.85 UNITS)  
 103 UNITS MAX. w/ DENSITY BONUS  
 UNITS PROVIDED + 86 UNITS

**BUILDING AREA TABULATION**

R1 OCCUPANCY (TYPE VA-1) HR AREA)  
 FULLY SPRINKLERED NFPA-13  
 1ST FLOOR + 23,626 SF.  
 2ND FLOOR + 24,490 SF.  
 3RD FLOOR + 24,221 SF.  
 TOTAL RES OCC. + 72,337 SF.  
 B OCCUPANCY (TYPE IA ) + 2,042 SF.  
 S2 OCCUPANCY (TYPE IA ) + 36,236 SF.  
 FULLY SPRINKLERED NFPA-13  
 BUILDING HEIGHT: 51'-5"  
 FLOOR AREA RATIO  
 ALLOWABLE BUILDING AREA (3x BUILDABLE AREA OF LOT)  
 (3x 40,994 SF.) = 122,982 SF.  
 BUILDING AREA PROVIDED + 128,626 SF.  
 F.A.R. + 184

**BUILT-UP GRADE TABULATION**

SOUTH SIDE + 102.91 L.F.  
 NORTH SIDE + 210.83 L.F.  
 EAST SIDE + 156.19 L.F.  
 WEST SIDE + 28 L.F.  
 TOTAL LENGTH + 495.74 L.F. PROVIDED  
 BUILDING PERIMETER + 983.66 L.F.  
 50% OF PERIMETER + 491.83 L.F. (MIN. REQ'D)  
 (WITHIN 6'-0" OF 1ST FLR.)

**GRADE PLAN CALCULATIONS**

XXXXXX + XXXXXX + XXXXXX XXXXXX + XXXXXX + XXXXXX (GRADE PLANE)

**UNIT TABULATION**

(22) 1 BEDROOM / 1 BATH  
 (52) 2 BEDROOM / 2 BATH  
 (12) 3 BEDROOM / 2 BATH  
 (86) TOTAL UNITS

**OPEN SPACE PROVIDED**

GYM REC. ROOM + 1807 SF.  
 REAR YARD + 3220 SF.  
 COURT YARDS + 4184 SF.  
 PRIVATE YARDS + 1780 SF.  
 TOTAL PROVIDED + 109336 SF.

**OPEN SPACE REQUIRED**

(KITCHENS LESS THAN 100 SF. FLOOR AREA)  
 (22) LESS THAN 3 HABITABLE ROOMS + 2200 SF.  
 # 100 SF. EACH  
 (52) 3 HABITABLE ROOMS + 6300 SF.  
 # 25 SF. PER UNIT  
 (12) 4 HABITABLE ROOMS + 2100 SF.  
 # 175 SF. PER UNIT  
 TOTAL REQ'D + 10,600 SF.

**KEY**

COMMON OPEN SPACE: [Pattern]

PRIVATE OPEN SPACE: [Pattern]

OPEN SPACE: [Pattern]

**ARCHITECTURAL SITE PLAN**

PROJECT NAME: **86-UNIT WOODMAN WOODMAN**  
 1346-1361 WOODMAN AVENUE  
 VAN NUYS, CALIFORNIA 91405

DEVELOPER: **FUNDING INVESTMENT CORP.**  
 801 NORTH STREET  
 CANOGA PARK, CALIFORNIA 91304  
 (818) 998-9979

DRAWN: RKS  
 REVISED: 06/21/11  
 DATE: 09/27/11  
 PLAN CHK: [Blank]  
 PERMIT: [Blank]

**KEN STOCKTON ARCHITECTS, INC.**  
 26500 W. AGOURA ROAD, P.O. BOX 463, CALABASAS, CA 91307  
 (818) 898-5445 FAX: (818) 898-9604

SHEET NO. **A1.0**

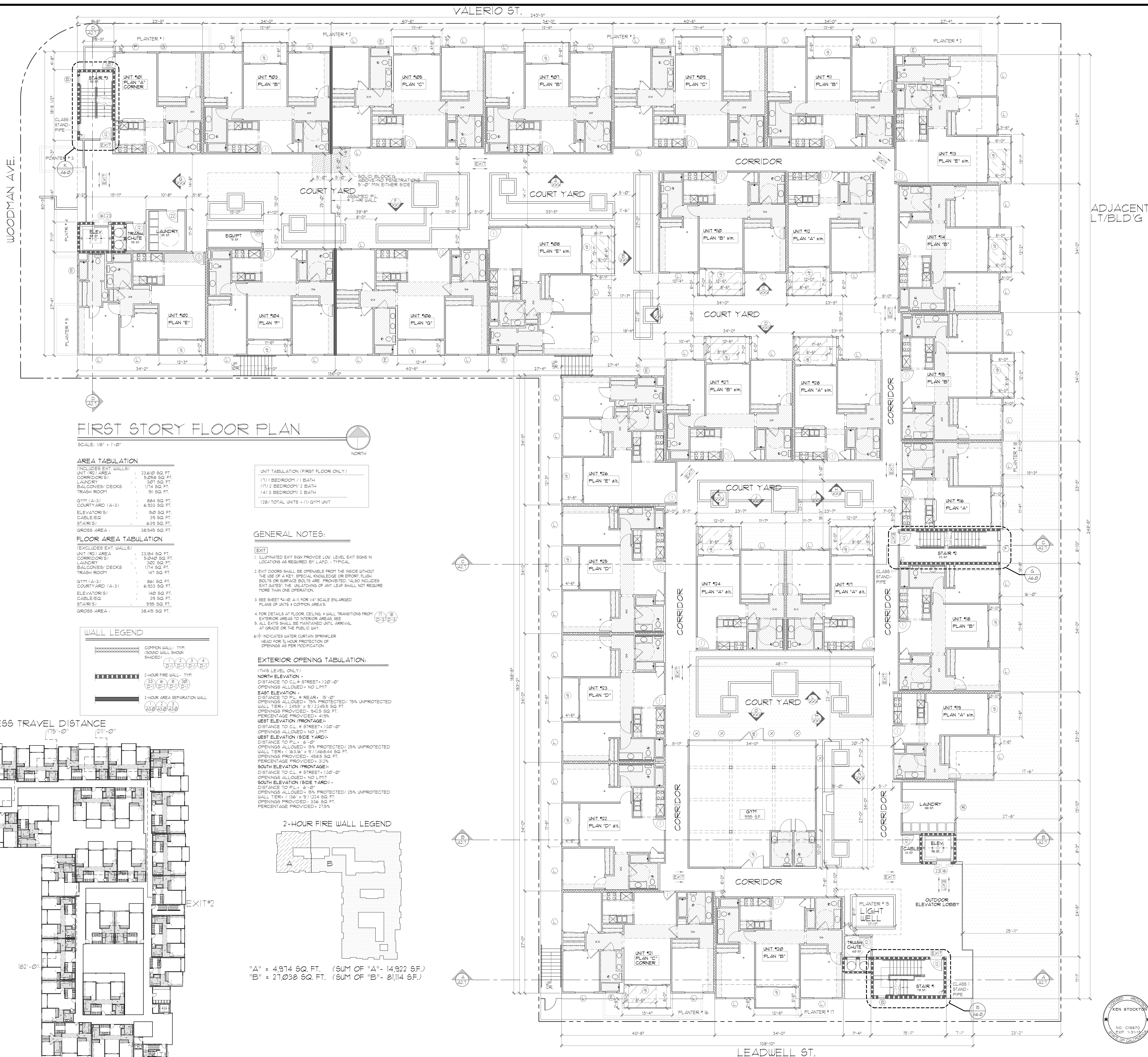
N89°59'22"E

137.00'

LEADWELL ST.







**FIRST STORY FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**AREA TABULATION**  
(INCLUDES EXT. WALLS)

|                 |                |
|-----------------|----------------|
| UNIT (R2) AREA  | 23,84 SQ. FT.  |
| CORRIDOR(S)     | 5,038 SQ. FT.  |
| LAUNDRY         | 307 SQ. FT.    |
| BALCONIES/DECKS | 174 SQ. FT.    |
| TRASH ROOM      | 19 SQ. FT.     |
| GYM (A-3)       | 884 SQ. FT.    |
| COURTYARD (A-3) | 6,333 SQ. FT.  |
| ELEVATOR(S)     | 150 SQ. FT.    |
| CABLE(S)        | 39 SQ. FT.     |
| STAIR(S)        | 639 SQ. FT.    |
| GROSS AREA      | 38,345 SQ. FT. |

**FLOOR AREA TABULATION**  
(EXCLUDES EXT. WALLS)

|                 |                |
|-----------------|----------------|
| UNIT (R2) AREA  | 23,84 SQ. FT.  |
| CORRIDOR(S)     | 5,040 SQ. FT.  |
| LAUNDRY         | 307 SQ. FT.    |
| BALCONIES/DECKS | 174 SQ. FT.    |
| TRASH ROOM      | 19 SQ. FT.     |
| GYM (A-3)       | 884 SQ. FT.    |
| COURTYARD (A-3) | 6,333 SQ. FT.  |
| ELEVATOR(S)     | 140 SQ. FT.    |
| CABLE(S)        | 39 SQ. FT.     |
| STAIR(S)        | 585 SQ. FT.    |
| GROSS AREA      | 38,415 SQ. FT. |

**WALL LEGEND**

|  |  |
|--|--|
|  | COMMON WALL - TYP. (SOUND WALL SHOWN SHADED) |
|  | 2-HOUR FIRE WALL - TYP.                      |
|  | 2-HOUR AREA SEPARATION WALL                  |

**UNIT TABULATION (FIRST FLOOR ONLY)**

|                                  |
|----------------------------------|
| (7) 1 BEDROOM / 1 BATH           |
| (11) 2 BEDROOM / 2 BATH          |
| (4) 3 BEDROOM / 2 BATH           |
| (728) TOTAL UNITS + (1) GYM UNIT |

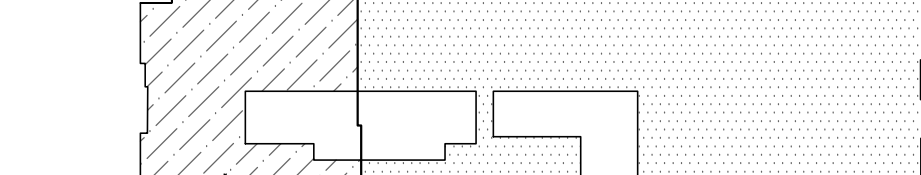
**GENERAL NOTES:**

- ILLUMINATED EXIT SIGN PROVIDED LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES; THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET 110-A-1 FOR 1/4" SCALE ENLARGED PLANS OF UNITS + COMMON AREAS.
- FOR DETAILS AT FLOOR CEILING + WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER NOTIFICATION.

**EXTERIOR OPENING TABULATION:**

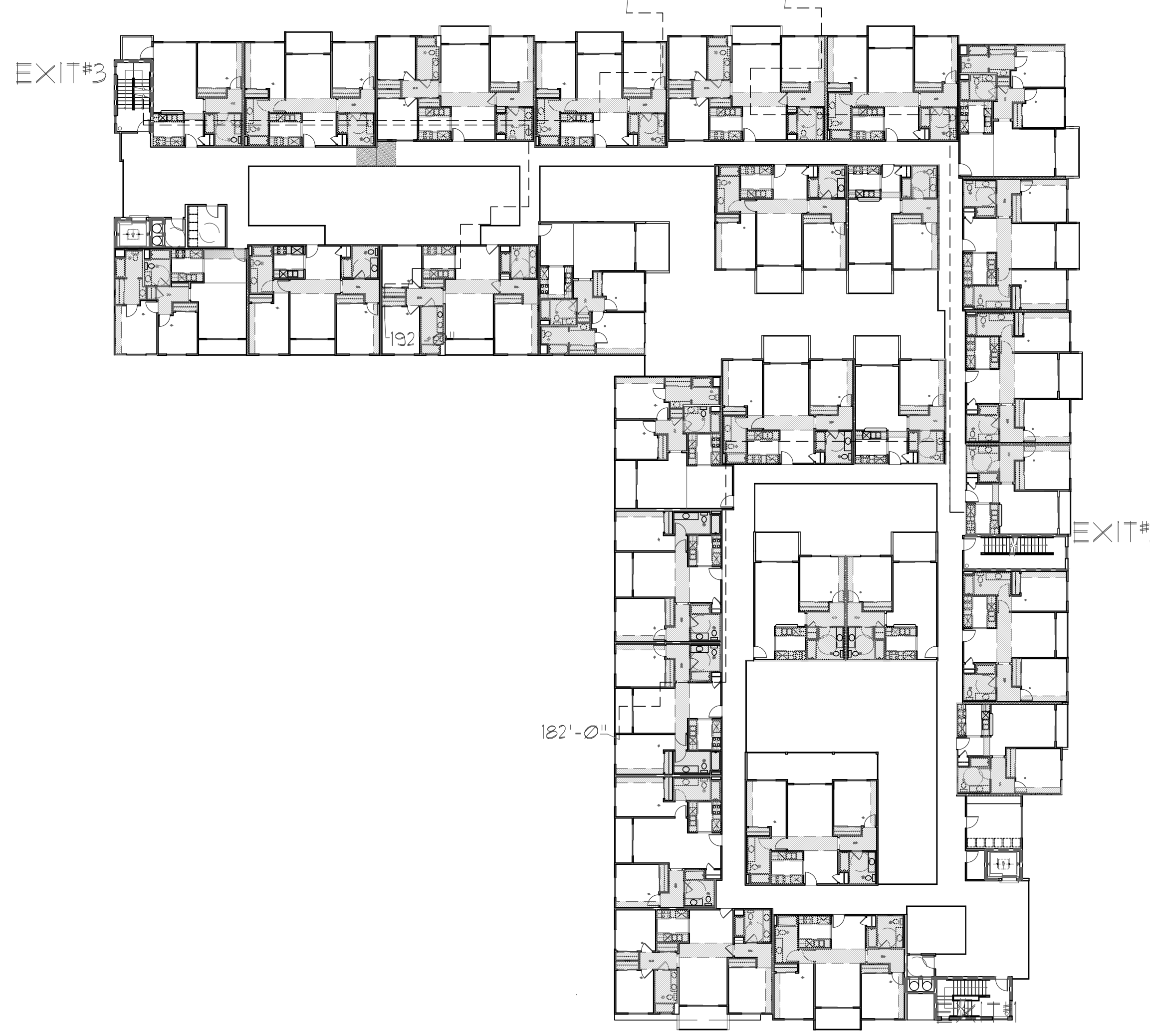
- (THIS LEVEL ONLY)
- NORTH ELEVATION -**  
DISTANCE TO CL. # STREET + 120'-0"  
OPENINGS ALLOWED - NO LIMIT
- EAST ELEVATION -**  
DISTANCE TO PL. # REAR - 15'-0"  
OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
WALL TIER # 1: 2455' x 9'11" 2495.5 SQ. FT.  
OPENINGS PROVIDED - 3425 SQ. FT.  
PERCENTAGE PROVIDED - 41%
- WEST ELEVATION (FRONTAGE) -**  
DISTANCE TO CL. # STREET + 120'-0"  
OPENINGS ALLOWED - NO LIMIT
- WEST ELEVATION (SIDE YARD) -**  
DISTANCE TO PL. # 6'-0"  
OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
WALL TIER # 1: 16316' x 9'11" 148844 SQ. FT.  
OPENINGS PROVIDED - 4585 SQ. FT.  
PERCENTAGE PROVIDED - 31%
- SOUTH ELEVATION (FRONTAGE) -**  
DISTANCE TO CL. # STREET + 120'-0"  
OPENINGS ALLOWED - NO LIMIT
- SOUTH ELEVATION (SIDE YARD) -**  
DISTANCE TO PL. # 6'-0"  
OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
WALL TIER # 1: 136' x 9'11" 1224 SQ. FT.  
OPENINGS PROVIDED - 536 SQ. FT.  
PERCENTAGE PROVIDED - 41%

**2-HOUR FIRE WALL LEGEND**



"A" = 4,914 SQ. FT. (SUM OF "A" - 14,922 SF.)  
"B" = 27,038 SQ. FT. (SUM OF "B" - 8114 SF.)

**EXIT ACCESS TRAVEL DISTANCE**



**DEVELOPER:** FUNDING INVESTMENT CORP.  
CANAJOGA PARK, CALIFORNIA 91904  
(888) 958-5445

**PROJECT NAME:** 86-UNIT WOODMAN "WOODMAN"  
1346-1361 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

**FIRST FLOOR PLAN**

|           |          |
|-----------|----------|
| DRAWN:    | RKS      |
| DATE:     | 09/27/11 |
| PLAN CHK: |          |
| PERMIT:   |          |

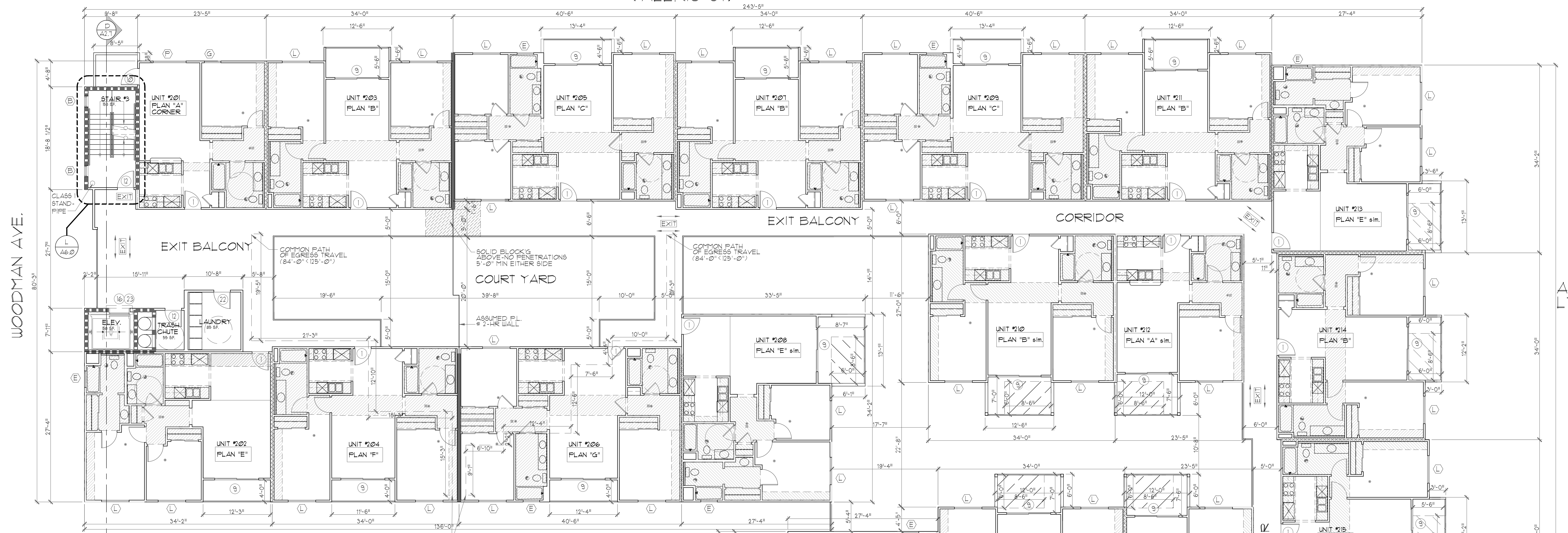
**REVISIONS:**

|     |             |
|-----|-------------|
| NO. | DESCRIPTION |
|     |             |

**KEN STOCKTON ARCHITECTS, INC.**  
26500 W. AGOURA ROAD P.O. BOX 463, CALABASAS, CA 91307  
(818) 888-5445 FAX: (818) 888-3604

**SHEET NO. A2.1**

**NO. C19870 EXP. 1-31-12**



**SECOND STORY FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**WALL LEGEND**

|  |   |
|--|---|
|  | COMMON WALL - TYP (SOUND WALL SHOWN SHADED) |
|  | 2-HOUR FIRE WALL - TYP                      |
|  | 2-HOUR AREA SEPARATION WALL                 |

**AREA TABULATION**

|                       |                  |                |
|-----------------------|------------------|----------------|
| (INCLUDES EXT. WALLS) | UNIT (R) AREA    | 24,494 SQ. FT. |
|                       | CORRIDOR(S)      | 5,058 SQ. FT.  |
|                       | LAUNDRY          | 307 SQ. FT.    |
|                       | BALCONIES/ DECKS | 174 SQ. FT.    |
|                       | TRASH ROOM       | 91 SQ. FT.     |
|                       | ELEVATOR(S)      | 150 SQ. FT.    |
|                       | CABLE EQ.        | 33 SQ. FT.     |
|                       | STAIR(S)         | 633 SQ. FT.    |
|                       | GROSS AREA       | 32,072 SQ. FT. |

**FLOOR AREA TABULATION**

|                       |                  |                |
|-----------------------|------------------|----------------|
| (EXCLUDES EXT. WALLS) | UNIT (R) AREA    | 24,045 SQ. FT. |
|                       | CORRIDOR(S)      | 5,040 SQ. FT.  |
|                       | LAUNDRY          | 307 SQ. FT.    |
|                       | BALCONIES/ DECKS | 174 SQ. FT.    |
|                       | TRASH ROOM       | 141 SQ. FT.    |
|                       | ELEVATOR(S)      | 140 SQ. FT.    |
|                       | CABLE EQ.        | 33 SQ. FT.     |
|                       | STAIR(S)         | 599 SQ. FT.    |
|                       | GROSS AREA       | 31,482 SQ. FT. |

**GENERAL NOTES:**

- ILLUMINATED EXIT SIGN PROVIDE LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD. - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET #10. ALL FOR 1/4" SCALE ENLARGED PLANS OF UNITS 4 COMMON AREAS.
- FOR DETAILS AT FLOOR CEILING, 4 WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER SPECIFICATION.

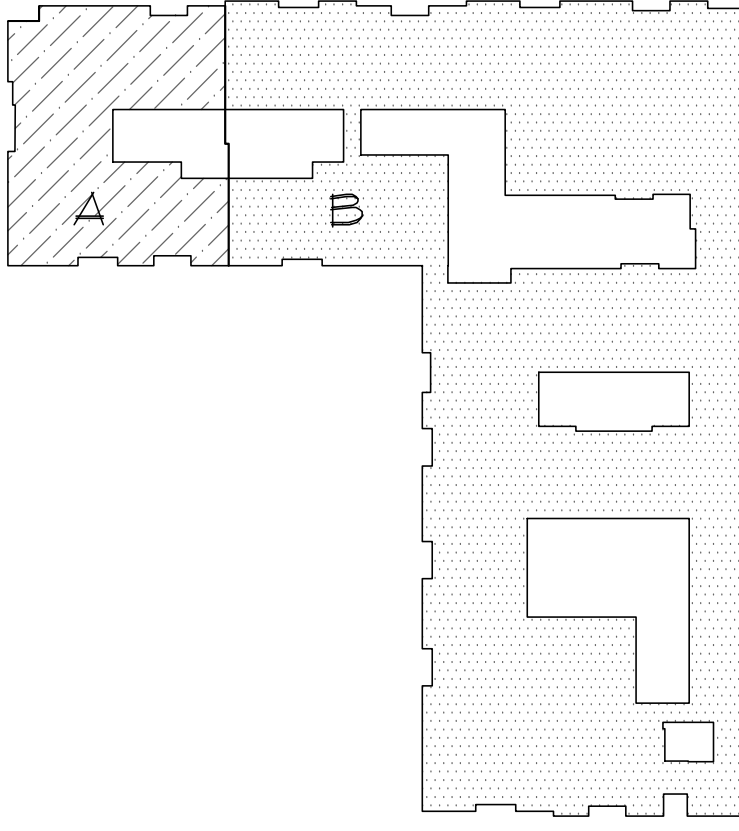
**UNIT TABULATION (SECOND FLOOR ONLY)**

- (1) 1 BEDROOM / 1 BATH
- (8) 2 BEDROOM / 2 BATH
- (4) 3 BEDROOM / 2 BATH
- (29) TOTAL UNITS

**EXTERIOR OPENING TABULATION:**

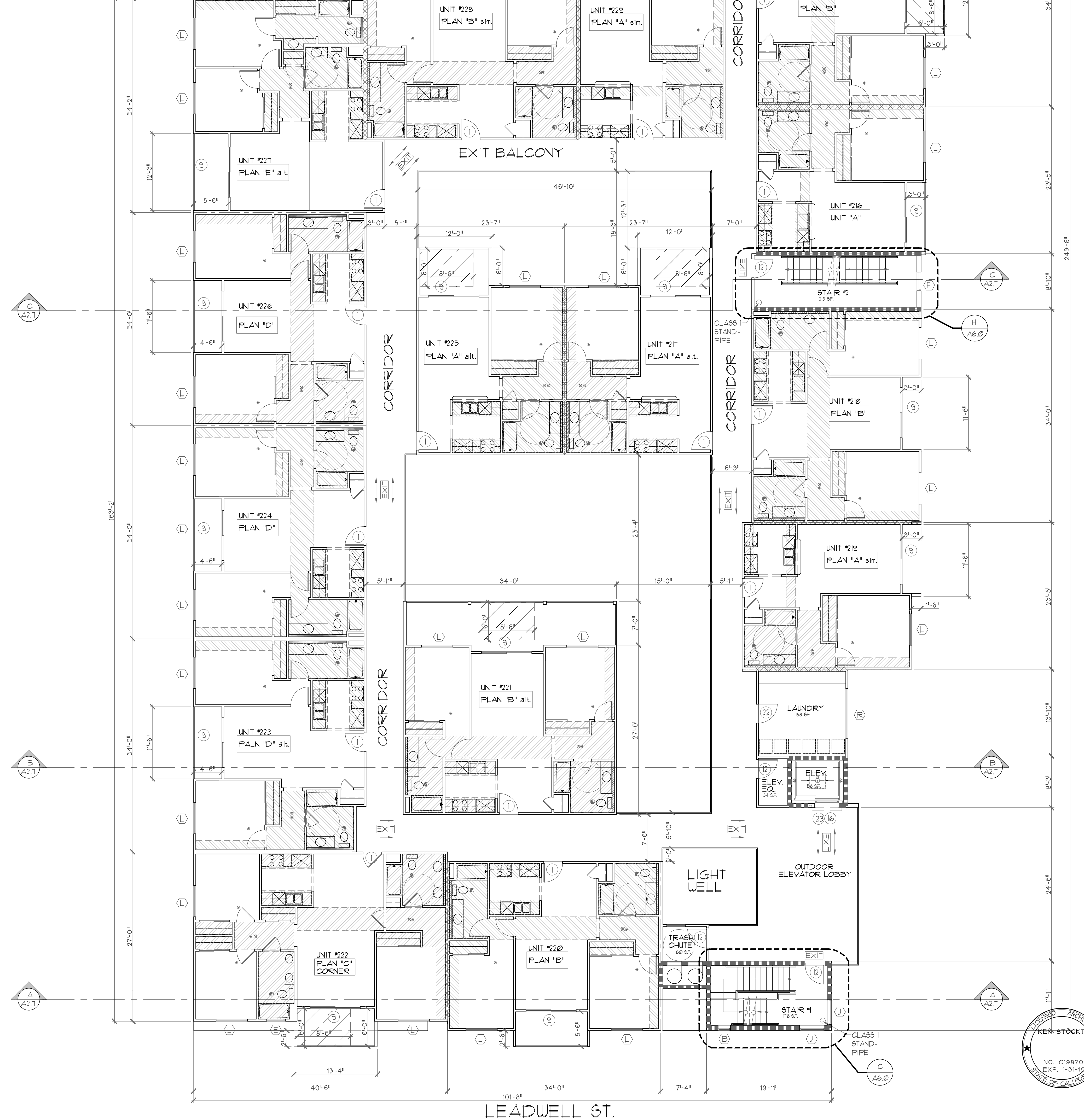
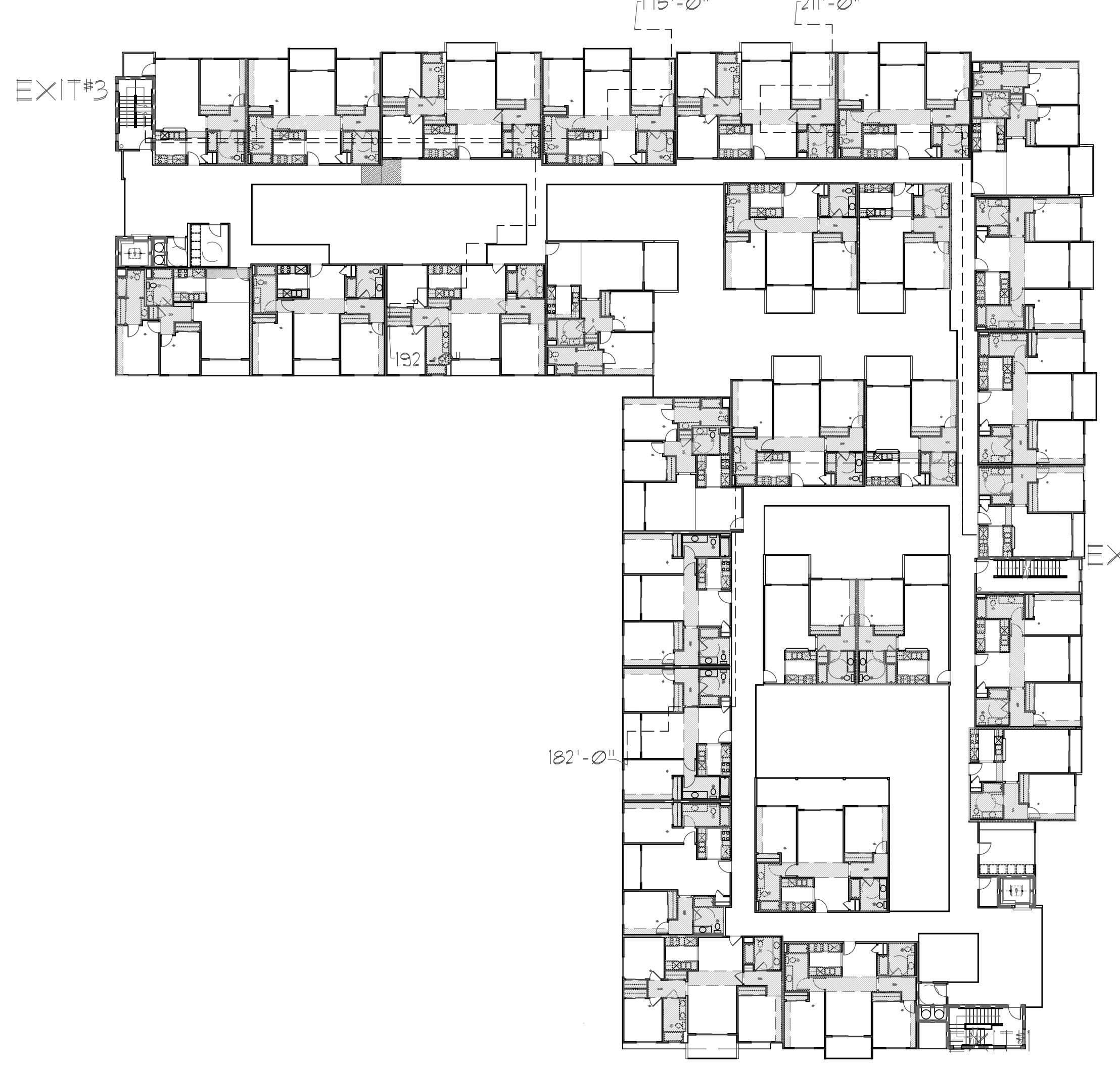
- (THIS LEVEL ONLY)
- NORTH ELEVATION -**  
DISTANCE TO CL. # STREET > 20'-0"  
OPENINGS ALLOWED - NO LIMIT
- EAST ELEVATION -**  
DISTANCE TO P.L. # REAR - 15'-0"  
OPENINGS ALLOWED - 75% PROTECTED / 75% UNPROTECTED  
WALL TYP. ( 2495' x 9' ) 2249.5 SQ. FT.  
OPENINGS PROVIDED - 949.5 SQ. FT.  
PERCENTAGE PROVIDED - 41%
- WEST ELEVATION (FRONTAGE) -**  
DISTANCE TO CL. # STREET > 20'-0"  
OPENINGS ALLOWED - NO LIMIT
- WEST ELEVATION (SIDE YARD) -**  
DISTANCE TO P.L. # 6'-0"  
OPENINGS ALLOWED - 5% PROTECTED / 25% UNPROTECTED  
WALL TYP. ( 8336' x 9' ) 14684.4 SQ. FT.  
OPENINGS PROVIDED - 4889.5 SQ. FT.  
PERCENTAGE PROVIDED - 31%
- SOUTH ELEVATION (FRONTAGE) -**  
DISTANCE TO CL. # STREET > 20'-0"  
OPENINGS ALLOWED - NO LIMIT
- SOUTH ELEVATION (SIDE YARD) -**  
DISTANCE TO P.L. # 6'-0"  
OPENINGS ALLOWED - 5% PROTECTED / 25% UNPROTECTED  
WALL TYP. ( 336' x 9' ) 1224 SQ. FT.  
OPENINGS PROVIDED - 336 SQ. FT.  
PERCENTAGE PROVIDED - 27%

**2-HOUR FIRE WALL LEGEND**



"A" = 4,914 SQ. FT. (SUM OF "A" - 14,922 SF.)  
"B" = 21,038 SQ. FT. (SUM OF "B" - 8,114 SF.)

**EXIT ACCESS TRAVEL DISTANCE**



ADJ. LT./BL.

DEVELOPER:  
**FUNDING INVESTMENT CORP.**  
CANAJO PARK, CALIFORNIA 9304  
(888) 999-8973

PROJECT NAME:  
**86-UNIT WOODMAN**  
"WOODMAN"  
1346-1361 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

SECOND FLOOR PLAN  
DRAWN: RKS  
REV/SONS:  
DATE: 09/27/11  
PLAN CHK:  
PERMIT:

**KEN STOCKTON**  
ARCHITECTS, INC.  
26500 W. AGOURA ROAD, P.O. BOX 463, CALABASAS, CA 91307  
(818) 888-5443 FAX: (818) 888-9604

SHEET NO.

**A2.2**

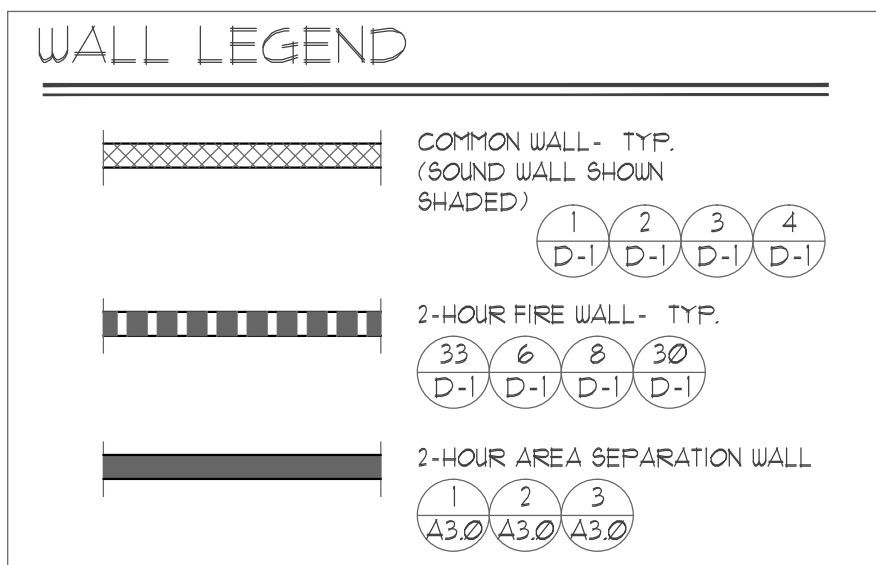
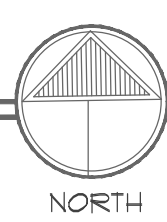


VALERIO ST.



THIRD STORY FLOOR PLAN

SCALE: 1/8" = 1'-0"



AREA TABULATION

|                       |                  |                |
|-----------------------|------------------|----------------|
| (INCLUDES EXT. WALLS) | UNIT (NO.) AREA  | 24,494 SQ. FT. |
|                       | COMMON AREA      | 9,298 SQ. FT.  |
|                       | LAUNDRY          | 527 SQ. FT.    |
|                       | BALCONIES/ DECKS | 1,174 SQ. FT.  |
|                       | TRASH ROOM       | 151 SQ. FT.    |
|                       | ELEVATOR(S)      | 180 SQ. FT.    |
|                       | CABLE/EQ.        | 39 SQ. FT.     |
|                       | STAIR(S)         | 639 SQ. FT.    |
|                       | GROSS AREA       | 32,012 SQ. FT. |

FLOOR AREA TABULATION

|                       |                  |                |
|-----------------------|------------------|----------------|
| (EXCLUDES EXT. WALLS) | UNIT (NO.) AREA  | 24,045 SQ. FT. |
|                       | COMMON AREA      | 9,240 SQ. FT.  |
|                       | LAUNDRY          | 527 SQ. FT.    |
|                       | BALCONIES/ DECKS | 1,174 SQ. FT.  |
|                       | TRASH ROOM       | 141 SQ. FT.    |
|                       | ELEVATOR(S)      | 140 SQ. FT.    |
|                       | CABLE/EQ.        | 39 SQ. FT.     |
|                       | STAIR(S)         | 599 SQ. FT.    |
|                       | GROSS AREA       | 31,492 SQ. FT. |

GENERAL NOTES:

- ILLUMINATED EXIT SIGN PROVIDE LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD. - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET A10-A11 FOR 1/4" SCALE ENLARGED PLANS OF UNITS & COMMON AREAS.
- FOR DETAILS AT FLOOR, CEILING & WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE SHEET A10-A11.
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- 6-1/2" INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER NOTIFICATION.

UNIT TABULATION (THIRD FLOOR ONLY)

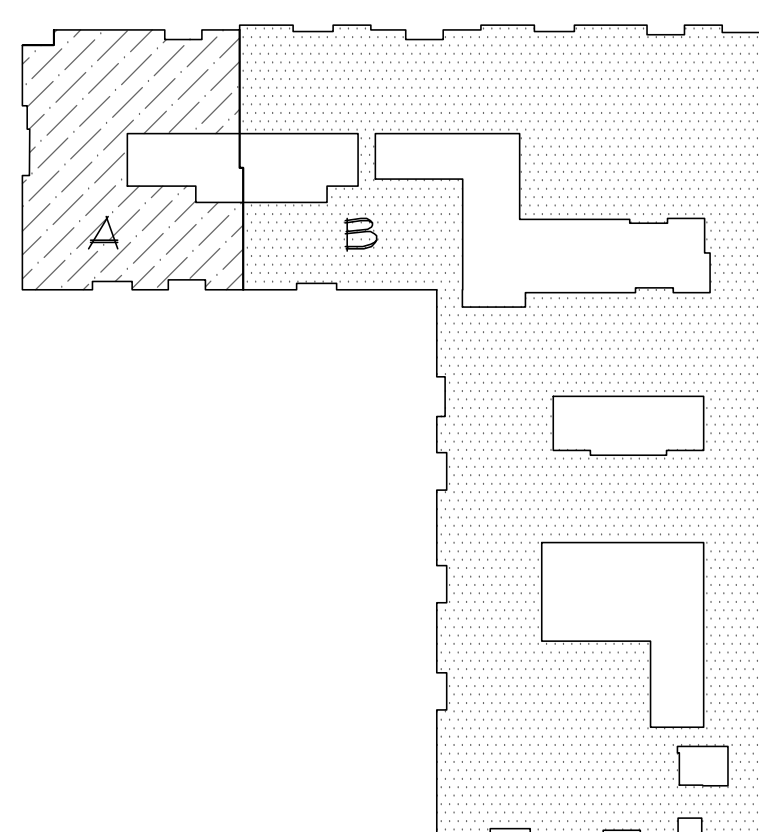
- (8) 1 BEDROOM / 1 BATH
- (17) 2 BEDROOM / 2 BATH
- (4) 3 BEDROOM / 2 BATH
- (23) TOTAL UNITS

EXTERIOR OPENING TABULATION:

(THIS LEVEL ONLY)

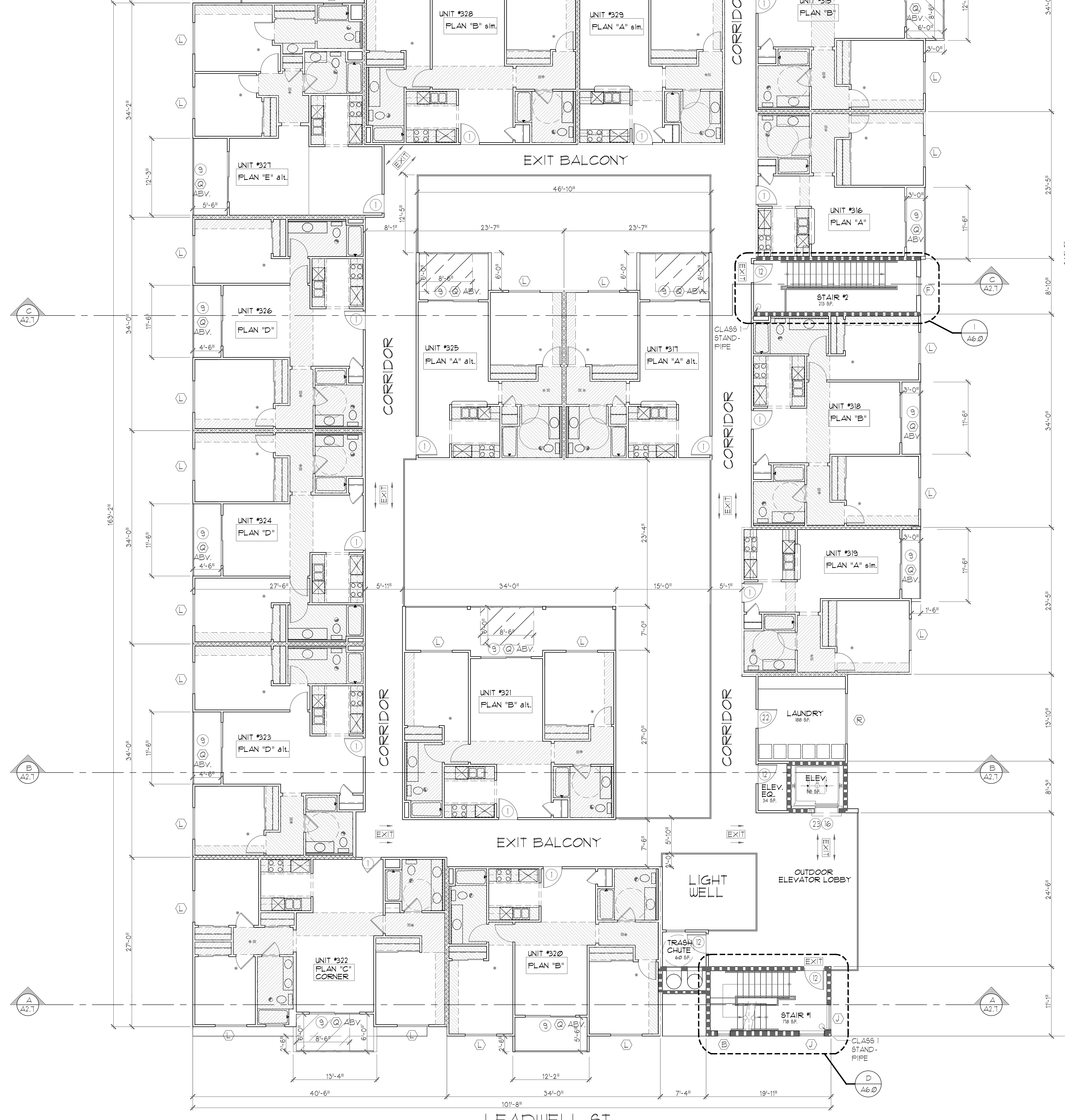
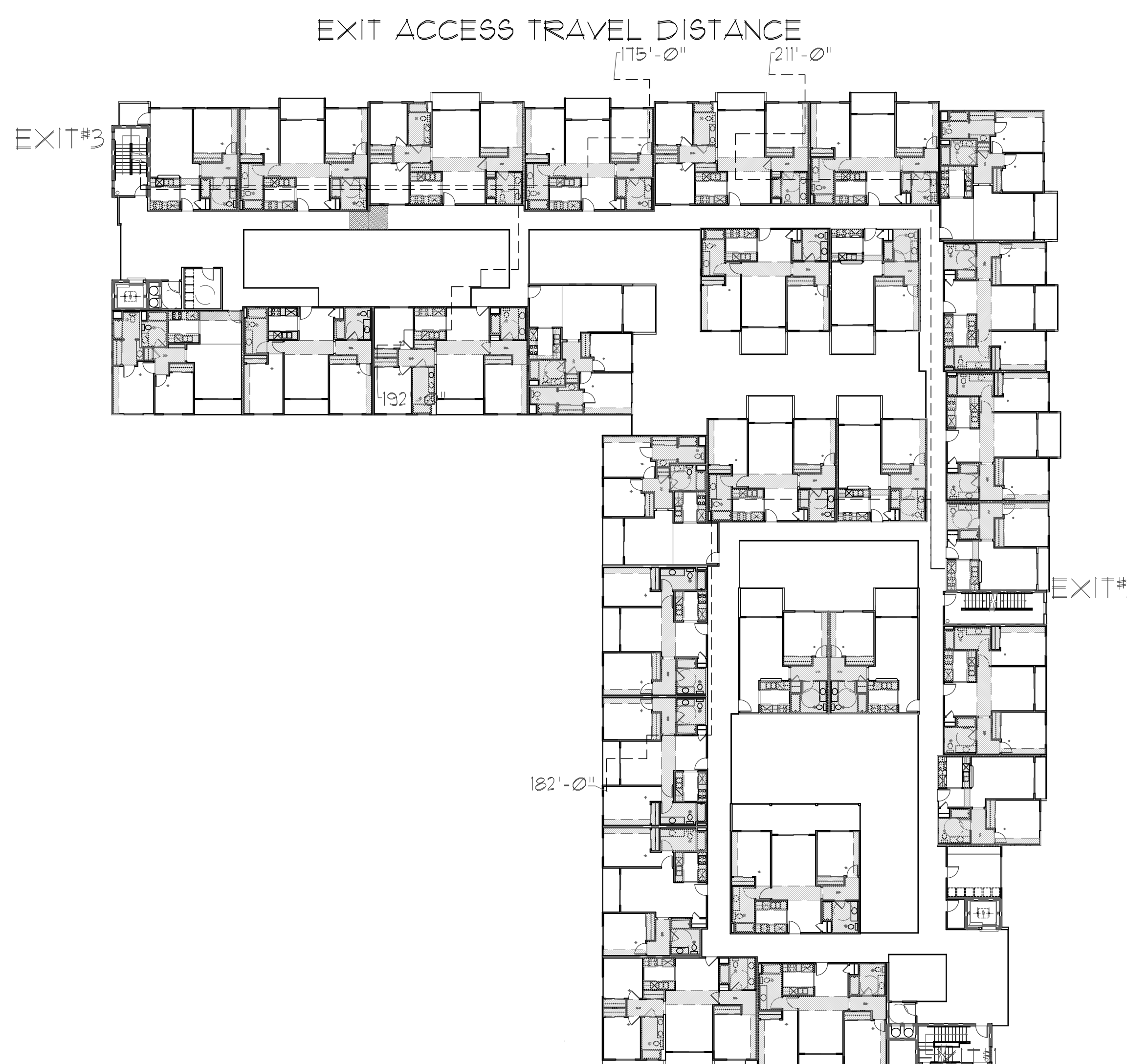
- NORTH ELEVATION** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- EAST ELEVATION** - DISTANCE TO P.L. # REAR: 5'-0" OPENINGS ALLOWED: 75% PROTECTED / 25% UNPROTECTED WALL TIER: 7'48.5" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 5475 SQ. FT. PERCENTAGE PROVIDED: 410%
- WEST ELEVATION (FRONTAGE)** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- WEST ELEVATION (SIDE YARD)** - DISTANCE TO P.L. # 6'-0" OPENINGS ALLOWED: 84% PROTECTED / 16% UNPROTECTED WALL TIER: 7'48.5" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 5993 SQ. FT. PERCENTAGE PROVIDED: 312%
- SOUTH ELEVATION (FRONTAGE)** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- SOUTH ELEVATION (SIDE YARD)** - DISTANCE TO P.L. # 6'-0" OPENINGS ALLOWED: 84% PROTECTED / 16% UNPROTECTED WALL TIER: 7'136" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 336 SQ. FT. PERCENTAGE PROVIDED: 215%

2-HOUR FIRE WALL LEGEND



"A" = 4,914 SQ. FT. (SUM OF "A" = 14,922 S.F.)

"B" = 21,038 SQ. FT. (SUM OF "B" = 8,114 S.F.)



WOODMAN AVE.

ADJACENT LT/BLDG

LEADWELL ST.

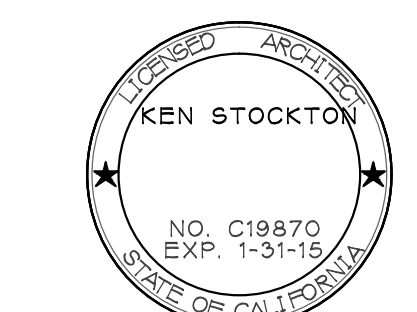
DEVELOPER:  
FINDING INVESTMENT CORP.  
801 NORTHERN STREET  
CANAJOGA PARK, CALIFORNIA 91704  
(888) 998-9978

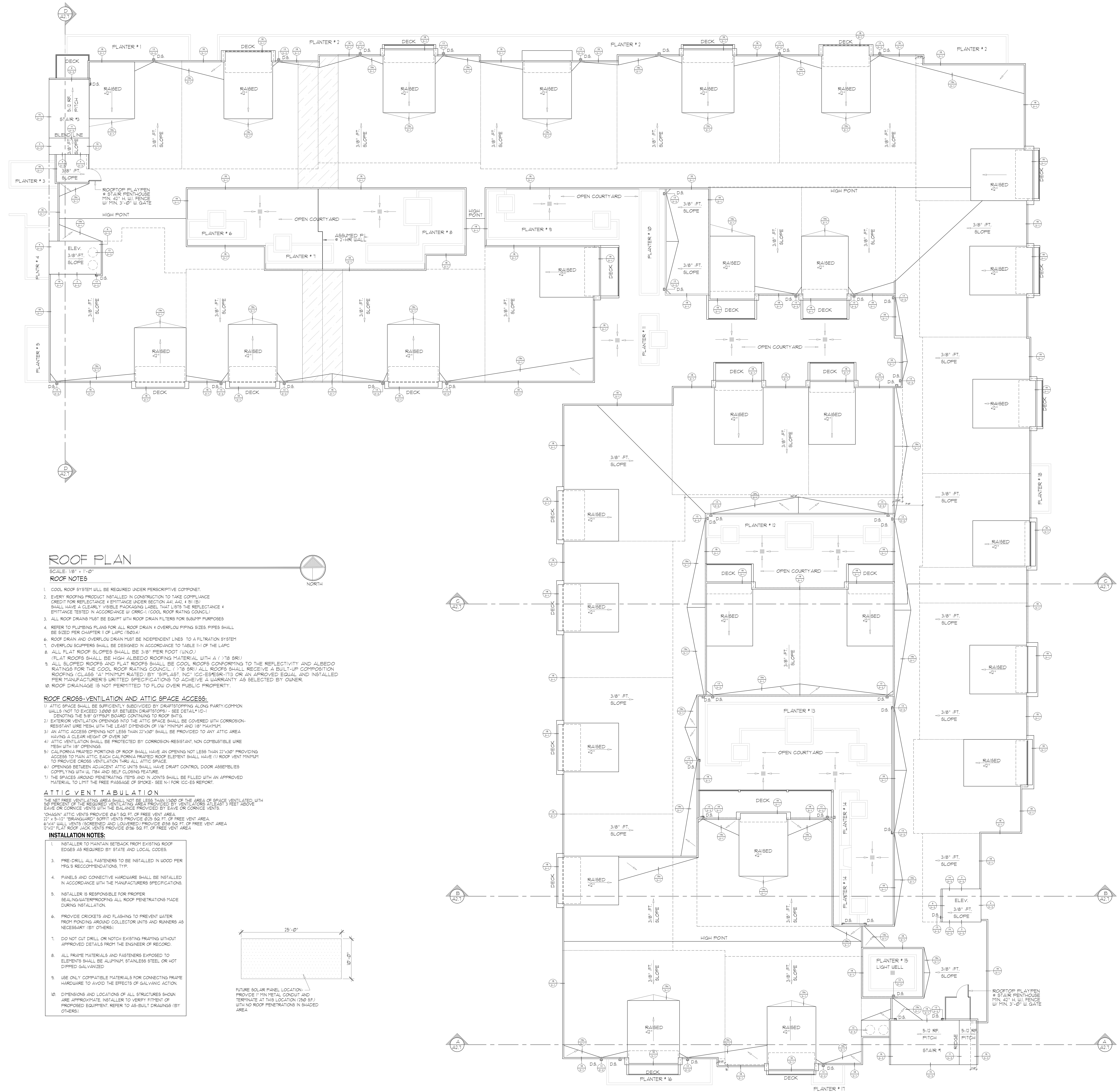
PROJECT NAME:  
86-UNIT WOODMAN  
"WOODMAN"  
1346-1361 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

THIRD FLOOR PLAN  
DRAWN: RKS  
REV/SONS:  
DATE: 09/27/11  
PLAN CHK:  
PERMIT:

KEN STOCKTON  
ARCHITECTS, INC.  
16500 W. AGOURA ROAD, P.O. BOX 463, CALABASAS, CA 91301  
(818) 888-5445 FAX: (818) 888-9604

SHEET NO.  
**A2.3**





**ROOF PLAN**

SCALE: 1/8" = 1'-0"

**ROOF NOTES**

1. COOL ROOF SYSTEM WILL BE REQUIRED UNDER DESCRIPTIVE COMPONENT.
2. EVERY ROOFING PRODUCT INSTALLED IN CONSTRUCTION TO TAKE COMPLIANCE CREDIT FOR REFLECTANCE & EMISSION UNDER SECTION 441.442.4.1 (B) SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT SHOWS THE REFLECTANCE & EMISSION TESTED IN ACCORDANCE W/ DRCG-1 (COOL ROOF RATING COUNCIL).
3. ALL ROOF DRAINS MUST BE EQUIPPED WITH ROOF DRAIN FILTERS FOR SUBMIP PURPOSES.
4. REFER TO PLUMBING PLANS FOR ALL ROOF DRAIN & OVERFLOW PIPING SIZES. PIPES SHALL BE SIZED PER CHAPTER 19 OF LARPC (2024).
5. ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A FILTRATION SYSTEM.
6. OVERFLOW SUFFERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 19-1 OF THE LARPC.
7. ALL FLAT ROOF SLOPES SHALL BE 3/8" PER FOOT (UNO).
8. (FLAT ROOFS SHALL BE HIGH ALBEDO ROOFING MATERIAL WITH A ( ) 78 BR)
9. ALL SLOPED ROOFS AND FLAT ROOFS SHALL BE COOL ROOFS CONFORMING TO THE REFLECTIVITY AND ALBEDO RATINGS FOR THE COOL ROOF RATING COUNCIL ( ) 78 BR). ALL ROOFS SHALL RECEIVE A BUILT-UP COMPOSITION ROOFING (CLASS 1) MINIMUM RATED BY 1/8" (ASTM) ICES-EMERSON-113 OR AN APPROVED EQUAL, AND INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS TO ACHIEVE A WARRANTY AS SELECTED BY OWNER.
10. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.

**ROOF CROSS-VENTILATION AND ATTIC SPACE ACCESS:**

- 1) ATTIC SPACE SHALL BE GRICENTLY SUBDIVIDED BY DRAFTSTOPPING ALONG PARTY COMMON WALLS (NOT TO EXCEED 3/8" (3/8") BETWEEN COURTYARDS) - SEE DETAIL 110-1) SHOWING THE 5/8" GYPSUM BOARD CONTINUING TO ROOF BTL.
- 2) EXTERIOR VENTILATION OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION OF 1/8" (MIN) AND 1/8" (MAX).
- 3) AN ATTIC ACCESS OPENING NOT LESS THAN 22"x30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30".
- 4) ATTIC VENTILATION SHALL BE PROTECTED BY CORROSION-RESISTANT, NON COMBUSTIBLE WIRE MESH WITH 1/8" OPENINGS.
- 5) CALIFORNIA FRAMED PORTIONS OF ROOF SHALL HAVE AN OPENING NOT LESS THAN 22"x30" PROVIDING ACCESS TO MAIN ATTIC. EACH CALIFORNIA FRAMED ROOF ELEMENT SHALL HAVE (1) ROOF VENT MINIMUM TO PROVIDE CROSS VENTILATION THRU ALL ATTIC SPACE.
- 6) OPENINGS BETWEEN ADJACENT ATTIC UNITS SHALL HAVE DRAFT CONTROL DOOR ASSEMBLIES COMPLYING WITH UL 184 AND SELF-CLOSING FEATURE.
- 7) THE SPACES AROUND PENETRATING ITEMS AND JOINTS SHALL BE FILLED WITH AN APPROVED MATERIAL TO LIMIT THE FREE PASSAGE OF SMOKE - SEE N-FOR ICC-ES REPORT.

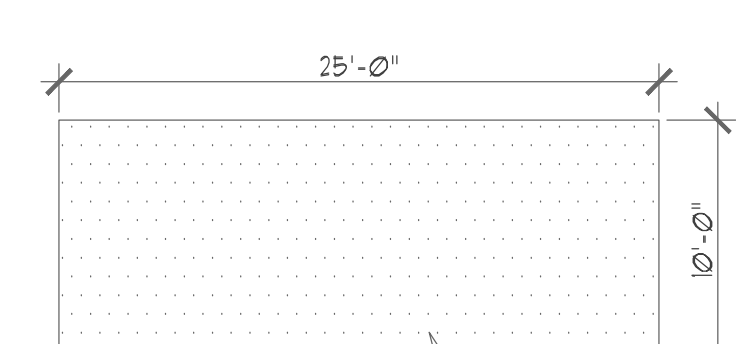
**ATTIC VENTILATION**

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF SPACE VENTILATED, WITH NO PORTION OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS SITTING 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.

\*DOWNWIND ATTIC VENTS PROVIDE 0.81 SQ. FT. OF FREE VENT AREA.  
 22" x 5-1/2" (DOWNWIND) SOFFIT VENTS PROVIDE 0.19 SQ. FT. OF FREE VENT AREA.  
 6"x4" WALL VENTS (SCREENED AND COVERED) PROVIDE 0.06 SQ. FT. OF FREE VENT AREA.  
 12"x12" FLAT ROOF VENTS PROVIDE 0.26 SQ. FT. OF FREE VENT AREA.

**INSTALLATION NOTES:**

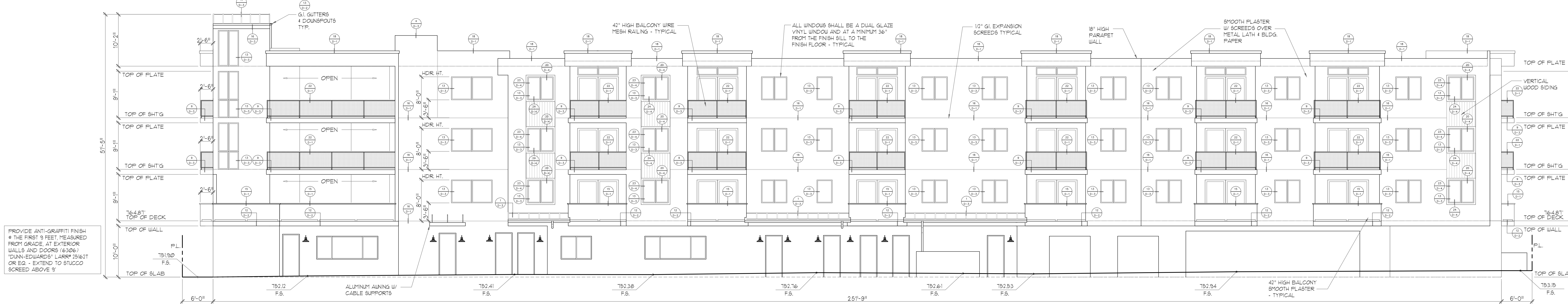
1. INSTALLER TO MAINTAIN SETBACK FROM EXISTING ROOF EDGES AS REQUIRED BY STATE AND LOCAL CODES.
3. PRE-DRILL ALL FASTENERS TO BE INSTALLED IN WOOD PER FRG'S RECOMMENDATIONS, TYP.
4. PANELS AND CONNECTIVE HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. INSTALLER IS RESPONSIBLE FOR PROPER SEALING/WATERPROOFING ALL ROOF PENETRATIONS MADE DURING INSTALLATION.
6. PROVIDE CRICKETS AND FLASHING TO PREVENT WATER FROM FLOWING AROUND COLLECTOR UNITS AND RUNNERS AS NECESSARY (BY OTHERS).
7. DO NOT CUT DRILL OR NOTCH EXISTING FRAMING WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
8. ALL FRAME MATERIALS AND FASTENERS EXPOSED TO ELEMENTS SHALL BE ALUMINUM, STAINLESS STEEL, OR HOT DIPPER GALVANIZED.
9. USE ONLY COMPATIBLE MATERIALS FOR CONNECTING FRAME HARDWARE TO AVOID THE EFFECTS OF GALVANIC ACTION.
10. DIMENSIONS AND LOCATIONS OF ALL STRUCTURES SHOWN ARE APPROXIMATE. INSTALLER TO VERIFY FITMENT OF PROPOSED EQUIPMENT. REFER TO AS-BUILT DRAWINGS (BY OTHERS).



FUTURE SOLAR PANEL LOCATION - PROVIDE 1" MIN METAL CONDUIT AND TERMINATE AT THIS LOCATION (250 SF.) WITH NO ROOF PENETRATIONS IN SHADED AREA.

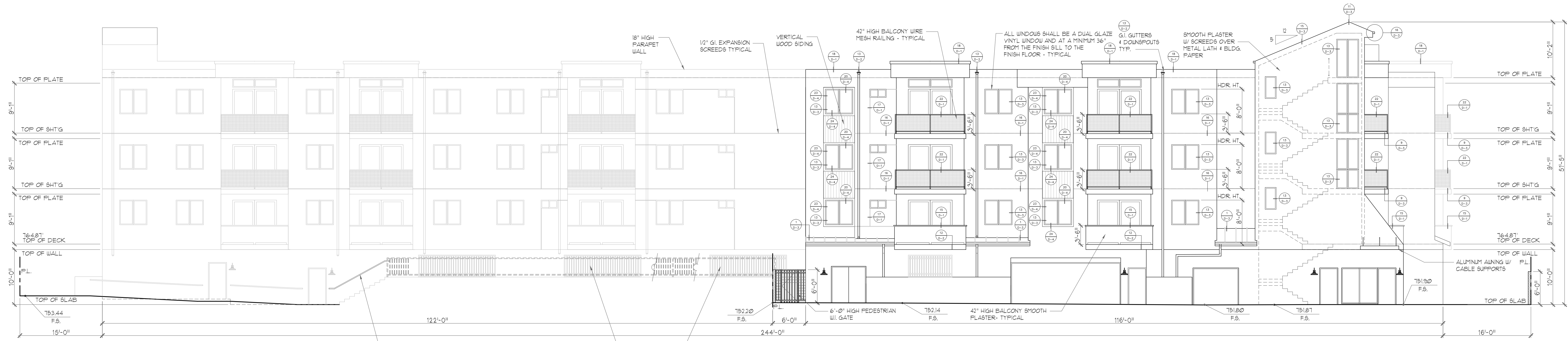
|  |                                    |
|--|------------------------------------|
| DEVELOPER:<br><b>FUNDING INVESTMENT CORP.</b><br>877 MARKET STREET<br>CANGA PARK, CALIFORNIA 91224<br>(818) 999-9973                               |                                    |
| PROJECT NAME:<br><b>86-UNIT WOODMAN</b><br>WOODMAN II<br>1346-1361 WOODMAN AVENUE<br>VAN NUYS, CALIFORNIA 91405                                    |                                    |
| ROOF PLAN<br>DRAWN: RKS<br>DATE: 09/27/11  | REVISIONS:<br>PLAN CHK:<br>PERMIT: |
| ARCHITECT:<br><b>KEN STOCKTON ARCHITECTS, INC.</b><br>26800 W. AGORA ROAD, P.O. BOX 463, CALABASAS, CA 91307<br>(818) 888-5445 FAX: (818) 888-9604 |                                    |
| SHEET NO.<br><b>A2.5</b>   |                                    |





**EAST ELEVATION**

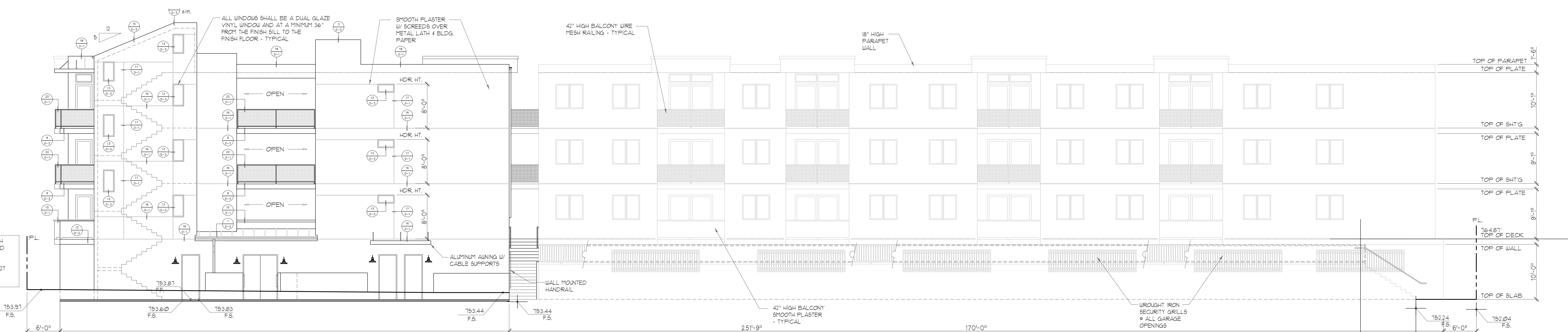
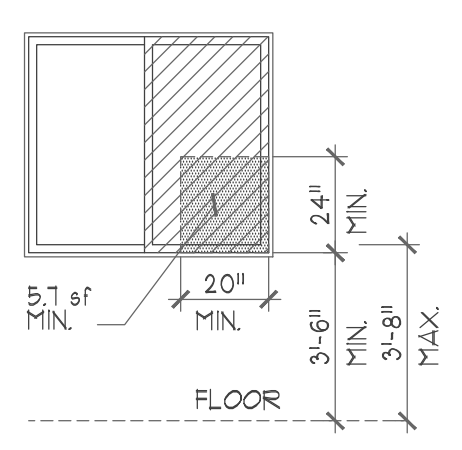
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - LEADWELL ST.**

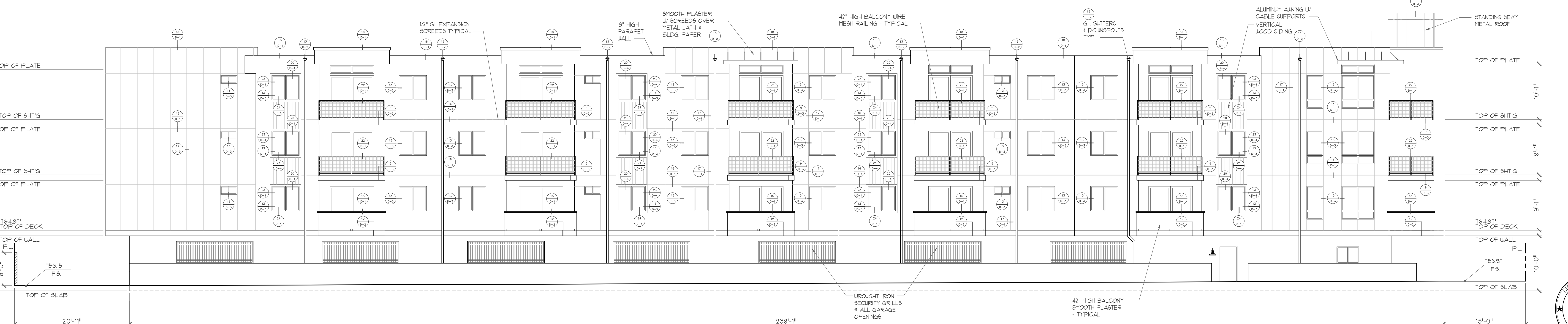
SCALE: 1/8" = 1'-0"

**WINDOW - EMERGENCY EGRESS:**  
 HATCHED AREA ON ALL BEDROOM WINDOWS DENOTES THE EMERGENCY EGRESS AREA REQUIRED. MIN. 4' CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA (5.0 SQ. FT. + GRADE LEVEL) + MIN. 42" MAX. 44" FROM FLOOR TO SILL.



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - VALERIO ST.**

SCALE: 1/8" = 1'-0"

DEVELOPER:  
**FUNDING INVESTMENT CORP.**  
 817 MARKET STREET  
 CAGUA PARK, CALIFORNIA 9324  
 (888) 999-9979

PROJECT NAME:  
**86-UNIT WOODMAN**  
 WOODMAN II  
 1346-1361 WOODMAN AVENUE  
 VAN NUYS, CALIFORNIA 91405

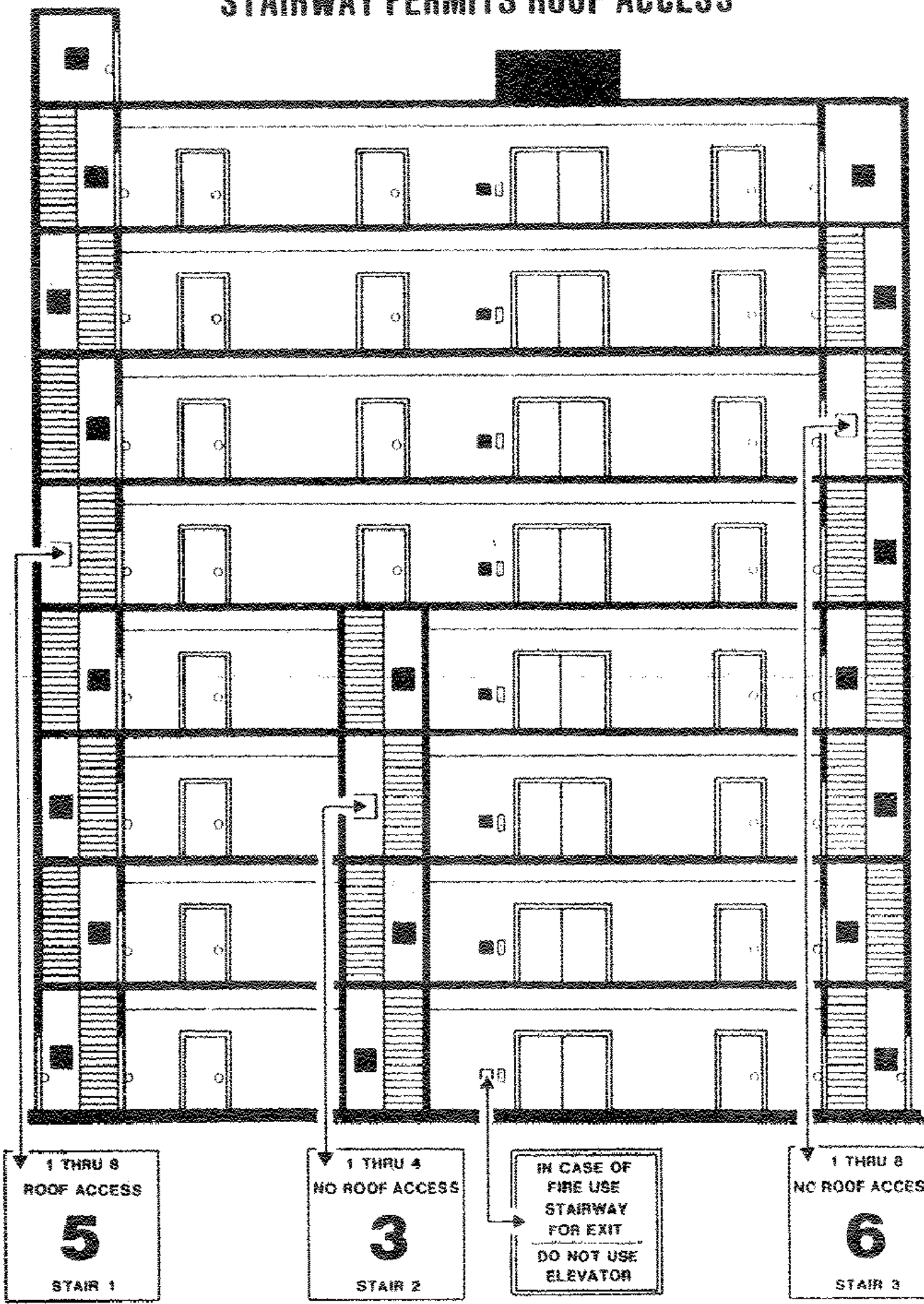
EXTERIOR ELEVATIONS  
 REVISIONS:  
 DESIGN: RKS  
 DATE: 09/11/11  
 PLAN CHG:  
 PERMIT:

**KEN STOCKTON**  
 ARCHITECTS, INC.  
 26000 W. AGOURA ROAD #100  
 CALABASAS, CA 91301  
 (818) 888-5445 FAX: (818) 888-9604

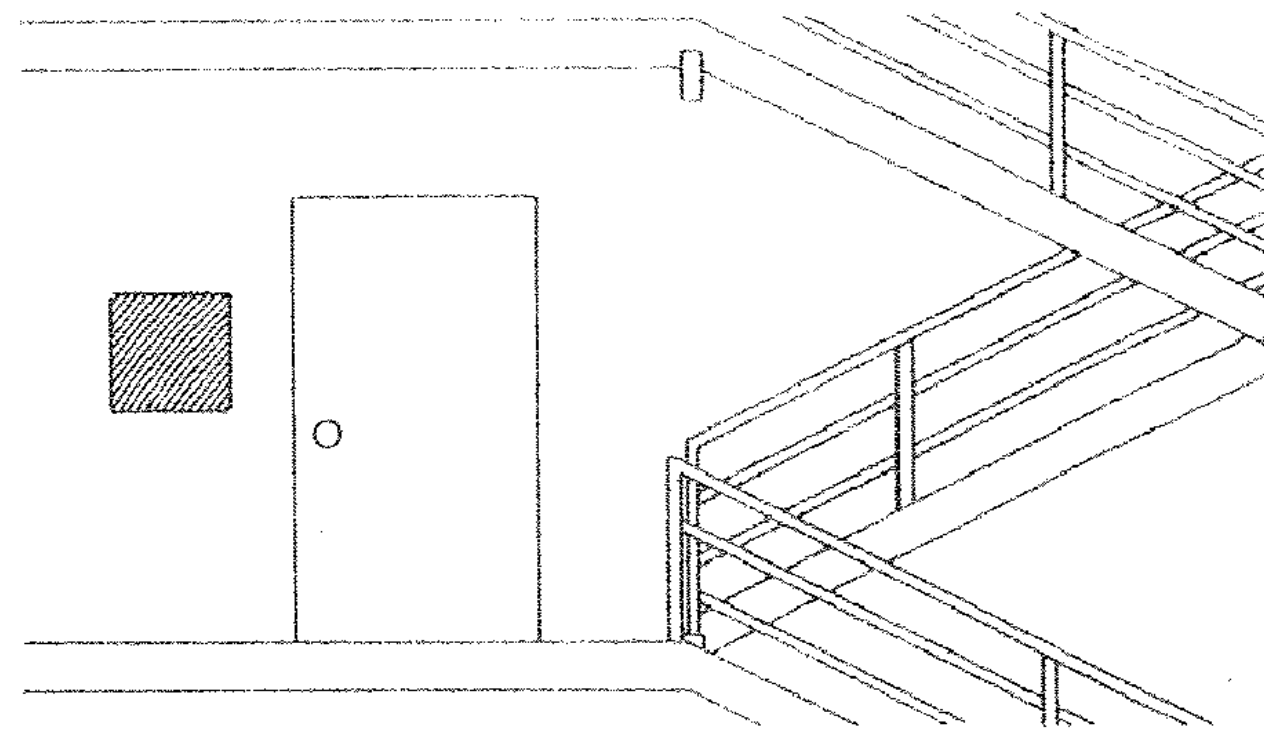
SHEET NO.  
**A3.0**



**LOOK FOR STAIRWAY SIGNS -and- KNOW WHICH STAIRWAY PERMITS ROOF ACCESS**



**LOCATION OF SIGN IN STAIRWAY**  
LOS ANGELES CITY FIRE DEPARTMENT REQUIRES STAIRWAY NUMBERING SYSTEMS FOR BUILDING MORE THAN 2 STORIES

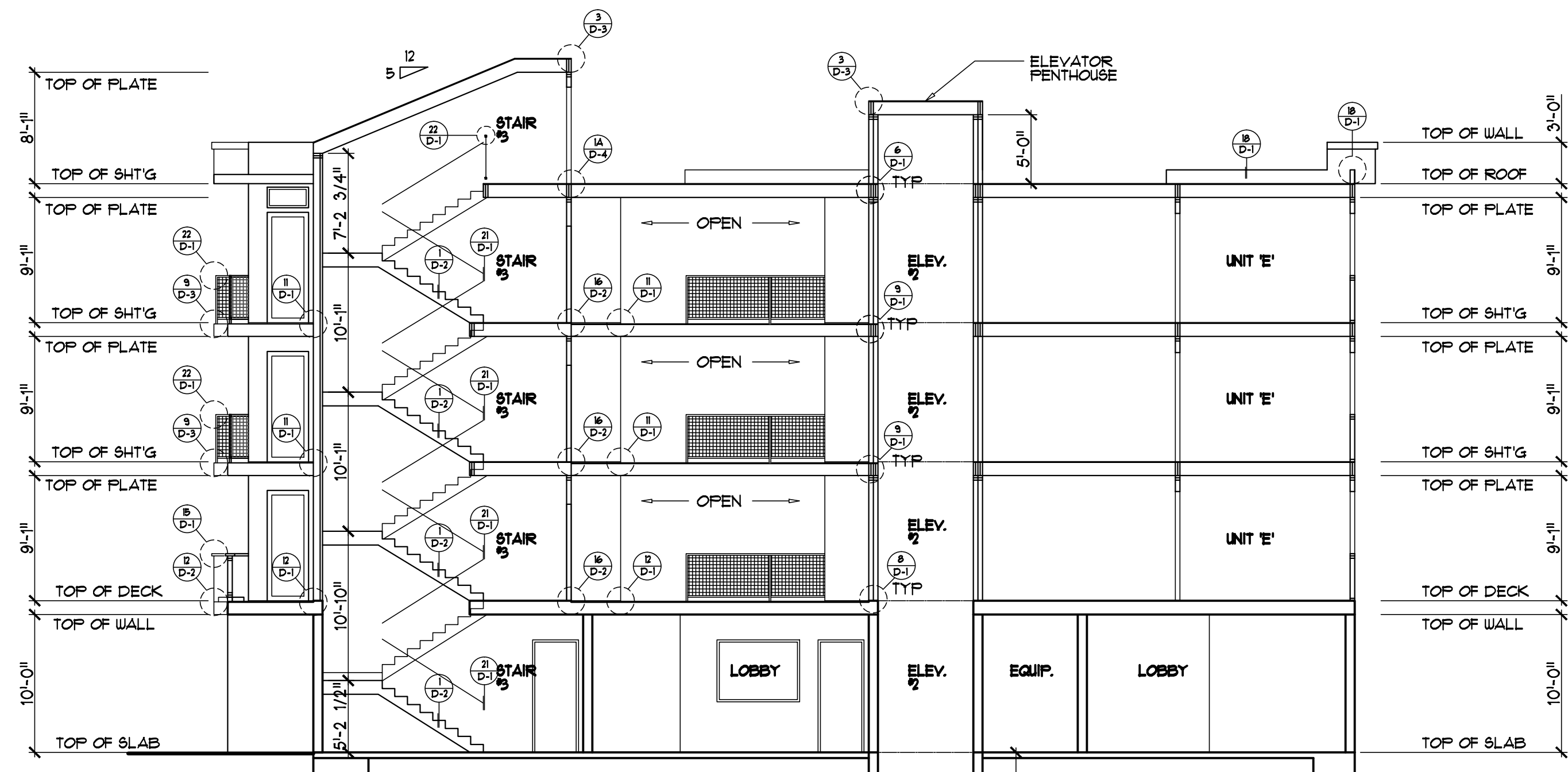


**EXAMPLE 1**  
1 THRU 8 ROOF ACCESS  
**5**  
STAIR 1  
5TH FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 8TH FLOOR OF AN 8 STORY BUILDING. THE STAIRWAY TERMINATES ON THE ROOF. THIS IS THE NUMBER 1 STAIRWAY IN THE BUILDING.

**EXAMPLE 2**  
1 THRU 4 NO ROOF ACCESS  
**3**  
STAIR 2  
3RD FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 4TH FLOOR OF AN 8 STORY BUILDING. THIS STAIRWAY DOES NOT PERMIT ROOF ACCESS. THIS IS THE NUMBER 2 STAIRWAY IN THE BUILDING.

**EXAMPLE 3**  
1 THRU 8 NO ROOF ACCESS  
**6**  
STAIR 3  
8TH FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 8TH FLOOR OF AN 8 STORY BUILDING. THIS STAIRWAY DOES NOT PERMIT ROOF ACCESS. THIS IS THE NUMBER 3 STAIRWAY IN THE BUILDING.

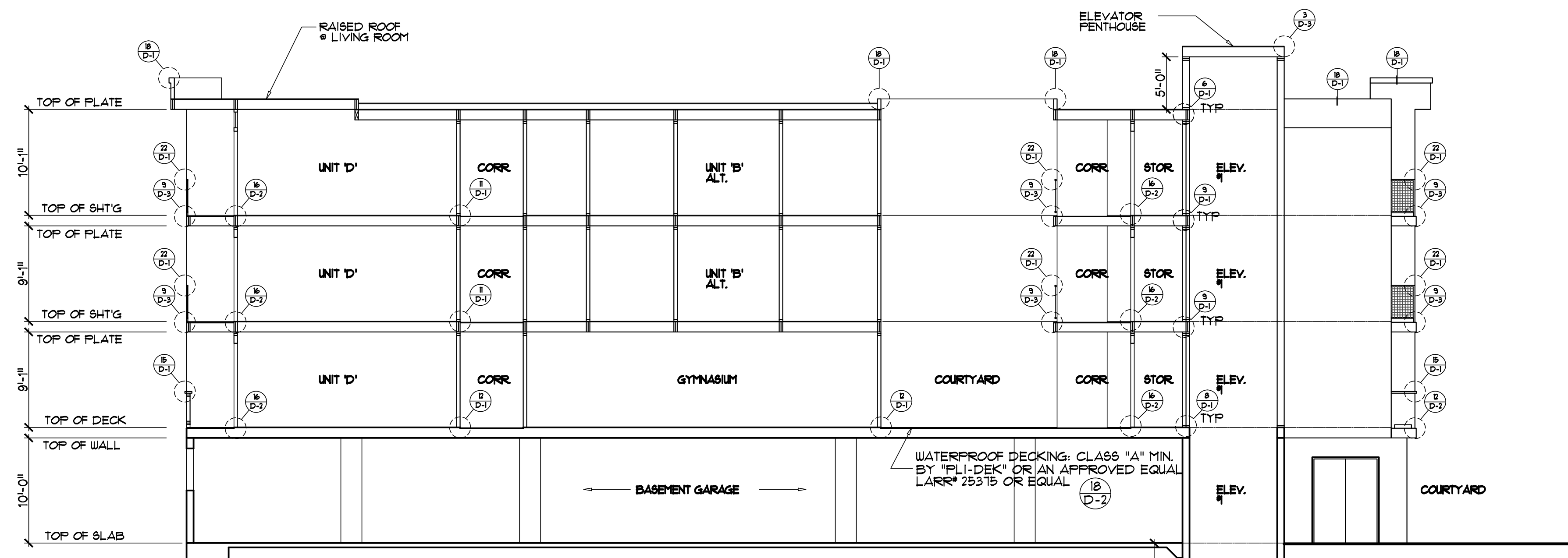
GRADE II SCALLOP, ALSO REVISED @ APT. #'S



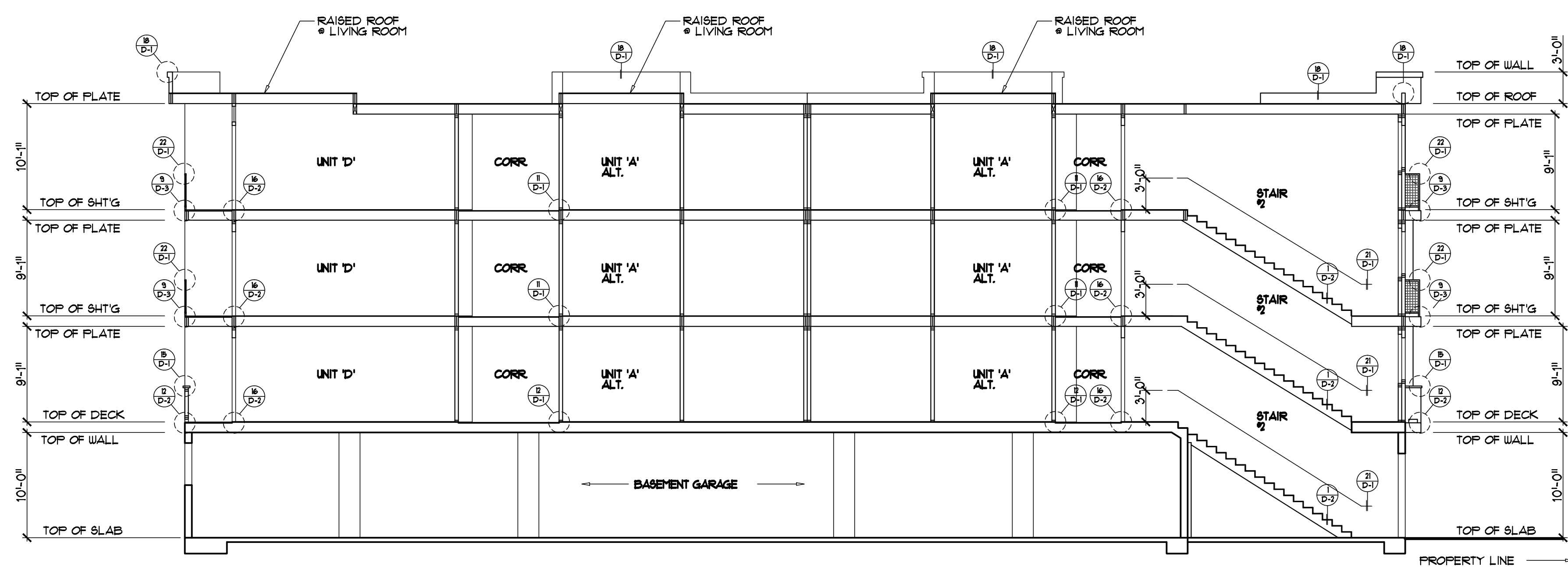
**BUILDING SECTION 'D'**  
SCALE: 1/8" = 1'-0"

**ELEVATOR PIT NOTE:**  
ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN. PLUMBING INFORMATION BULLETIN P/PC 2007-04

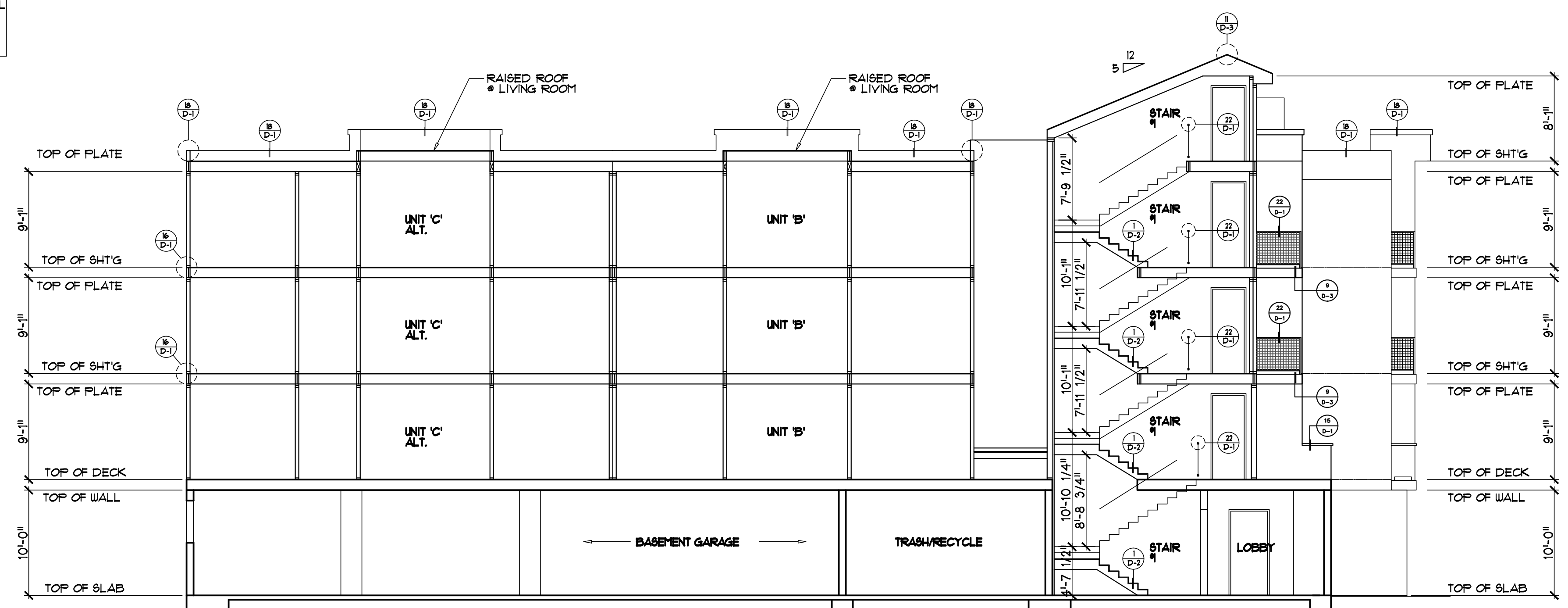
**BELOW GRADE WATERPROOFING:**  
ALL WALLS LOCATED BELOW GRADE AND/OR RETAINING SOIL SHALL BE PROVIDED AN APPROVED DAMP PROOFING MATERIAL BY "TRU-DRI" OR AN APPROVED EQUAL. LABORERS SEE DETAILS FOR INSTALLATION (D-3) (D-3) (D-3) (D-3)



**BUILDING SECTION 'B'**  
SCALE: 1/8" = 1'-0"



**BUILDING SECTION 'C'**  
SCALE: 1/8" = 1'-0"



**BUILDING SECTION 'A'**  
SCALE: 1/8" = 1'-0"

**DEVELOPER:**  
FUNDING INVESTMENT CORP.  
801 HERBIE STREET  
CANAJO PARK, CALIFORNIA 91304  
(818) 998-9978

**PROJECT NAME:**  
86-UNIT WOODMAN  
"WOODMAN"  
1346-1367 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

**BUILDING CROSS-SECTIONS:**  
REVISONS:  
DRAWN: RKS  
DATE: 09/27/11  
PLAN CHK:  
PERMIT:

**KEN STOCKTON ARCHITECTS, INC.**  
26800 W AGOURA ROAD P.O. BOX 463 CALABASAS, CA 91302  
(818) 988-5443 FAX: (818) 988-3604

**SHEET NO.**  
**A4.0**

