

**FIRST STORY FLOOR PLAN**

SCALE: 1/8" = 1'-0"

AREA TABULATION	
(INCLUDES EXT. WALLS)	
UNIT (R2) AREA	23,844 SQ. FT.
CORRIDOR(S)	5,038 SQ. FT.
LAUNDRY	307 SQ. FT.
BALCONIES/DECKS	174 SQ. FT.
TRASH ROOM	191 SQ. FT.
GYM (A-3)	884 SQ. FT.
COURTYARD (A-3)	6,333 SQ. FT.
ELEVATOR(S)	150 SQ. FT.
CABLE(S)	39 SQ. FT.
STAIR(S)	639 SQ. FT.
GROSS AREA	38,345 SQ. FT.
FLOOR AREA TABULATION	
(EXCLUDES EXT. WALLS)	
UNIT (R2) AREA	23,844 SQ. FT.
CORRIDOR(S)	5,038 SQ. FT.
LAUNDRY	307 SQ. FT.
BALCONIES/DECKS	174 SQ. FT.
TRASH ROOM	141 SQ. FT.
GYM (A-3)	861 SQ. FT.
COURTYARD (A-3)	6,333 SQ. FT.
ELEVATOR(S)	140 SQ. FT.
CABLE(S)	39 SQ. FT.
STAIR(S)	585 SQ. FT.
GROSS AREA	38,415 SQ. FT.

WALL LEGEND	
	COMMON WALL - TYP. (SOUND WALL SHOWN SHADED)
	2-HOUR FIRE WALL - TYP.
	2-HOUR AREA SEPARATION WALL

UNIT TABULATION (FIRST FLOOR ONLY)	
(1) 1 BEDROOM / 1 BATH	
(11) 2 BEDROOM / 2 BATH	
(4) 3 BEDROOM / 2 BATH	
(728) TOTAL UNITS + (1) GYM UNIT	

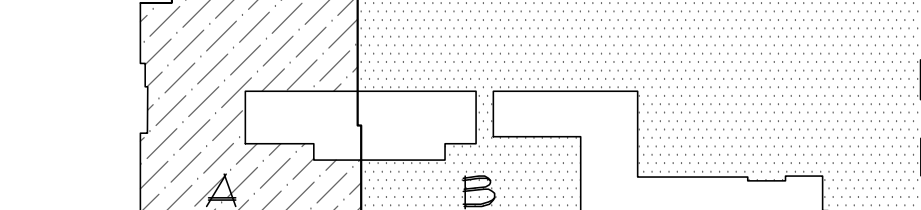
**GENERAL NOTES:**

- ILLUMINATED EXIT SIGN PROVIDED LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES; THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET 110-A-1 FOR 1/4" SCALE ENLARGED PLANS OF UNITS + COMMON AREAS.
- FOR DETAILS AT FLOOR CEILING + WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER CODE/REGULATION.

**EXTERIOR OPENING TABULATION:**

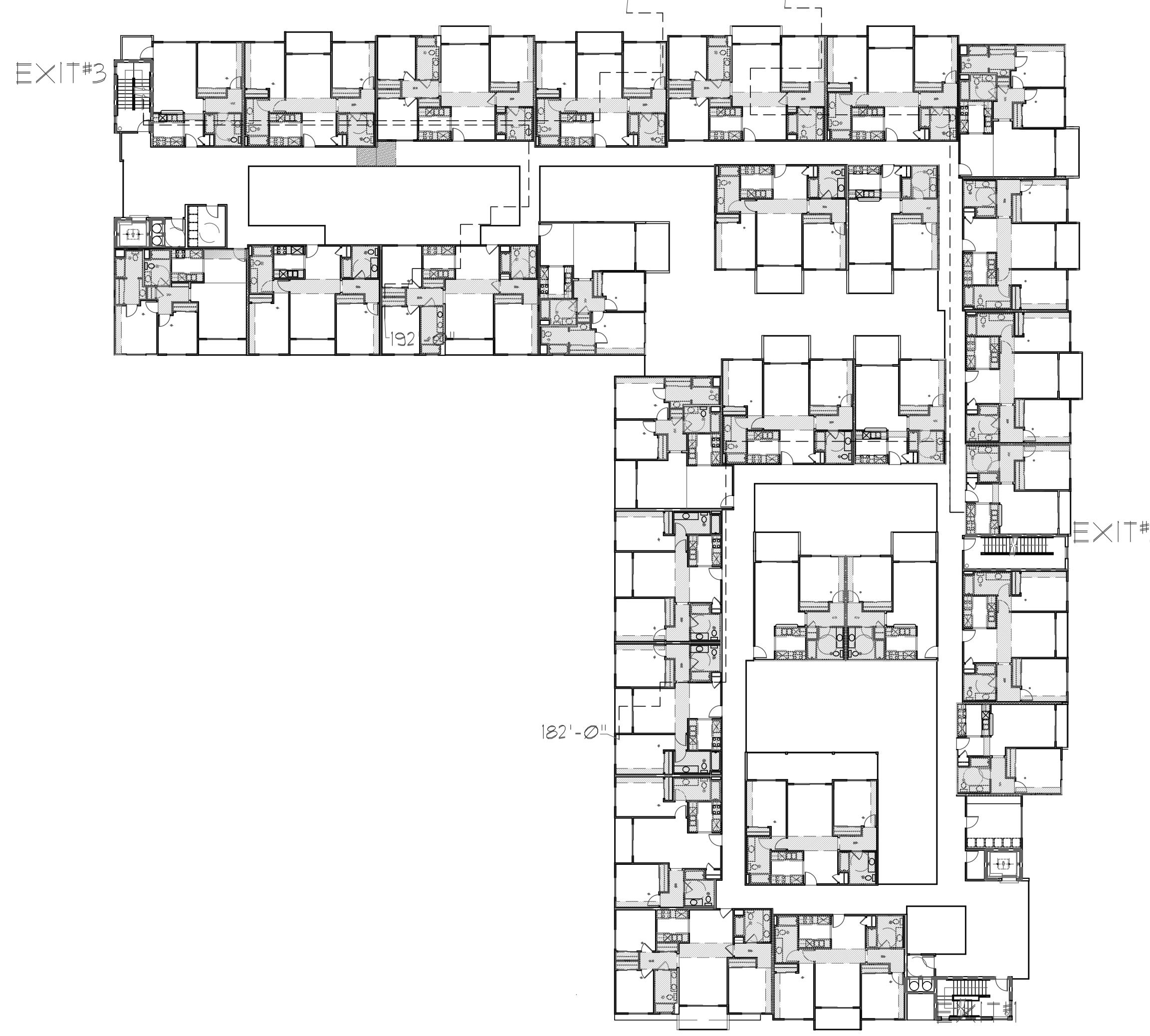
- (THIS LEVEL ONLY)
- NORTH ELEVATION -**  
 DISTANCE TO CL # STREET + 120'-0"  
 OPENINGS ALLOWED - NO LIMIT
- EAST ELEVATION -**  
 DISTANCE TO PL # REAR - 15'-0"  
 OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
 WALL TYP. ( 2495' x 9' ) 2249.5 SQ. FT.  
 OPENINGS PROVIDED - 342.5 SQ. FT.  
 PERCENTAGE PROVIDED - 41%
- WEST ELEVATION (FRONTAGE) -**  
 DISTANCE TO CL # STREET + 120'-0"  
 OPENINGS ALLOWED - NO LIMIT
- WEST ELEVATION (SIDE YARD) -**  
 DISTANCE TO PL # 6'-0"  
 OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
 WALL TYP. ( 8316' x 9' ) 146844 SQ. FT.  
 OPENINGS PROVIDED - 4585 SQ. FT.  
 PERCENTAGE PROVIDED - 31%
- SOUTH ELEVATION (FRONTAGE) -**  
 DISTANCE TO CL # STREET + 120'-0"  
 OPENINGS ALLOWED - NO LIMIT
- SOUTH ELEVATION (SIDE YARD) -**  
 DISTANCE TO PL # 6'-0"  
 OPENINGS ALLOWED - 15% PROTECTED / 15% UNPROTECTED  
 WALL TYP. ( 136' x 9' ) 1224 SQ. FT.  
 OPENINGS PROVIDED - 136 SQ. FT.  
 PERCENTAGE PROVIDED - 11%

**2-HOUR FIRE WALL LEGEND**

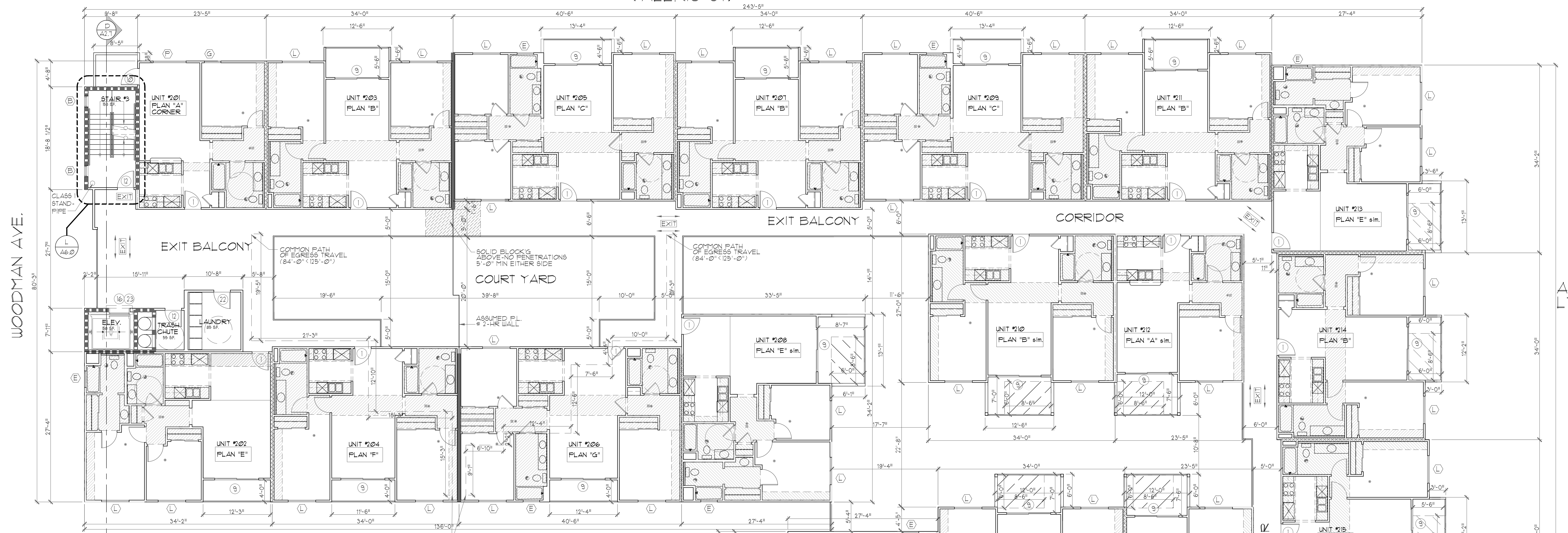


"A" = 4,914 SQ. FT. (SUM OF "A" - 14,922 SF.)  
 "B" = 27,038 SQ. FT. (SUM OF "B" - 8114 SF.)

**EXIT ACCESS TRAVEL DISTANCE**



DEVELOPER:	FUNDING INVESTMENT CORP.
PROJECT NAME:	86-UNIT WOODMAN "WOODMAN"
DRAWN:	RK.S
DATE:	09/27/11
PERMIT:	
NO. C19870	EXP. 1-31-12
26500 W. AGOURA ROAD P.O. BOX 463, CALABASAS, CA 91301	(818) 888-5443 FAX: (818) 888-3604
SHEET NO. <b>A2.1</b>	



SECOND STORY FLOOR PLAN

SCALE: 1/8" = 1'-0"

**WALL LEGEND**

	COMMON WALL - TYP (SOUND WALL SHOWN SHADED)
	2-HOUR FIRE WALL - TYP (SOUND WALL SHOWN SHADED)
	2-HOUR AREA SEPARATION WALL

**AREA TABULATION**

(INCLUDES EXT. WALLS)	UNIT (R) AREA	24,494 SQ. FT.
	CORRIDOR(S)	5,258 SQ. FT.
	LAUNDRY	307 SQ. FT.
	BALCONIES/ DECKS	174 SQ. FT.
	TRASH ROOM	91 SQ. FT.
	ELEVATOR(S)	150 SQ. FT.
	CABLE EQ.	33 SQ. FT.
	STAIR(S)	633 SQ. FT.
	GROSS AREA	32,072 SQ. FT.

**FLOOR AREA TABULATION**

(EXCLUDES EXT. WALLS)	UNIT (R) AREA	24,045 SQ. FT.
	CORRIDOR(S)	5,040 SQ. FT.
	LAUNDRY	307 SQ. FT.
	BALCONIES/ DECKS	174 SQ. FT.
	TRASH ROOM	141 SQ. FT.
	ELEVATOR(S)	140 SQ. FT.
	CABLE EQ.	33 SQ. FT.
	STAIR(S)	599 SQ. FT.
	GROSS AREA	31,482 SQ. FT.

**GENERAL NOTES:**

- ILLUMINATED EXIT SIGN PROVIDE LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD. - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET #10. ALL FOR 1/4" SCALE ENLARGED PLANS OF UNITS 4 COMMON AREAS.
- FOR DETAILS AT FLOOR CEILING, 4 WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE SHEET #10.
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER SPECIFICATION.

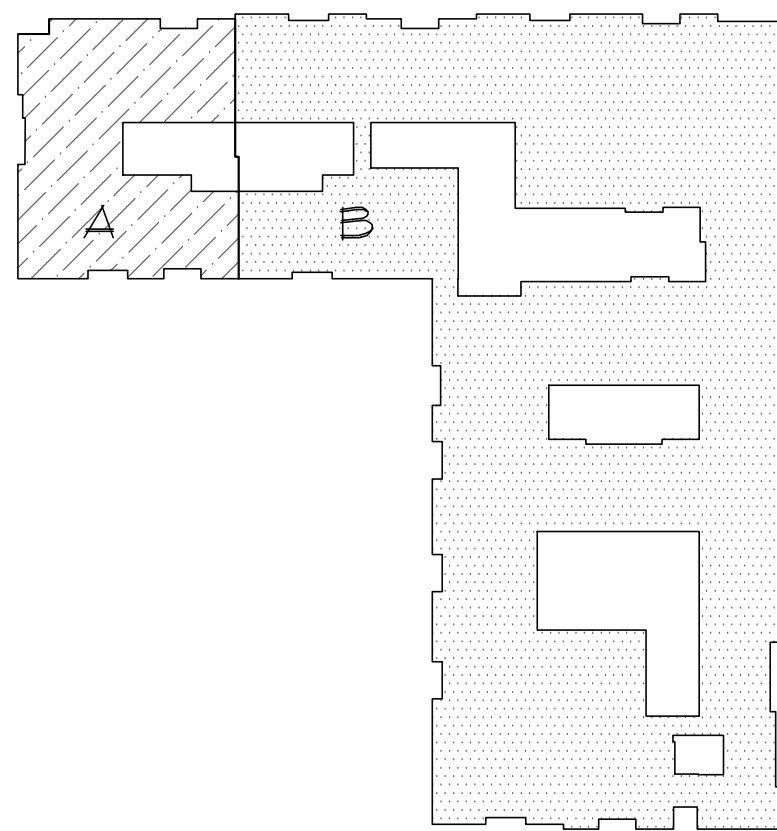
**UNIT TABULATION (SECOND FLOOR ONLY)**

- (1) 1 BEDROOM / 1 BATH
- (8) 2 BEDROOM / 2 BATH
- (4) 3 BEDROOM / 2 BATH
- (29) TOTAL UNITS

**EXTERIOR OPENING TABULATION:**

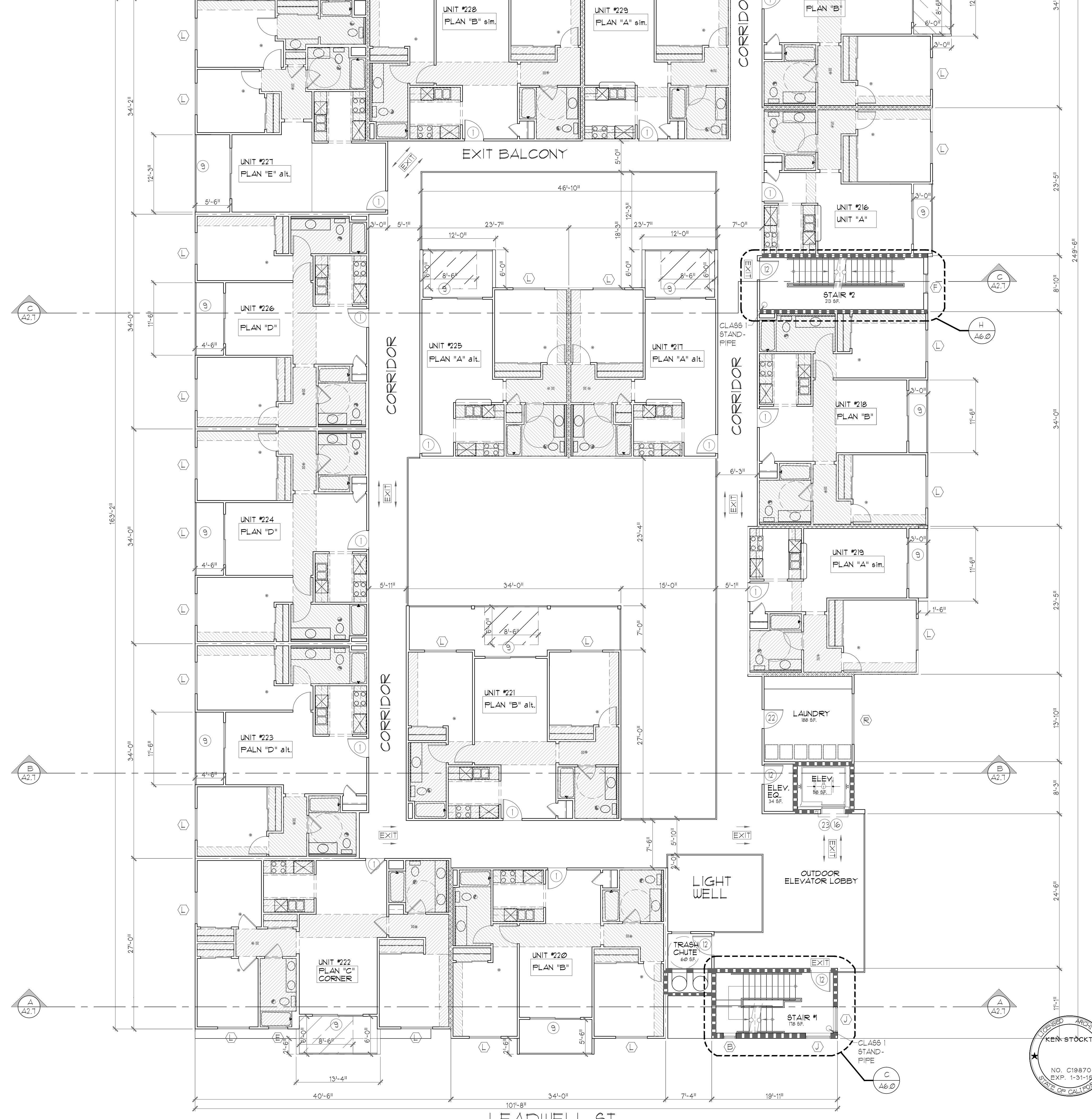
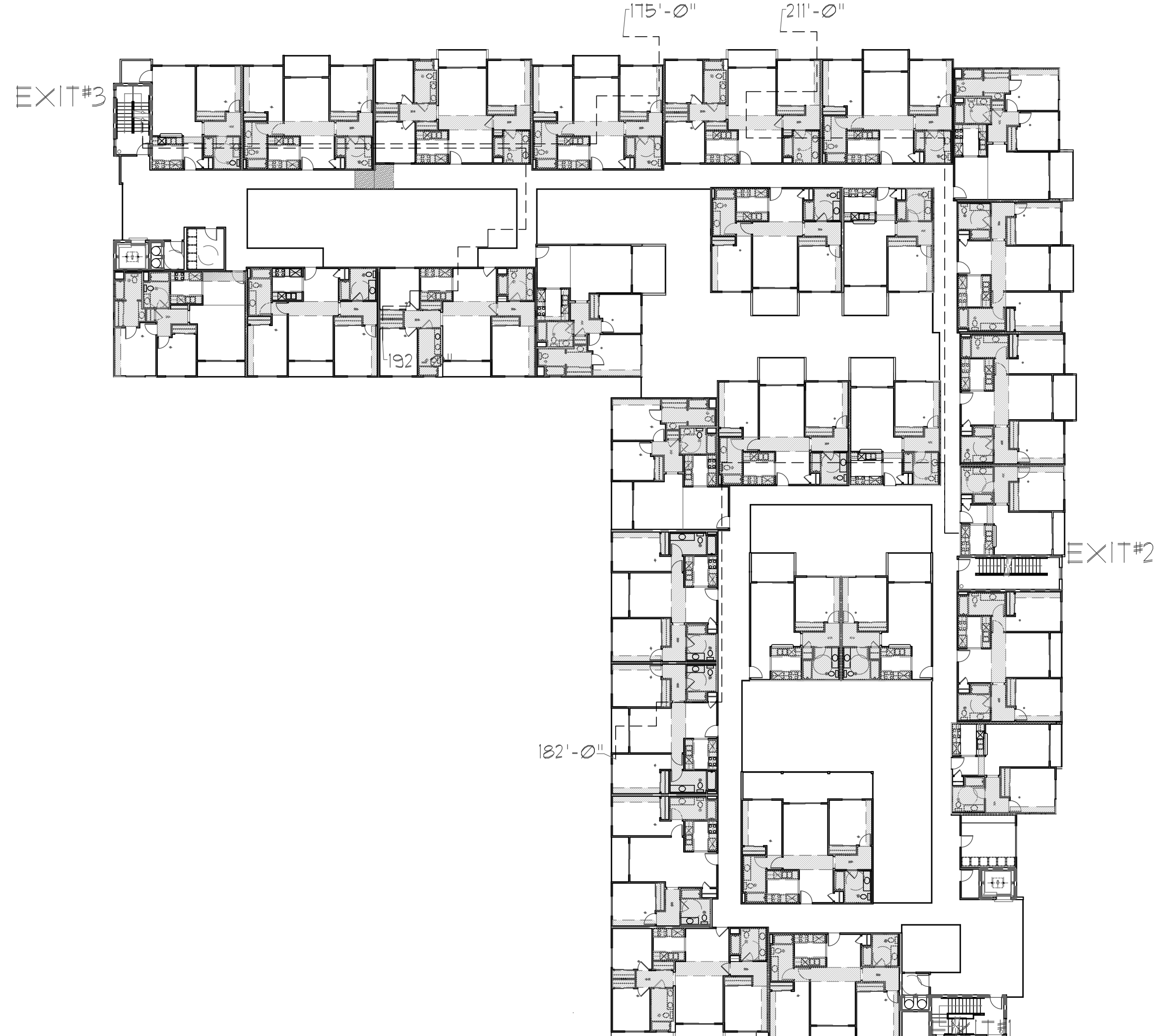
- (THIS LEVEL ONLY)
- NORTH ELEVATION -**  
DISTANCE TO CL. # STREET > 20'-0"  
OPENINGS ALLOWED: NO LIMIT
- EAST ELEVATION -**  
DISTANCE TO P.L. # REAR > 15'-0"  
OPENINGS ALLOWED: 75% PROTECTED / 75% UNPROTECTED  
WALL TYP. ( 2495' x 9' ) 2249.5 SQ. FT.  
PERCENTAGE PROVIDED: 4.18%  
LEAST ELEVATION (FRONTAGE) >  
DISTANCE TO CL. # STREET > 10'-0"  
OPENINGS ALLOWED: NO LIMIT  
LEAST ELEVATION (SIDE YARD) >  
DISTANCE TO P.L. # 6'-0"  
OPENINGS ALLOWED: 5% PROTECTED / 25% UNPROTECTED  
WALL TYP. ( 8336' x 9' ) 146844 SQ. FT.  
PERCENTAGE PROVIDED: 4889.50 FT.  
PERCENTAGE PROVIDED: 3.12%
- SOUTH ELEVATION (FRONTAGE) -**  
DISTANCE TO CL. # STREET > 20'-0"  
OPENINGS ALLOWED: NO LIMIT  
SOUTH ELEVATION (SIDE YARD) -  
DISTANCE TO P.L. # 6'-0"  
OPENINGS ALLOWED: 5% PROTECTED / 25% UNPROTECTED  
WALL TYP. ( 336' x 9' ) 1224 SQ. FT.  
PERCENTAGE PROVIDED: 336 SQ. FT.  
PERCENTAGE PROVIDED: 2.15%

**2-HOUR FIRE WALL LEGEND**



"A" = 4,914 SQ. FT. (SUM OF "A" = 14,922 SF.)  
"B" = 21,038 SQ. FT. (SUM OF "B" = 81,114 SF.)

**EXIT ACCESS TRAVEL DISTANCE**



ADJACENT

DEVELOPER: FUNDING INVESTMENT CORP.  
CANAJO PARK, CALIFORNIA 9504  
(888) 999-8973

PROJECT NAME: 86-UNIT WOODMAN "WOODMAN"  
1346-1361 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

SECOND FLOOR PLAN  
DRAWN: RKS  
REV/SONS:  
DATE: 09/21/11  
PLAN CHK:  
PERMIT:

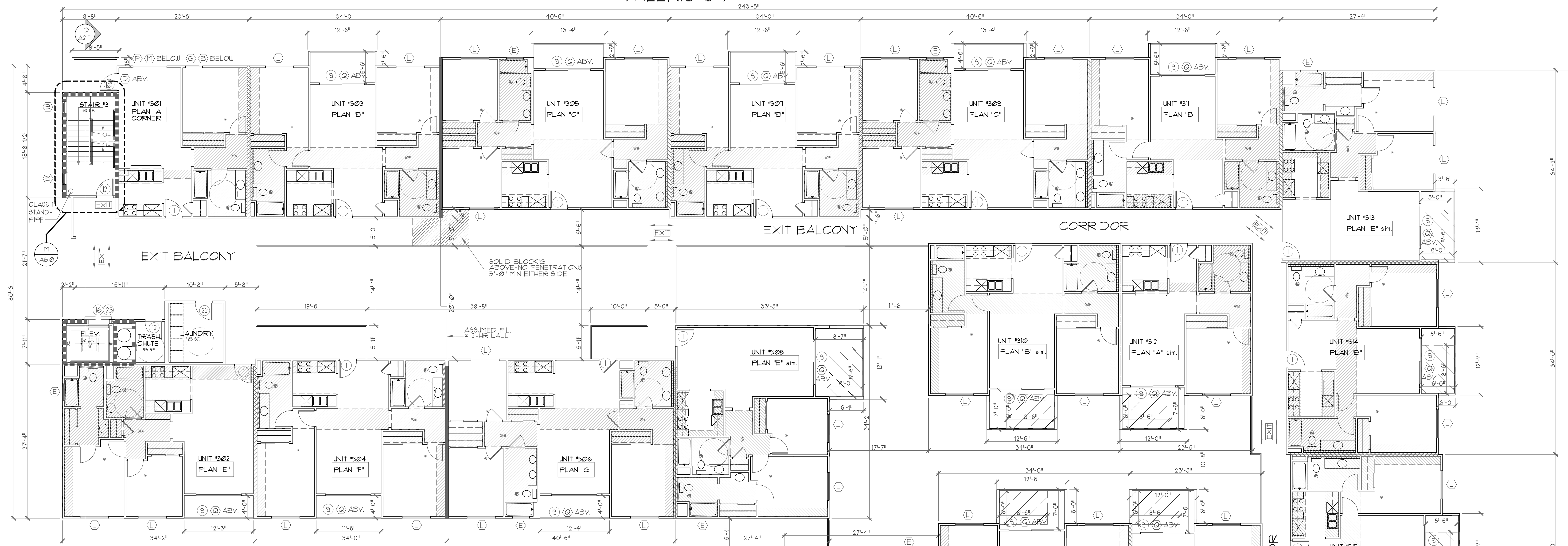
KEN STOCKTON ARCHITECTS, INC.  
26500 W. AGOURA ROAD, P.O. BOX 463, CALABASAS, CA 91307  
(818) 888-5443 FAX: (818) 888-9604

SHEET NO. **A2.2**

VALERIO ST.

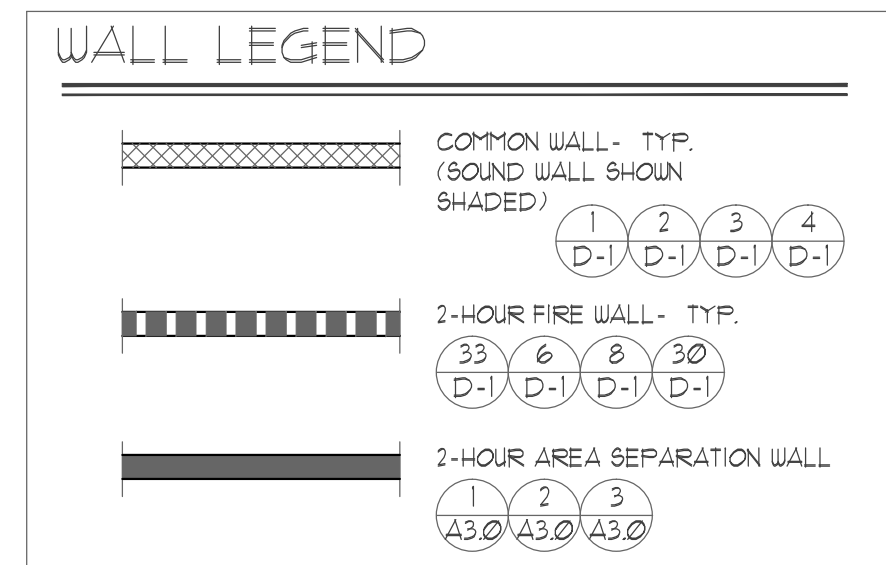
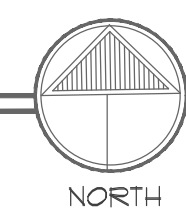
WOODMAN AVE.

ADJACENT LT/BLDG



### THIRD STORY FLOOR PLAN

SCALE: 1/8" = 1'-0"



#### AREA TABULATION

(INCLUDES EXT. WALLS)	UNIT (NO.) AREA	24,494 SQ. FT.
	COMMON AREA	9,298 SQ. FT.
	LAUNDRY	527 SQ. FT.
	BALCONIES/ DECKS	1,174 SQ. FT.
	TRASH ROOM	151 SQ. FT.
	ELEVATOR(S)	180 SQ. FT.
	CABLE/EQ.	39 SQ. FT.
	STAIR(S)	639 SQ. FT.
	GROSS AREA	32,012 SQ. FT.

#### FLOOR AREA TABULATION

(EXCLUDES EXT. WALLS)	UNIT (NO.) AREA	24,045 SQ. FT.
	COMMON AREA	9,240 SQ. FT.
	LAUNDRY	527 SQ. FT.
	BALCONIES/ DECKS	1,174 SQ. FT.
	TRASH ROOM	141 SQ. FT.
	ELEVATOR(S)	140 SQ. FT.
	CABLE/EQ.	39 SQ. FT.
	STAIR(S)	599 SQ. FT.
	GROSS AREA	31,492 SQ. FT.

#### GENERAL NOTES:

- ILLUMINATED EXIT SIGN PROVIDE LOW LEVEL EXIT SIGNS IN LOCATIONS AS REQUIRED BY LAFD. - TYPICAL
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. ALSO INCLUDES EXIT GATES. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- SEE SHEET A10-A11 FOR 1/4" SCALE ENLARGED PLANS OF UNITS & COMMON AREAS.
- FOR DETAILS AT FLOOR, CEILING & WALL TRANSITIONS FROM EXTERIOR AREAS TO INTERIOR AREAS, SEE
- ALL EXITS SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR THE PUBLIC WAY.
- 6-1/2" INDICATES WATER CURTAIN SPRINKLER HEAD FOR 1/2 HOUR PROTECTION OF OPENINGS AS PER NOTIFICATION.

#### UNIT TABULATION (THIRD FLOOR ONLY)

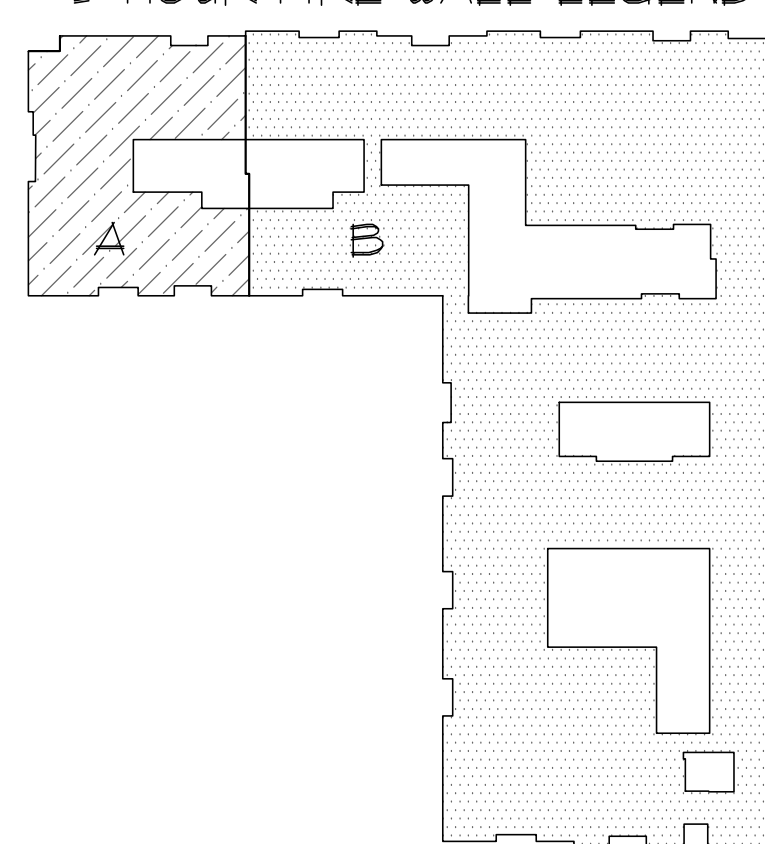
- (8) 1 BEDROOM / 1 BATH
- (17) 2 BEDROOM / 2 BATH
- (4) 3 BEDROOM / 2 BATH
- (23) TOTAL UNITS

#### EXTERIOR OPENING TABULATION:

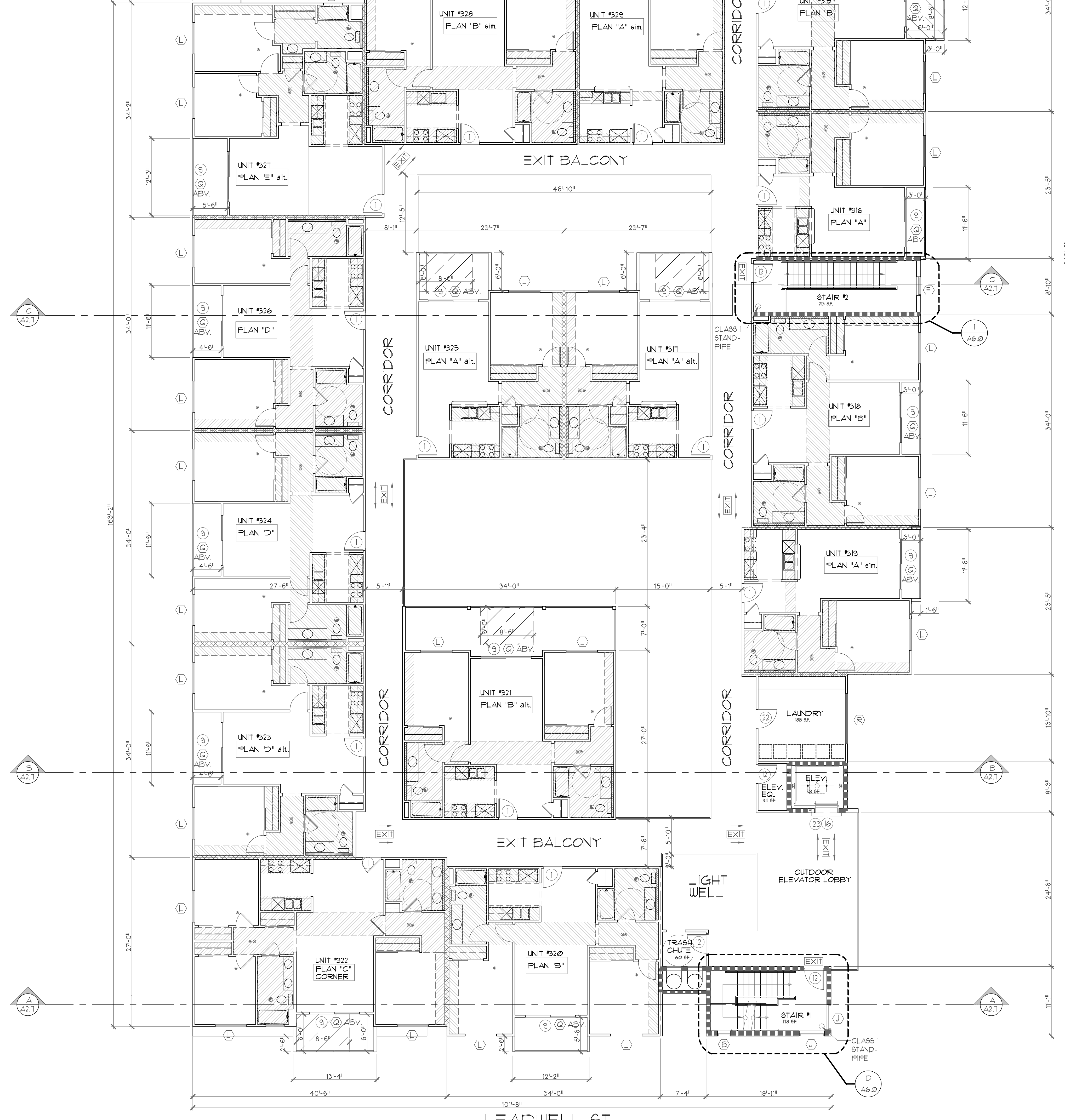
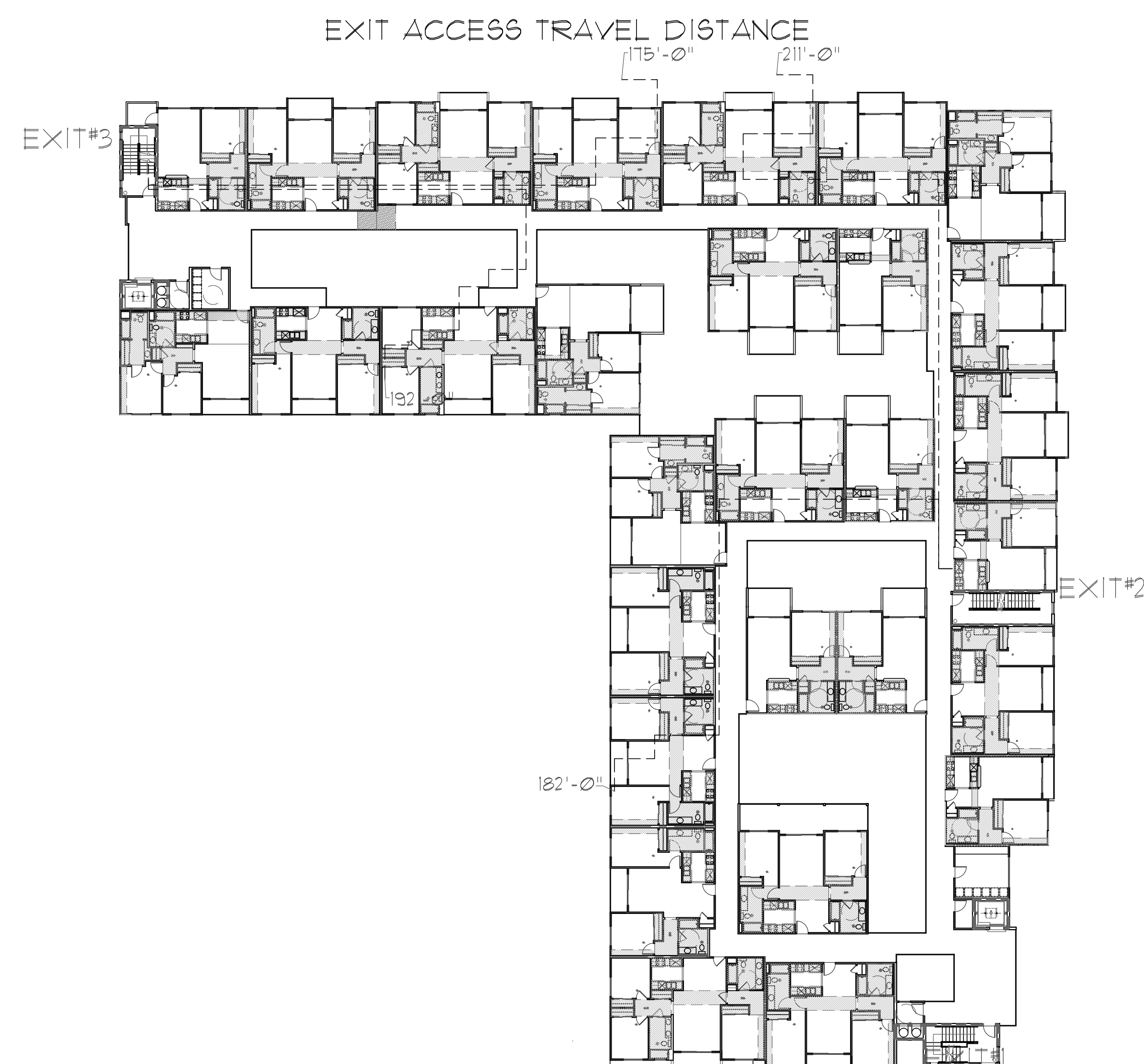
(THIS LEVEL ONLY)

- NORTH ELEVATION** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- EAST ELEVATION** - DISTANCE TO P.L. # REAR: 5'-0" OPENINGS ALLOWED: 75% PROTECTED / 25% UNPROTECTED WALL TIER: 7'48.5" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 5475 SQ. FT. PERCENTAGE PROVIDED: 410%
- WEST ELEVATION (FRONTAGE)** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- WEST ELEVATION (SIDE YARD)** - DISTANCE TO P.L. # 6'-0" OPENINGS ALLOWED: 84% PROTECTED / 16% UNPROTECTED WALL TIER: 7'48.5" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 3993 SQ. FT. PERCENTAGE PROVIDED: 312%
- SOUTH ELEVATION (FRONTAGE)** - DISTANCE TO CL # STREET > 20'-0" OPENINGS ALLOWED: NO LIMIT
- SOUTH ELEVATION (SIDE YARD)** - DISTANCE TO P.L. # 6'-0" OPENINGS ALLOWED: 84% PROTECTED / 16% UNPROTECTED WALL TIER: 7'136" x 9'12.245 SQ. FT. OPENINGS PROVIDED: 336 SQ. FT. PERCENTAGE PROVIDED: 215%

#### 2-HOUR FIRE WALL LEGEND



"A" = 4,914 SQ. FT. (SUM OF "A" = 14,922 S.F.)  
 "B" = 21,038 SQ. FT. (SUM OF "B" = 81,114 S.F.)



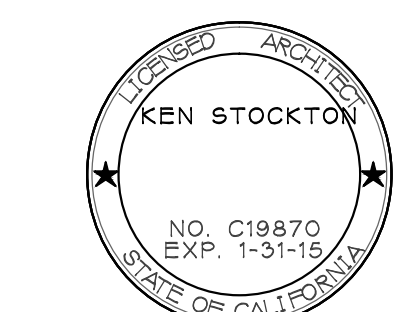
DEVELOPER:  
**FINDING INVESTMENT CORP.**  
 801 NORTHER STREET  
 CANOGA PARK, CALIFORNIA 91304  
 (818) 998-9978

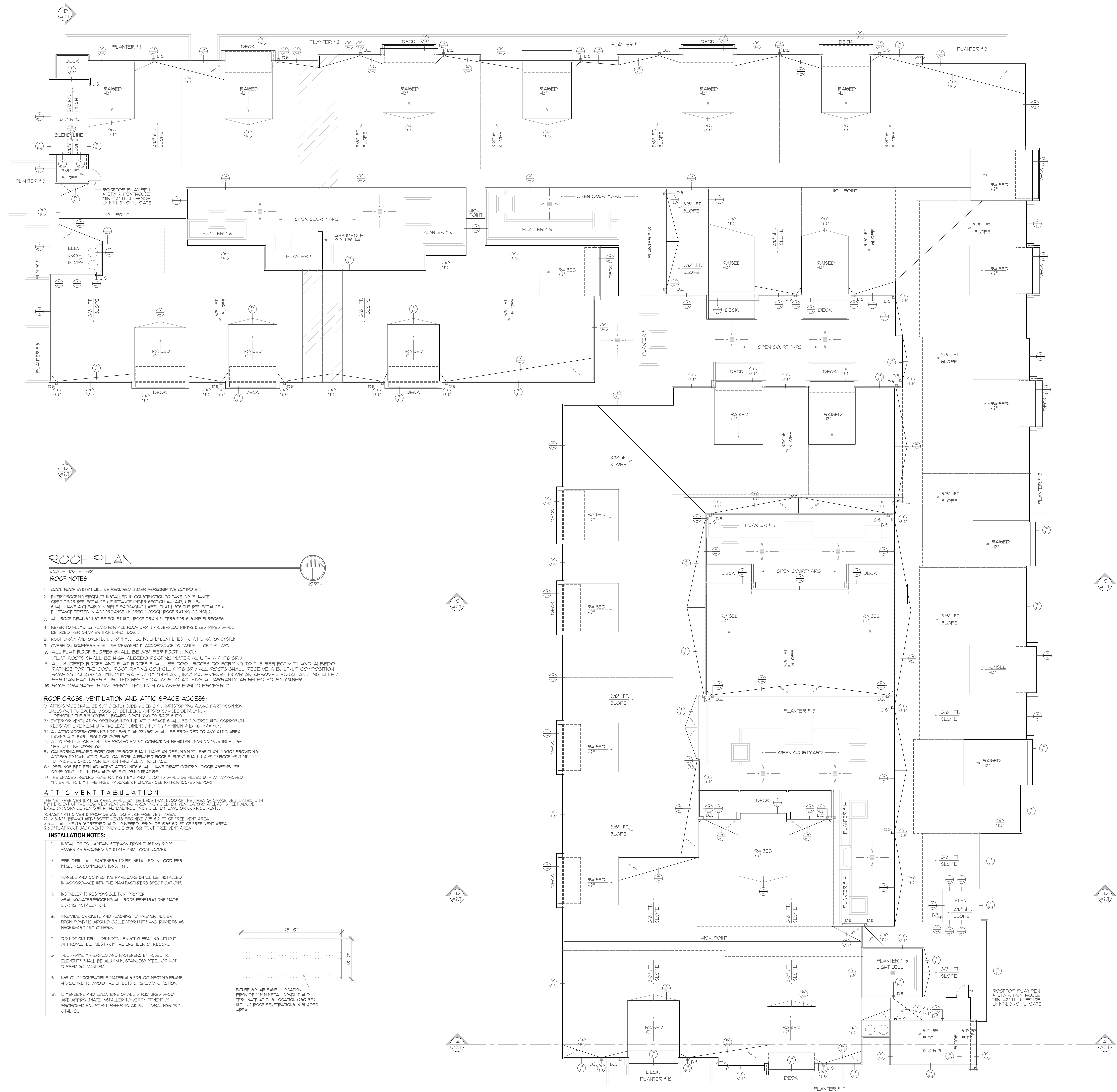
PROJECT NAME:  
**86-UNIT WOODMAN**  
 "WOODMAN"  
 1346-1361 WOODMAN AVENUE  
 VAN NUYS, CALIFORNIA 91405

THIRD FLOOR PLAN  
 DRAWN: RKS  
 REV/SONS:  
 DATE: 09/27/11  
 PLAN CHK:  
 PERMIT:

**KEN STOCKTON**  
 ARCHITECTS, INC.  
 16500 W. AGOURA ROAD, P.O. BOX 463, CALABASAS, CA 91307  
 (818) 888-5445 FAX: (818) 888-9604

SHEET NO.  
**A2.3**





**ROOF PLAN**

SCALE: 1/8" = 1'-0"

**ROOF NOTES**

1. COOL ROOF SYSTEM WILL BE REQUIRED UNDER DESCRIPTIVE COMPONENT.
2. EVERY ROOFING PRODUCT INSTALLED IN CONSTRUCTION TO TAKE COMPLIANCE CREDIT FOR REFLECTANCE & EMISSION UNDER SECTION 441.442.4.1 (B) SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT SHOWS THE REFLECTANCE & EMISSION TESTED IN ACCORDANCE W/ DRCG-1 (COOL ROOF RATING COUNCIL).
3. ALL ROOF DRAINS MUST BE EQUIPT WITH ROOF DRAIN FILTERS FOR SUBMIP PURPOSES.
4. REFER TO PLUMBING PLANS FOR ALL ROOF DRAIN & OVERFLOW PIPING SIZES. PIPES SHALL BE SIZED PER CHAPTER 19 OF LARPC (2024).
5. ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A FILTRATION SYSTEM.
6. OVERFLOW SUFFERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 19-1 OF THE LARPC.
7. ALL FLAT ROOF SLOPES SHALL BE 3/8" PER FOOT (UNO).
8. (FLAT ROOFS SHALL BE HIGH ALBEDO ROOFING MATERIAL WITH A ( ) 78 BR)
9. ALL SLOPED ROOFS AND FLAT ROOFS SHALL BE COOL ROOFS CONFORMING TO THE REFLECTIVITY AND ALBEDO RATINGS FOR THE COOL ROOF RATING COUNCIL ( ) 78 BR) ALL ROOFS SHALL RECEIVE A BUILT-UP COMPOSITION ROOFING (CLASS 1) MINIMUM RATED BY "IR" (ASTM) ICC-ES ESR-1113 OR AN APPROVED EQUAL, AND INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS TO ACHIEVE A WARRANTY AS SELECTED BY OWNER.
10. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.

**ROOF CROSS-VENTILATION AND ATTIC SPACE ACCESS:**

- 1) ATTIC SPACE SHALL BE GRICENTLY SUBDIVIDED BY DRAFTSTOPPING ALONG PARTY COMMON WALLS (NOT TO EXCEED 3/8" IN BETWEEN COURTYARDS) - SEE DETAIL 110-1 SHOWING THE 5/8" GYPSUM BOARD CONTINUING TO ROOF BTL.
- 2) EXTERIOR VENTILATION OPENINGS INTO THE ATTIC SPACE SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION OF 1/8" MINIMUM AND 1/8" MAXIMUM.
- 3) AN ATTIC ACCESS OPENING NOT LESS THAN 22"x30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30".
- 4) ATTIC VENTILATION SHALL BE PROTECTED BY CORROSION-RESISTANT, NON COMBUSTIBLE WIRE MESH WITH 1/8" OPENINGS.
- 5) CALIFORNIA FRAMED PORTIONS OF ROOF SHALL HAVE AN OPENING NOT LESS THAN 22"x30" PROVIDING ACCESS TO MAIN ATTIC. EACH CALIFORNIA FRAMED ROOF ELEMENT SHALL HAVE (1) ROOF VENT MINIMUM TO PROVIDE CROSS VENTILATION THRU ALL ATTIC SPACE.
- 6) OPENINGS BETWEEN ADJACENT ATTIC UNITS SHALL HAVE DRAFT CONTROL DOOR ASSEMBLIES COMPLYING WITH UL 184 AND SELF-CLOSING FEATURE.
- 7) THE SPACES AROUND PENETRATING ITEMS AND JOINTS SHALL BE FILLED WITH AN APPROVED MATERIAL TO LIMIT THE FREE PASSAGE OF SMOKE - SEE N-FOR ICC-ES REPORT.

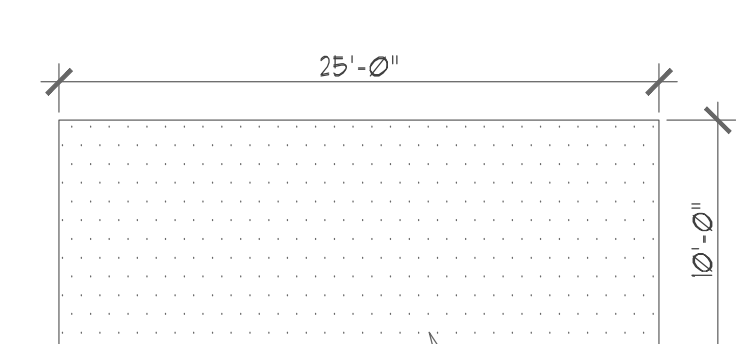
**ATTIC VENTILATION TABLE**

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF SPACE VENTILATED, WITH NO PORTION OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS SITTING 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS.

\*QUADRY ATTIC VENTS PROVIDE 0.81 SQ. FT. OF FREE VENT AREA.  
 22" x 30" (FRAMING) SOFFIT VENTS PROVIDE 0.19 SQ. FT. OF FREE VENT AREA.  
 6"x4" WALL VENTS (SCREENED AND COVERED) PROVIDE 0.06 SQ. FT. OF FREE VENT AREA.  
 12"x12" FLAT ROOF JACK VENTS PROVIDE 0.26 SQ. FT. OF FREE VENT AREA.

**INSTALLATION NOTES:**

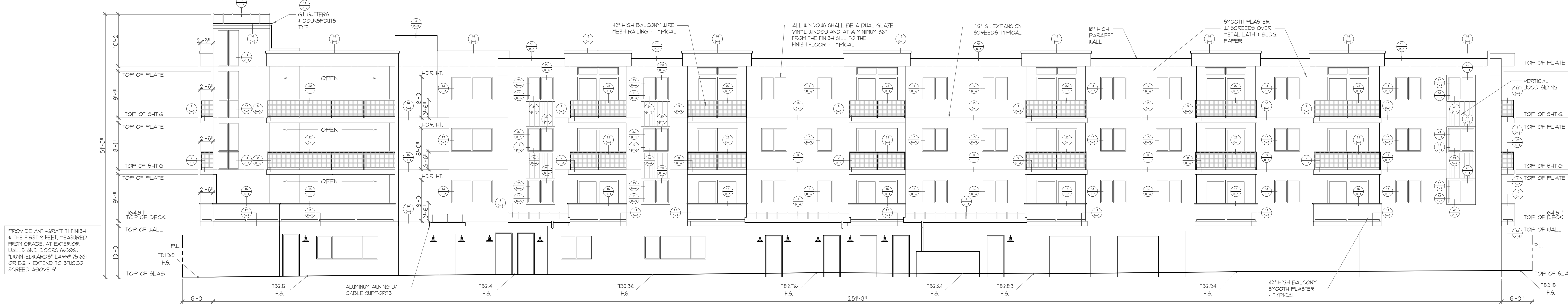
1. INSTALLER TO MAINTAIN SETBACK FROM EXISTING ROOF EDGES AS REQUIRED BY STATE AND LOCAL CODES.
3. PRE-DRILL ALL FASTENERS TO BE INSTALLED IN WOOD PER FRG'S RECOMMENDATIONS, TYP.
4. PANELS AND CONNECTIVE HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. INSTALLER IS RESPONSIBLE FOR PROPER SEALING/WATERPROOFING ALL ROOF PENETRATIONS MADE DURING INSTALLATION.
6. PROVIDE CRICKETS AND FLASHING TO PREVENT WATER FROM FLOWING AROUND COLLECTOR UNITS AND RUNNERS AS NECESSARY (BY OTHERS).
7. DO NOT CUT DRILL OR NOTCH EXISTING FRAMING WITHOUT APPROVED DETAILS FROM THE ENGINEER OF RECORD.
8. ALL FRAME MATERIALS AND FASTENERS EXPOSED TO ELEMENTS SHALL BE ALUMINUM, STAINLESS STEEL, OR HOT DIPPED GALVANIZED.
9. USE ONLY COMPATIBLE MATERIALS FOR CONNECTING FRAME HARDWARE TO AVOID THE EFFECTS OF GALVANIC ACTION.
10. DIMENSIONS AND LOCATIONS OF ALL STRUCTURES SHOWN ARE APPROXIMATE. INSTALLER TO VERIFY FITMENT OF PROPOSED EQUIPMENT. REFER TO AS-BUILT DRAWINGS (BY OTHERS).



FUTURE SOLAR PANEL LOCATION - PROVIDE 1" MIN RETAIL CONDUIT AND TERMINATE AT THIS LOCATION (250 SF.) WITH NO ROOF PENETRATIONS IN SHADED AREA.

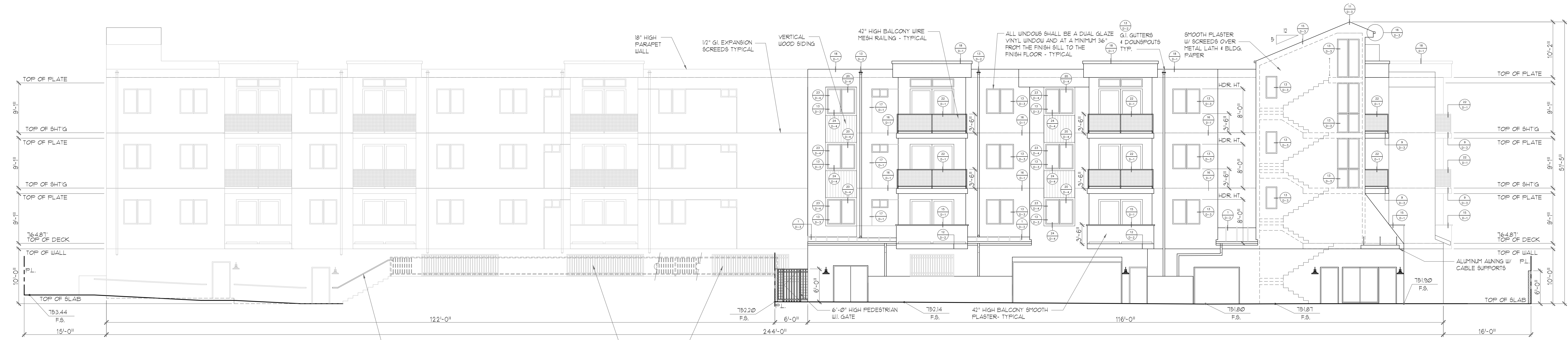
DEVELOPER: <b>FUNDING INVESTMENT CORP.</b> 877 MARKET STREET CANGA PARK, CALIFORNIA 9124 (818) 999-9973	
PROJECT NAME: <b>86-UNIT WOODMAN</b> WOODMAN II 1346-1361 WOODMAN AVENUE VAN NUYS, CALIFORNIA 91405	
ROOF PLAN DRAWN: RKS DATE: 09/27/11	REVISIONS: PLAN CHK: PERMIT:
<b>KEN STOCKTON</b> ARCHITECTS, INC. 26800 W. AGORA ROAD, P.O. BOX 463, CALABASAS, CA 91307 (818) 888-5445 FAX: (818) 888-9604	
SHEET NO. <b>A2.5</b>	





**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

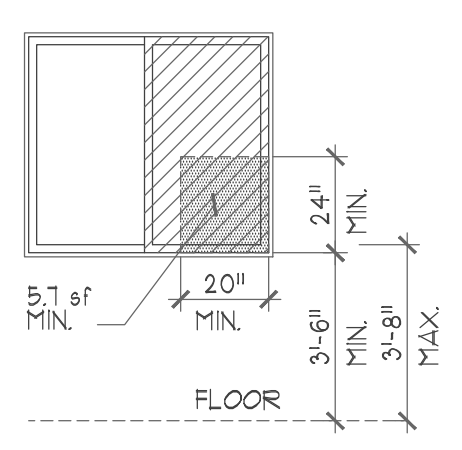


**SOUTH ELEVATION - LEADWELL ST.**

SCALE: 1/8" = 1'-0"

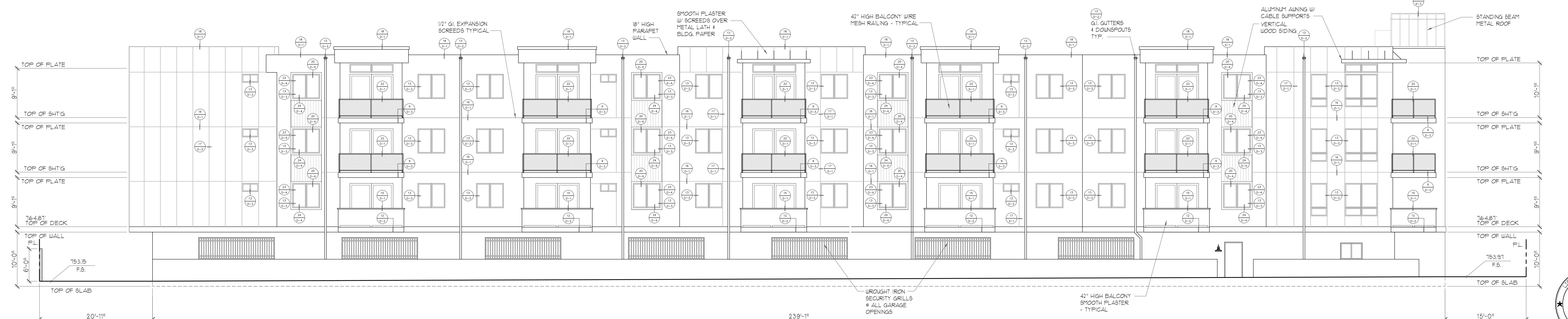
**WINDOW - EMERGENCY EGRESS:**

HATCHED AREA ON ALL BEDROOM WINDOWS DENOTES THE EMERGENCY EGRESS AREA REQUIRED. MIN. 5'6\"/>



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - VALERIO ST.**

SCALE: 1/8" = 1'-0"

DEVELOPER:  
**FUNDING INVESTMENT CORP.**  
817 MARKET STREET  
CANAJO PARK, CALIFORNIA 91204  
(818) 999-9979

PROJECT NAME:  
**86-UNIT WOODMAN**  
WOODMAN II  
1346-1361 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

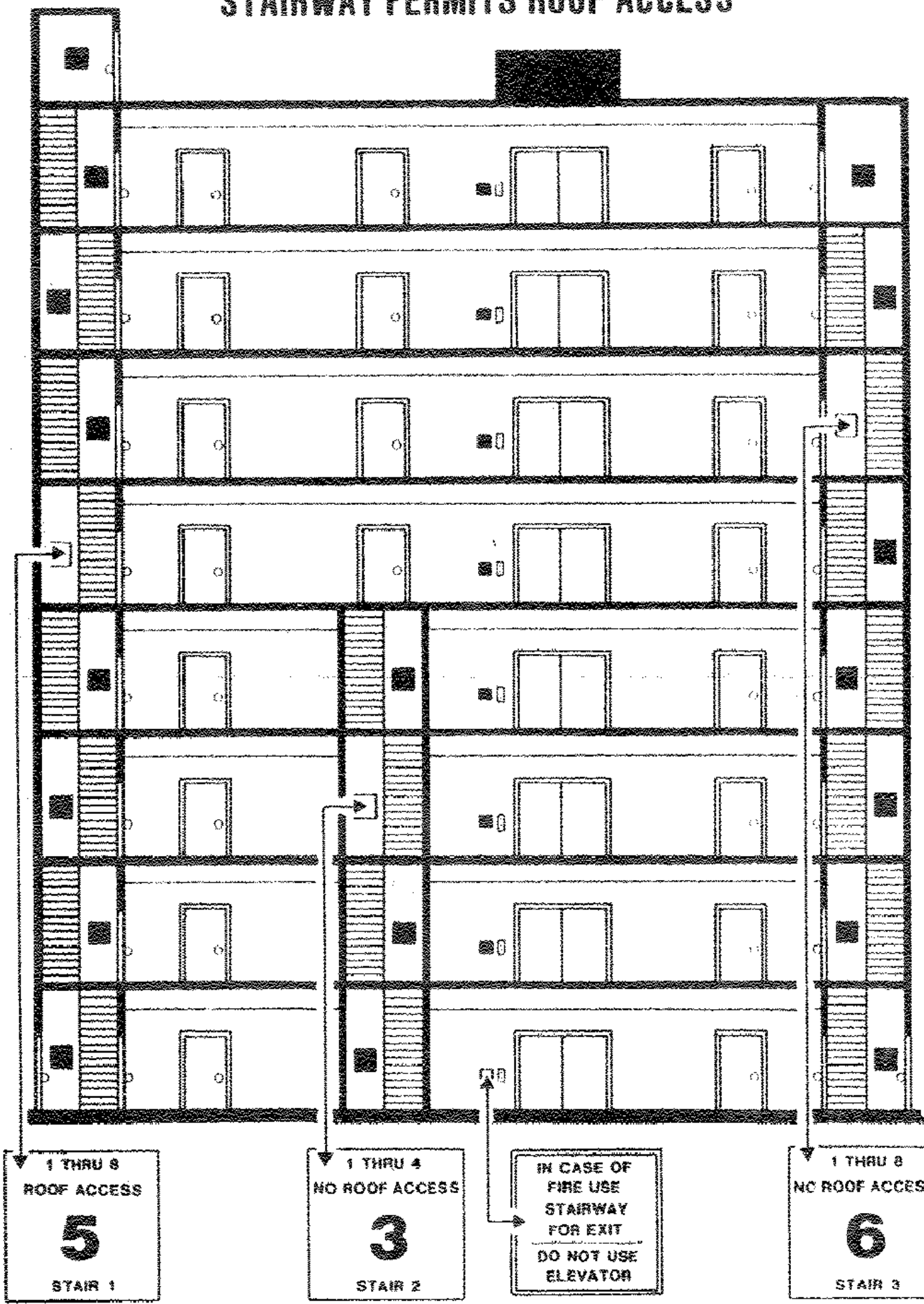
EXTERIOR ELEVATIONS  
DESIGN: RKS  
DATE: 09/17/11  
FLN: CHC  
PERMIT:

**KEN STOCKTON**  
ARCHITECTS, INC.  
26000 W. AGOURA ROAD #100  
AGOURA, CALIFORNIA 91301  
(818) 988-5415 FAX: (818) 988-9604

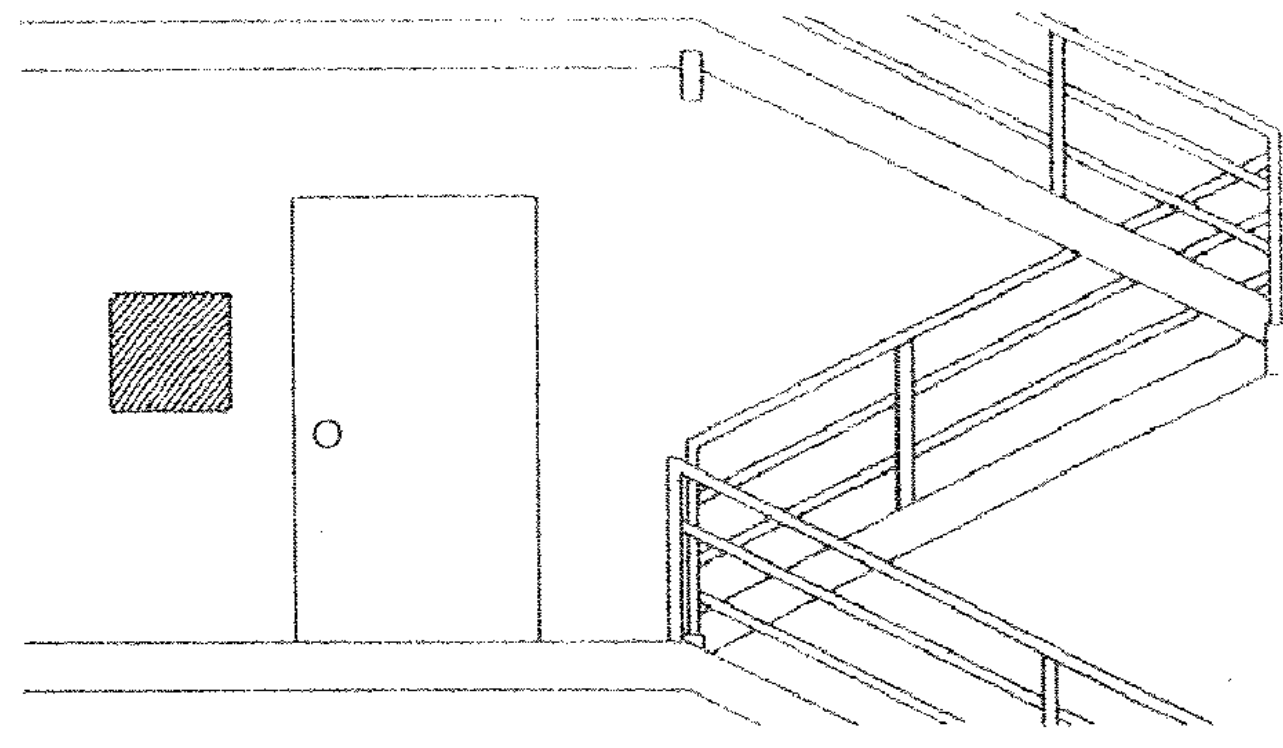
SHEET NO.  
**A3.0**



**LOOK FOR STAIRWAY SIGNS -and- KNOW WHICH STAIRWAY PERMITS ROOF ACCESS**

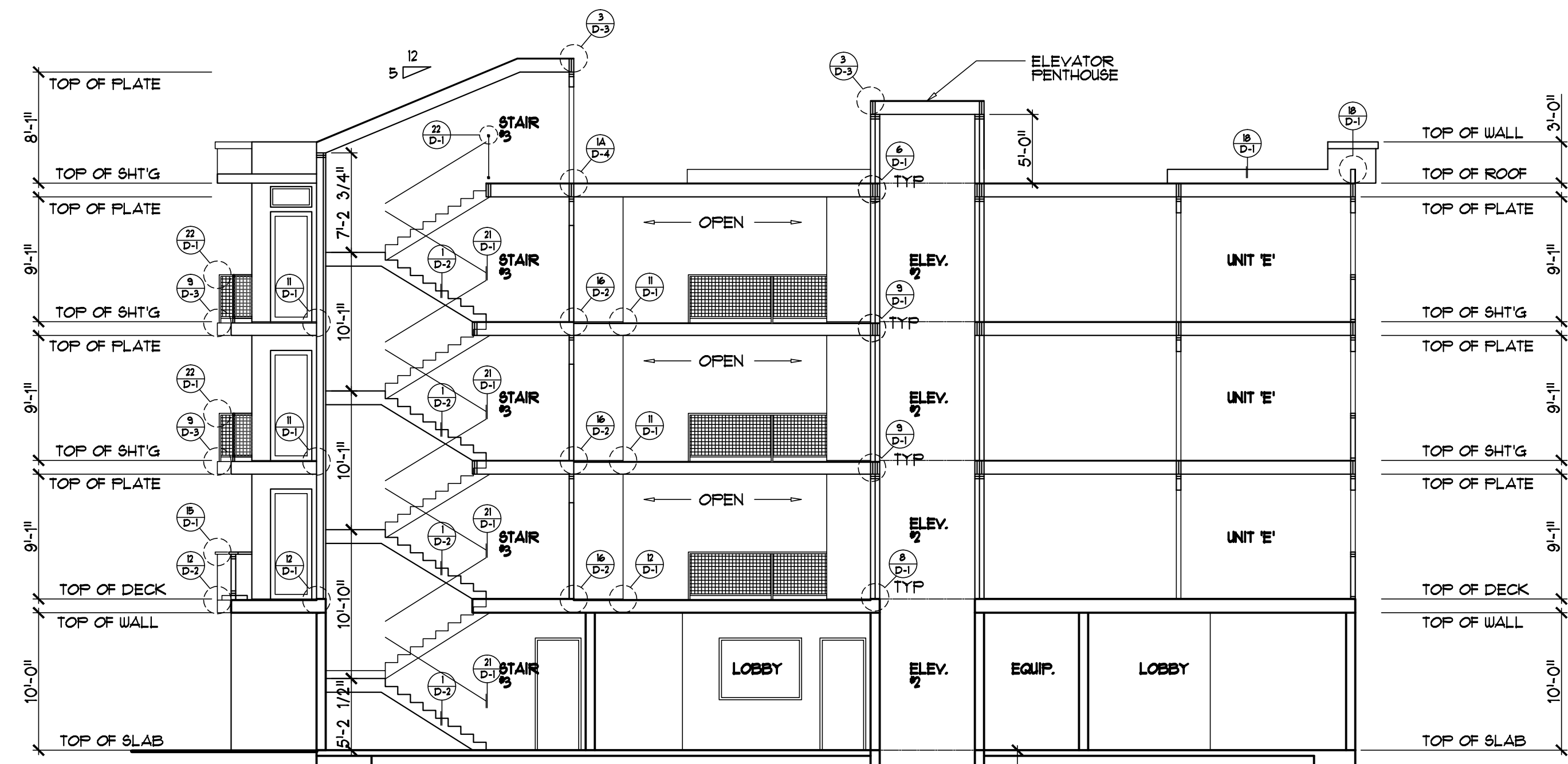


**LOCATION OF SIGN IN STAIRWAY**  
LOS ANGELES CITY FIRE DEPARTMENT REQUIRES STAIRWAY NUMBERING SYSTEMS FOR BUILDING MORE THAN 2 STORIES

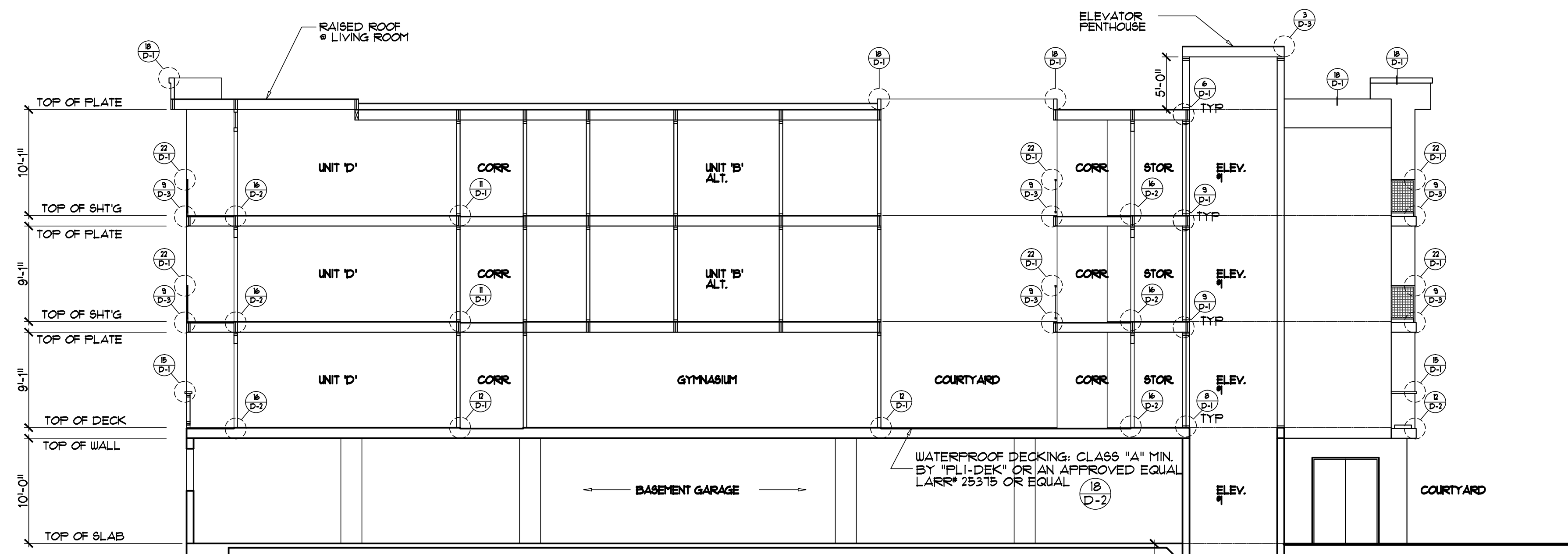


- EXAMPLE 1**  
1 THRU 8 ROOF ACCESS  
**5**  
STAIR 1  
5TH FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 8TH FLOOR OF AN 8 STORY BUILDING. THE STAIRWAY TERMINATES ON THE ROOF. THIS IS THE NUMBER 1 STAIRWAY IN THE BUILDING.
- EXAMPLE 2**  
1 THRU 4 NO ROOF ACCESS  
**3**  
STAIR 2  
3RD FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 4TH FLOOR OF AN 8 STORY BUILDING. THIS STAIRWAY DOES NOT PERMIT ROOF ACCESS. THIS IS THE NUMBER 2 STAIRWAY IN THE BUILDING.
- EXAMPLE 3**  
1 THRU 8 NO ROOF ACCESS  
**6**  
STAIR 3  
8TH FLOOR OF A STAIRWAY THAT EXTENDS FROM THE 1ST TO THE 8TH FLOOR OF AN 8 STORY BUILDING. THIS STAIRWAY DOES NOT PERMIT ROOF ACCESS. THIS IS THE NUMBER 3 STAIRWAY IN THE BUILDING.

GRADE II SCALLOP, ALSO REVISED @ APT. #'S



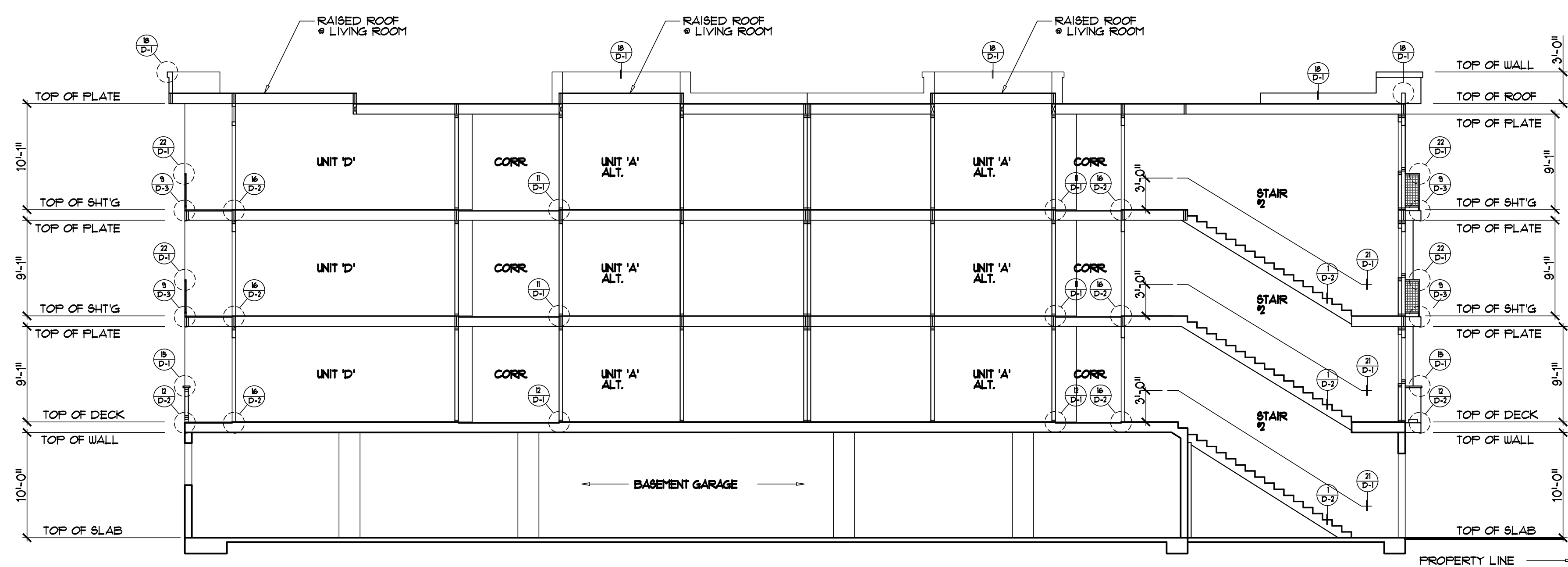
**BUILDING SECTION 'D'**  
SCALE: 1/8" = 1'-0"



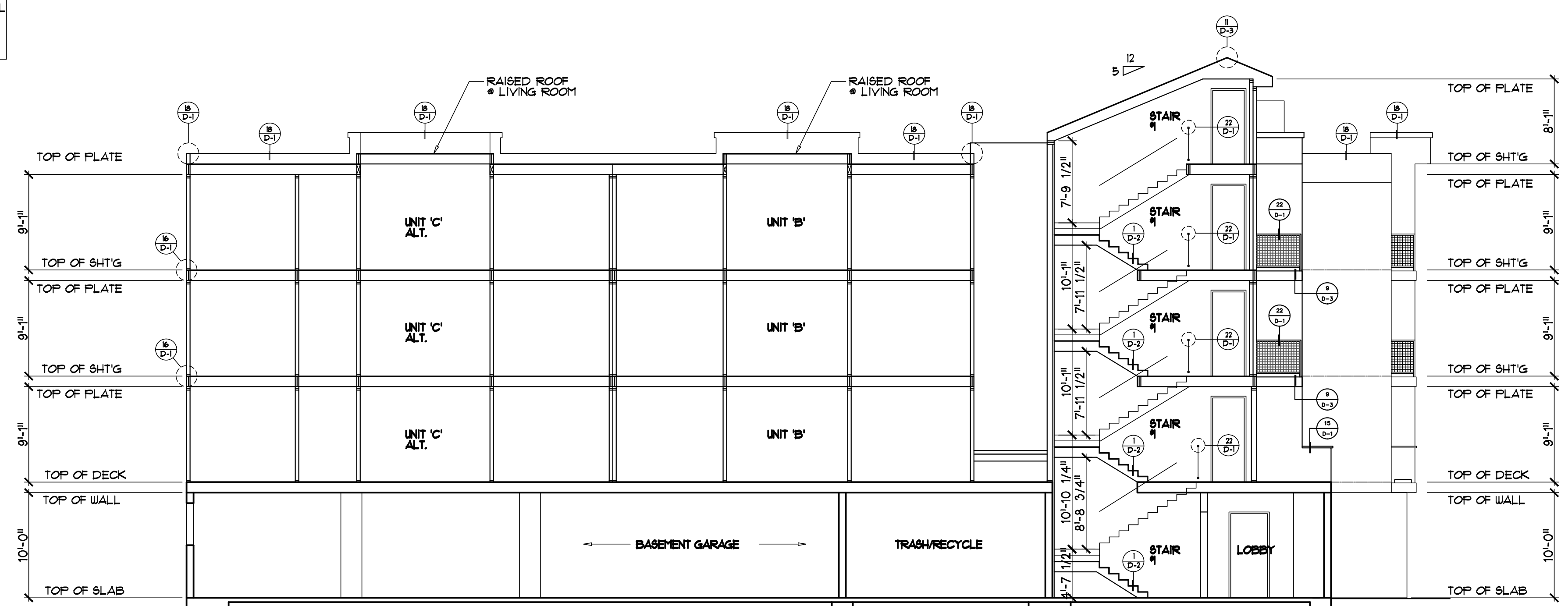
**BUILDING SECTION 'B'**  
SCALE: 1/8" = 1'-0"

**ELEVATOR PIT NOTE:**  
ALL ELEVATOR PITS SHALL BE EQUIPPED WITH A DRAIN TO PREVENT THE ACCUMULATION OF WATER. THE WATER AND OTHER LIQUIDS COLLECTED IN THE BOTTOM OF AN ELEVATOR SHAFT MAY NOT BE DISCHARGED TO THE SANITARY SEWER OR STORM DRAIN. PLUMBING INFORMATION BULLETIN P/PC 2007-04

**BELOW GRADE WATERPROOFING:**  
ALL WALLS LOCATED BELOW GRADE AND/OR RETAINING SOIL SHALL BE PROVIDED AN APPROVED DAMP PROOFING MATERIAL BY "TRU-DRI" OR AN APPROVED EQUAL. LABORERS SEE DETAILS FOR INSTALLATION (D-3) (D-3) (D-3) (D-3)



**BUILDING SECTION 'C'**  
SCALE: 1/8" = 1'-0"



**BUILDING SECTION 'A'**  
SCALE: 1/8" = 1'-0"

**DEVELOPER:** FUNDING INVESTMENT CORP.  
801 HERBIE STREET  
CANAJO PARK, CALIFORNIA 9324  
(888) 999-9979

**PROJECT NAME:** 86-UNIT WOODMAN  
"WOODMAN"  
1346-1367 WOODMAN AVENUE  
VAN NUYS, CALIFORNIA 91405

**BUILDING CROSS-SECTIONS:**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	09/27/11	PLAN CHK
2		PERMIT

**KEN STOCKTON ARCHITECTS, INC.**  
26800 W AGOURA ROAD P.O. BOX 463 CALABASAS, CA 91307  
(818) 888-5443 FAX: (818) 888-3664

**SHEET NO. A4.0**

